

**CITY OF HANOVER
PLANNING COMMISSION MEETING
OCTOBER 24, 2016**

**CHAIR
STAN KOLASA**

**COUNCIL LIAISON
DOUG HAMMERSENG**

**BOARD MEMBERS
JIM SCHENDEL
MICHELLE ARMSTRONG
DEAN KUITUNEN
MICHAEL CHRISTENSON**

- 1. Call to Order and Pledge of Allegiance: 7:00 p.m.**
- 2. Approval of Agenda**
- 3. Approval of Minutes from the September 26, 2016, Planning Commission Meeting**
- 4. Citizen's Forum**
- 5. Public Hearings**
- 6. Unfinished Business**
- 7. New Business**
 - a. Site Plan Review of JS Stewart Properties Building**
 - b. Site Plan Review of Public Works Facility**
- 8. Reports and Announcements**
 - a. Planning Commission Reports**
 - b. Liaison Report**
 - c. Staff Reports**
- 9. Adjournment**

**CITY OF HANOVER
PLANNING COMMISSION MEETING
SEPTEMBER 26, 2016
DRAFT MINUTES**

Call to Order/Pledge of Allegiance

Stan Kolasa called the September 26, 2016, Planning Commission Meeting to order at 7:00 pm. Members present were Stan Kolasa, Jim Schendel, Michelle Armstrong, Mike Christenson, and Dean Kuitunen. Also present Council Liaison Doug Hammerseng, City Planner Cindy Nash, and Administrative Assistant Amy Biren. Citizens present: Clark Lee, Janis Reeves, Thomas Jones, Dave and Nancy Sibley, Stephanie Gleason, Lynn and Steve Beise, Suzanne and Dan Heinecke, Mark Mischke, and other guests.

Approval of Agenda

MOTION by Schendel to approve the agenda as presented, seconded by Christenson. **Motion carried unanimously.**

Approval of Minutes from the August 22, 2016, Regular Meeting

MOTION by Schendel to approve the August 22, 2016, minutes as presented, seconded by Armstrong. **Motion carried unanimously.**

Citizen's Forum

Stephanie Gleason, 11875 Riverview Road: feels that the park redesign should come before the Planning Commission and encourages the Commission to get involved in it. See attached letter and handout from Ms. Gleason.

Public Hearings

Amendment to Zoning Ordinance Related to Floodplain

Kolasa closed the Planning Commission meeting and opened the Public Hearing at 7:07 pm. Nash reviewed the information which will need to be updated regarding the new FEMA Flood Maps and the ordinance which is impacted. Nash went through the amendments to the ordinance which would update it including the addition of a definition for "Flood Insurance Rate Map". She did leave the General Floodplain District information in the ordinance for future expansion of Hanover and in case it is needed. Nash explained that she drafted Section 11 (Nonconformities) a little differently since Hanover is not a high risk area of flooding. Board members asked questions related to flood insurance, how many residents will be affected, and what is the City's part in it. Nash explained that WSB, the City's engineering firm, will send letters to those residents affected by the changes and the next steps that will need to be taken. Biren said she would check with WSB to see when the letters would be going out to residents. If residents do need help, they can contact the City and then WSB will work with the resident to resolve any issues.

Kolasa asked if there was anyone from the audience that would like to speak. There was no one that wished to speak. Kolasa closed the Public Hearing and reopened the Planning Commission at 7:35 pm.

Motion by Armstrong to recommend approval of the drafted ordinance with the addition of the Flood Insurance Rate Map definition and any additional feedback from the DNR, seconded by Schendel.

Motion carried unanimously.

Amendment to Zoning Ordinance Relating to the Orientation of Single Family Homes

Kolasa closed the Planning Commission meeting and opened the Public Hearing at 7:38 pm. Nash stated that based on the direction from Council, staff had advertised this public hearing and drafted an amendment regarding the orientation of single family homes on a lot. The amendment is modeled on ones found in Iowa and Indiana.

Kuitunen asked for a definition of a “through lot” and verification that corner lots were not affected by this amendment. Nash explained that a “through lot” is one where there is frontage on both the front and rear of the home. She verified that the amendment would only affect interior lots where there are homes on both sides of the property and through lots. Corner lots would not be included.

Clark Lee, 525 Kadler Avenue: Reviewed his understanding of RA, Residential Agriculture, lots and how these lots would not be affected by the amendment. He acknowledged that when development occurs to the west of Crow River Heights, current residents bordering this area will have homes located on property behind them. He gave an example of a home with minimal windows and an undefined “front façade” that could be permitted under the current ordinance. Lee feels that “perpendicular” and “sideways” needs to be stricken from the amendment and other language inserted to cover other options. He feels that Subsection 1 is contradictory to what Council wants. Lee said that he called Sioux City, Iowa, regarding this ordinance and was told that it was put in place in order to deal with problematic lots along the river. Lee went on to talk about lots that were once buildable, but may not be currently since environmental protections have been put in place. He would like to see “perpendicular” and “sideways” stricken and omit Subsection 2.1 in the exceptions.

Thomas Jones, 540 Kadler Avenue: He has talked with a realtor and the realtor said that homes that change the look of a neighborhood will decrease the value. He also believes that Subsection 2.1 allows anyone to build what they want and does not believe this is acceptable. He would like to see this section removed and language addressing the front facing façade be included.

Janis Reeves, 10342 Kalen Lane: She explained that she and her family moved to Hanover from a small town in Illinois where all of the homes were very similar. When the family moved to Hanover, they had to find a house quickly and really liked what they saw in Hanover—a small town, rural lots, and homes that were different from one another. Over the past four years, she has seen the empty lots being filled with new homes and new residents moving in. Reeves stated she is in favor of leaving the ordinance the way it is as there does not appear to be a problem and sees an amendment such as this as limiting future building. She would like to see the ordinance remain as written so that families can move here and build “their” type of home.

Suzanne Heinecke, 560 Kadler Avenue: Appreciates the draft and sees it as a starting point. She also stated that it is a big deal to her family.

Mark Mischke, 10123 Kaitlin Avenue: Said that his question may not apply directly to the orientation of homes, but wondered what rights neighbors have when something is built, whether it is the orientation of the home or how it impacts a wetland.

Nash responded that all neighborhoods are planned for where the water will flow. When a neighbor changes the topography of the land and therefore the flow of water, the City may get involved, but usually it remains a civil matter between neighbors. When a building permit comes in, part of the requirement is having a certified survey and this is reviewed. Lee interrupted saying that Minnesota residents can collect 100 signatures to request an environmental assessment worksheet. Nash replied that is true that 100 citizens can petition for one and there is a certain process that is followed if the State deems the petition viable. Mischke said he is concerned about the how much water is on an empty lot from the recent rainfalls. Nash understands his concerns.

Steve Beise, 505 Kadler Avenue: Thank you for working on this. He feels that the exceptions need to be looked at and make sure the language is fair and easily understood.

Lynn Beise, 505 Kadler Avenue: Invited the Board members to come out to look at the neighborhood to see how a differently oriented home would look amidst the current homes.

Hammerseng asked if Dave and Nancy Sibley would like to speak to the amendment as this would have a direct impact on the type of home they could build on the lots 500-520 Kadler Avenue.

Dave and Nancy Sibley, 6005 Goldenrod Lane N, Plymouth: He said that when they were interested in buying the lots, they came to the City and asked about the type of house that could be built on the lot since there are wetlands on the properties. There was not anything prohibiting the type of house they wanted. Hammerseng asked if they had looked at alternate areas on the two lots. Dave replied that they actually had looked at building the house on the 500 Kadler Avenue lot, locating the house further back, but that would need a wetland setback variance for the driveway. The house, if built there, would still be slightly angled, but would be more front facing than the original house site on 520 Kadler Avenue. He also said that they are planning on consolidating the lots. Nancy said they are coming from a neighborhood that has many different styles of homes. Christenson asked if the Sibleys had any concerns about water on their property. Dave replied no, they did not have any concerns.

Suzanne Heinecke: She said she is concerned about water coming into her yard. She is familiar with the neighborhood where the Sibleys currently live and that is not our neighborhood.

Nash did a public service announcement letting the audience know that anyone can purchase flood insurance.

Kolasa closed the Public Hearing and reopened the Planning Commission at 8:25 pm.

Armstrong asked for clarity regarding the Council's decision to send this back to the Planning Commission. Hammerseng said that the direction was vague and he asked for clarification, too. Council wanted to make sure the subject was clearly reviewed. Hammerseng went on saying that Council wants to take care of existing residents but at the same time look to the future. There is concern about the chance of something like a uniquely oriented house happening. What the Planning Commission and Council recommends will affect everyone and the future needs to be considered: do we work within the guidelines versus going to the expense of changing an ordinance with an amendment that will impact everyone?

Lee said he talked with Armstrong about the value of a home during the selling process and if he can prove that he took a loss, he can be aggrieved and take it to court with the City.

Kolasa stated that the public hearing is closed and the public was heard. He may choose to recognize audience members, but the current discussion is between the Planning Commission members.

Armstrong said that the difficulty is to come up with something that is concrete yet vague. If you ask 10 different realtors, you will get 10 different opinions. It is not common to have an odd orientation of a home on a lot. It is also understood that people may work around the rules. In her opinion, she is inclined to go with the draft, but you have to look at the houses around it, too. She asked to hear the other member's opinions.

Kuitunen said that he made the motion at the last meeting stating that there didn't need to be a change in the ordinance. The Board spent the summer researching and discussing how to make Hanover less restrictive, but Council thinks that we should take a look at this. He questioned how to deal with the pie shaped lots and that a perpendicular home couldn't be built on it, but it wouldn't be truly parallel to the road because of the lot shape and the curve in the road.

Schendel said to leave it alone and not amend the ordinance. We can continue to change things all the time, but people build and change things like drainage on their lots, so how does that get controlled?

Christenson said to leave it the way it is. Perhaps adding language regarding a primary entrance and a front facing façade would be beneficial if a change is needed. There are too many variables—even if someone would create something like what has been discussed, the house would not be re-sellable.

Nash reminded the members that this amendment would be applied to every lot in Hanover. A PUD would have to explain the exceptions the developer would want in new area. She sees this as a part of the ordinance that a developer wouldn't necessarily be aware of and then be caught off guard because it was not in the PUD. She didn't put completely parallel as part of the amendment because there are very few homes in Hanover that are truly parallel to the road.

Kolasa also stated that he did not feel a need for this amendment. The Sibleys want to build a certain type of house and the lot may not fit the house. To change the ordinance for one lot doesn't make sense and it will impact the future lots.

Armstrong said that most builders would not build a house perpendicular on the lot.

Nash agreed with Armstrong and added that the minimum garage requirement in Hanover affects how the house is built particularly if there is space issues on the lot. Also, front doors are usually built to be front facing so guests can find the entrance to a home.

Armstrong asked Hammerseng if this was enough information to bring back to Council.

Hammerseng said that what he heard is that the group doesn't support the draft amendment, but no one wants to have a perpendicular house by them, so we can't leave it (the ordinance) alone. We need to take a look at the definitions.

Hammerseng asked if the challenging lots identified last year need to be dealt with individually and possible have a variance given.

Nash gave her opinion: The City wants to make everyone happy, but realistically, not everyone will be happy. The ordinances are already restrictive. Should a home be closer than allowed within a setback and look similar to the neighborhood or is the wetland setback more important and the house looks different than other houses?

Kuitunen asked how the amendment should be written based on the curved streets and pie shaped lots in Hanover. Nash replied that was the reason "parallel" was not included in the amendment. She also said that she didn't want to put in specific measurements as there are different ways to measure and that would add confusion. If the Board desires, the exceptions in the amendment may be removed and others put in their place.

Kuitunen said to leave the exception relating to RA lots in the amendment.

Nash went on to explain that when ordinances are very restrictive and limits the uses of the property to such a degree that it deprives the owners of the use or devalues the property that is known as a regulatory taking. There can be legal consequences.

Nash also went on to say that some ordinances are very specific and contain graphic illustrations showing homes that have been turn 90 degrees and are "perpendicular".

Nash said that she had met with the Sibleys and they are willing to do a lot consolidation and will submit when the building permit is submitted. The second house plan and site located on 500 Kadler Avenue would need a wetland setback variance. This variance would allow the driveway to be located within the wetland setback 10 feet or less. The building pad is set at a slight angle. If the Sibleys go with the first

house plan and site located at 520 Kadler Avenue, a wetland setback variance would also be needed if a more front facing house with architectural features was desired. Currently, on that site is the plan for a long house that is not facing the street, but does not interfere with the wetland setback. She clarified that the variances needed on either lot are in the wetland setback and not the actual wetland. The City would not grant a variance to build in a wetland.

Jones asked to be acknowledged to speak. Kolasa agreed. Jones said that he would support a wetland setback variance for the house to be built at 500 Kadler Avenue.

Lee also asked to speak. Kolasa agreed. Lee said that he, too, would support a house at 500 Kadler Avenue and that it would look nice.

The Beises asked to speak. Kolasa agreed. Steve said that the 500 Kadler Avenue lot would be better and that he would be okay with the house being angled. Lynn asked if they would be able to put up a shed.

Biren answered Lynn saying that she had already advised the Sibleys that a shed would not be allowed as it is only allowed in the rear yard for that zoning district.

Nancy Sibley said that the builder actually prefers the 500 Kadler Avenue lot building pad rather than the first plan on 520 Kadler Avenue.

Nash reviewed: to accomplish what has been discussed, the exception in 2.1 related to topography and natural features would be removed from the amendment; the variance process would be utilized for some lots; and is the home front facing on the lot.

Armstrong said that she is concerned about definitions and getting too specific. Hammerseng said that it is not possible to capture all of the variables and instances that could occur in just one ordinance, and that this was a good compromise.

MOTION by Schendel to recommend approval of the amendment to the ordinance related to single family dwellings with Section 2.1 relating to topography and natural features be removed from the amendment, seconded by Armstrong.

Motion carried unanimously.

Unfinished Business

None

New Business

None

Reports and Announcements:

Planning Commission:

Kolasa reminded members that the 125th Celebration will be on October 8th.

Staff:

Biren updated the members on the realtor's sign by Crow River Heights: The realtor will be taking it down.

Biren said that there will training money available next year for board members to attend various planning related workshops. She covered a few hosted by Government Training Services. Members expressed interest in attending.

Adjournment

MOTION by Christenson to adjourn, seconded by Kuitunen. **Motion carried unanimously.**
Meeting adjourned at 9:20 pm.

ATTEST:

Amy L. Biren
Administrative Assistant

Dear Hanover Park Board, Planning Commission and City Council members,

Please clarify how you made the decision that a large ball field in our Settler's Park was an "improvement" to our park? Was the decision made out of need? It couldn't have been because Hanover already has 7 ball fields in our city and there are several options for our 1 team of 16 year olds to play in the surrounding communities. Did you collect data showing the citizens, who you are supposed to represent, *want* a large ball field that would kill 200+year old healthy oak trees and decrease our open space? If so, that data has never been shared. But you did collect data from your very own 2016 survey that shows "The baseball fields at Settlers Park meet the community needs." You have also been presented with hundreds of signatures, calls, and comments from Hanover citizens that do not support a ball field in that location. Plus you have hundreds more signatures from surrounding communities who have also said they do not want this project going forward. It is the responsibility of city staff to inform the Planning Commission, Park Board and Council of these calls, emails, and letters regarding this issue as it does affect many people.

Certainly you referred to the League of Minnesota Cities before you made this decision. It clearly states, "A city can rent land or building space that it *no longer needs for city use.*" This contradicts your decision. The space in question is currently used for picnics, Girl scouts, youth ball, family gatherings, city events, shade and open space that all ages can enjoy. The League of Minnesota Cities also states, "If a city has a comprehensive plan, it may not acquire or dispose of any property until the cities planning commission has reviewed the proposed acquisition and reported on whether it will *comply* with the city's comprehensive plan." If you actually refer to the city comprehensive plan for Hanover, you would see that nowhere in the plan does it say the vision is to sell/rent our park to a private organization for 1\$ or to destroy our heritage trees on which the park was founded.

Finally, you have not presented a solid plan that addresses the safety concerns on the play ground if 16+year olds are hitting stray balls towards our vulnerable children. If you made your decision based on one smooth-talking pitch and a few self-serving board members from a private organization rather than listening to your own Hanover citizens' needs and wants, you are not doing your job as a public servant. We would like some answers.

Sincerely,

Stephanie Gleason

IMPORTANT INFORMATION PERTINENT TO THE PROPOSED LEASE AGREEMENT BETWEEN THE CITY OF HANOVER AND THE HANOVER ATHLETIC ASSOCIATION FOR THE LAND IN SETTLERS PARK



INFORMATION MEMO

Purchase and Sale of Real Property

Understand the statutory authority of cities to acquire and dispose of real estate, including by sales, purchases, and alternatives such as gifts, leases, dedication, contract for deed, lease-purchase and others. Be alert to common issues in transactions such as environmental considerations, deed restrictions, trust land, permissions to buy and sell, and more.

Minn. Stat. § 412.211.

II. Disposition of land

Statutory cities may dispose of land that it does not hold in trust for a specified public use. Such disposition may be done in any of the following ways:

Operative phrase "no longer needs" When was this decided?

- Sale. A city can sell land it does not need.
- Lease. A city can rent land or building space that it no longer needs for city use.
- Gifts or sale for nominal consideration. There are only a few limited situations under which a city may give away land or sell it for a nominal amount of money.

Contact the League research department for sample community center use policies.

B. Leases

Operative word unneeded. When was it decided this property was unneeded?

Cities often lease unneeded property and buildings to others for their use. Sometimes these agreements are long-term leases. Other times it may be an afternoon rental of a room in a community center. Many cities have adopted policies regarding the rental and use of their community centers.

A.G. Op. 469-a-9 (May 5, 1967).

The Attorney General has determined that a city was not permitted to give or lease land for a nominal consideration to a nonprofit corporation.

Minn. Stat. § 469.185.

Minn. Stat. §§ 116J.993.
Minn. Stat. § 116J.994.

I do not understand how the city intends to get around this. The HAA is a non-profit organization as indicated on their website. A \$1/yr lease would be nominal consideration.

Minn. Stat. § 462.356, subd. 2.
For more information on the role of the planning commission in purchase and sale of city property see the LMC information memo Planning Commission Guide.

2. Cities with comprehensive plans

If a city has a comprehensive plan, it may not acquire or dispose of any property until the city's planning commission has reviewed the proposed acquisition and reported on whether it will comply with the city's comprehensive plan. The planning commission's report must be in writing.

Minn. Stat. § 462.356, subd. 2.

"dispose of" would include leasing land IAW Section II Disposition of Land. I verified Hanover does have an active Comprehensive Plan.

IGNORING RECOMMENDATIONS FROM THE LEAGUE OF MINNESOTA CITIES LEAVES THE CITY VULNERABLE TO CIVIL ACTION!! TELL YOUR MAYOR AND CITY COUNCIL TO RESCIND THE LEASE AGREEMENT WITH THE ATHLETIC ASSOCIATION

Collaborative Planning, LLC

145 Hamel Road, Suite D

Medina, MN 55340

763-473-0569

Memorandum

Date: October 20, 2016
To: Planning Commission
From: Cindy Nash, City Planner
RE: J.S. Stewart Companies – Site Plan

An application has been received for the construction of an industrial building in the I-3 zoning district. A copy of the site plan and building elevations are included in your packets.

The design of the plans assumes the simultaneous construction of this industrial building with the City's public works building to the west. In the event that the City's project does not proceed, some modifications may be needed related to stormwater management, including ponding. It is requested that these modifications, if needed, be allowed to be approved at a later date by staff.

A portion of the grading is proposed to occur outside of the property boundary that will be owned by the City. A right of entry will be needed in order to proceed.

Staff has reviewed the proposal and find it to be in conformance with the Zoning Ordinance and other City regulations. A comment memo from the City Engineer is included for your reference.

Recommendation

It is recommended that the site plan be approved subject to the following conditions:

1. Development of the site must be in substantial conformance with the plans prepared by Civil Engineering Site Design and last revised on October 11, 2016. If the site plans require modifications due to either not being able to obtain the rights of entry required, or due to the adjacent site not developing concurrently, then the plan revisions may be approved by the City Engineer and City Planner.
2. Comments from the City Engineer as outlined in his memo dated October 18, 2016 must be addressed.



Memorandum

To: *Cindy Nash – Hanover City Planner*

From: *Justin Messner, PE – Hanover City Engineer*

Cc: *Brian Hagen – Hanover City Administrator*
Scott Dahlke – Civil Engineering Site Design

Date: *October 18, 2016*

Re: *JS Stewart Companies Site Plan Review*
WSB Project No. 02082-013

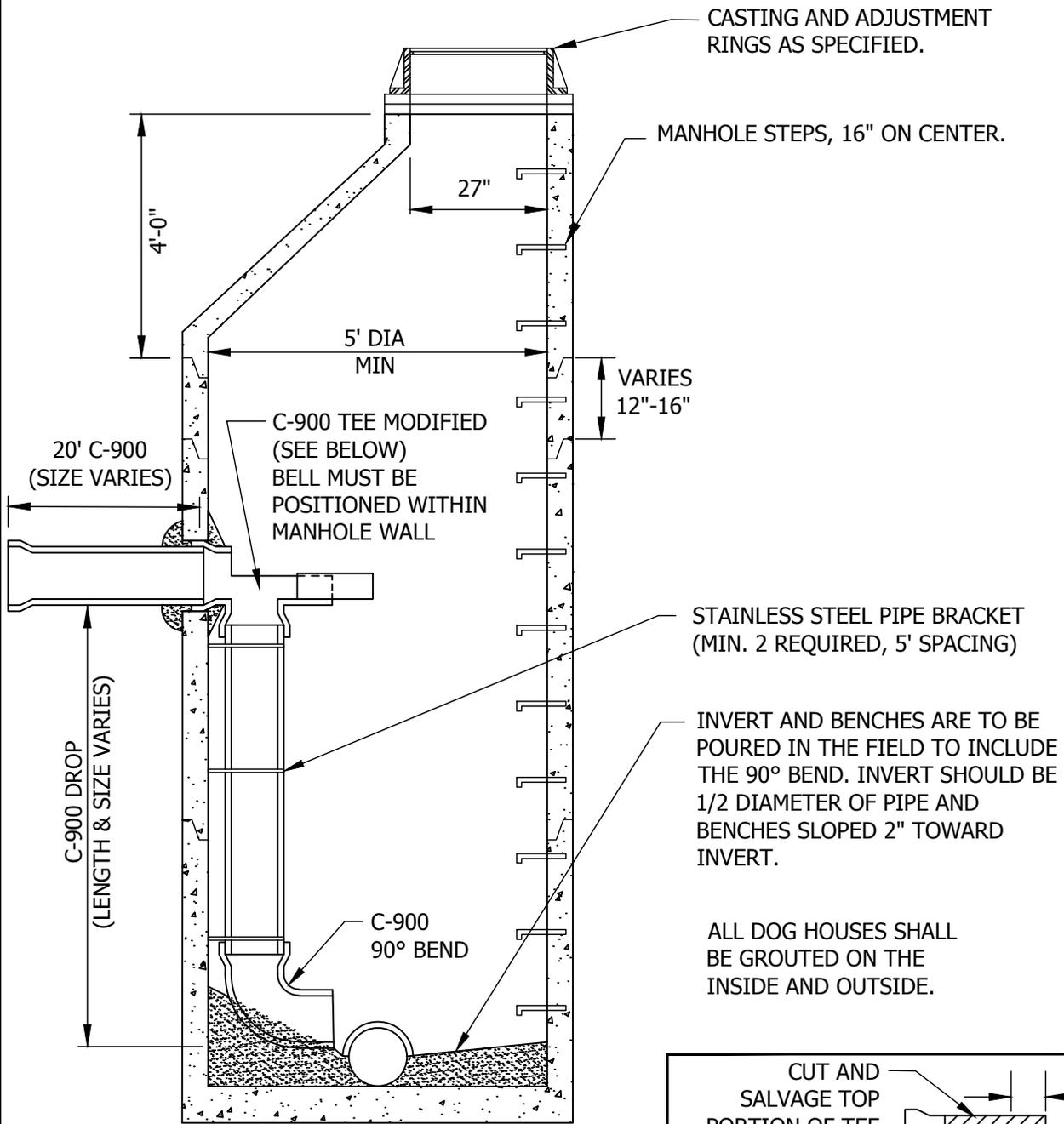
As requested, we have reviewed the JS Stewart Companies Site grading and utility plans as prepared by Civil Engineering Site Design, dated October 11, 2016, and we offer the following comments:

Sheet C3 – Utility Plan

1. Per Standard Detail SAN-10, 4" Sanitary Sewer services shall have a minimum slope of 2%.
2. The sanitary sewer inside drop shall be a minimum of 6" diameter. 6" diameter pipe shall extend 20' from the manhole then reduce to 4". 6" sanitary sewer pipe shall be C-900. See detail attached.

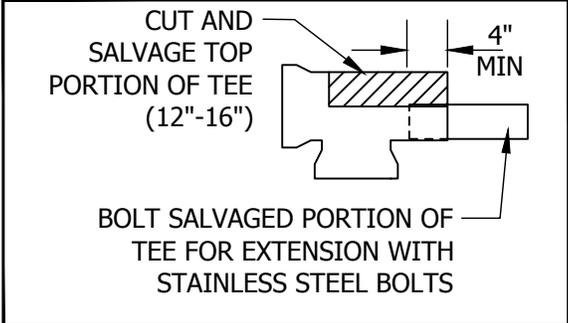
Sheet C5 – Details

1. Include the attached detail for sanitary sewer inside drop inlet manhole.



ALL PIPES SHALL BE CUT TO BE 2" INSIDE MANHOLE AT THE PIPE'S MIDPOINT AND HAVE A WATER TIGHT SEAL. (SEE SPECIFICATIONS)

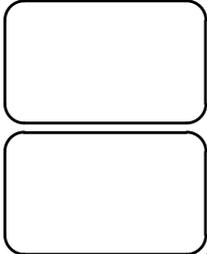
ALL DOG HOUSES SHALL BE GROUTED ON THE INSIDE AND OUTSIDE.



SECTION



SANITARY SEWER INSIDE DROP INLET MANHOLE





Hanover, MN 55341-0278
 Phone: 763.497.3777 fax: 763.497.1873
www.hanovermn.org
cityhall@ci.hanover.mn.us

For Office Use Only	
Case Number:	
Fee Paid:	
Received by:	10-14-16
Date Filed:	
Date Complete:	
Base Fee:	300
Escrow:	750

DEVELOPMENT APPLICATION

TYPE OF APPLICATION		
<input type="checkbox"/> Annexation <input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text or Map) <input type="checkbox"/> Planned Unit Development (Concept/Gen)	<input checked="" type="checkbox"/> Site Plan & Building Plan <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Vacation	<input type="checkbox"/> Simple Land Division <input type="checkbox"/> Subdivision Sketch Plan <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other
PROPERTY INFORMATION		
Street Address: <u>11149 5th St NE Hanover Mn</u>		
Property Identification Number (PIN#):		
Legal Description (Attach if necessary):		
APPLICANT INFORMATION		
Name: <u>JAMES STEWART</u>	Business Name: <u>J.S. STEWART PROPERTIES, LLC</u>	
Address: <u>11030 LAMONT AVE NE</u>		
City: <u>HANOVER</u>	State: <u>MN</u>	Zip Code: <u>55341</u>
Telephone: <u>763 424 9030</u>	Fax: <u>763 424 9040</u>	E-mail: <u>JIM@J.SSTEWART.COM</u>
Contact: <u>JIM STEWART</u>	Title: <u>PRESIDENT</u>	
OWNER INFORMATION (if different from applicant)		
Name:		
Business Name:		
Address:		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:		
Title:		
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: <u>DUMP SITE / VACANT</u>		
Nature of Proposed Use: <u>COMMERCIAL / BUSINESS USE</u>		
Reason(s) to Approve Request: <u>want to build a shop & keep business in Hanover</u>		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See Application Instructions and City Code		

APPLICATION FEES AND EXPENSES:

The City of Hanover required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner:

E-mail JIM@J5STEWART.COM Fax _____ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant:  Date: 9-7-16

Owner: TS: 74g, City Administrator of Hanover Date: 10-14-16

NOTE: Applications only accepted with ALL required support documents.
See Application Checklist and City Code



SUPPLEMENTAL APPLICATION – SITE PLAN APPROVAL

Name: JAMES STEWART Phone: 763 424 9030
Address: 11030 LAMONT AVE NE HANOVER PID #: 9040

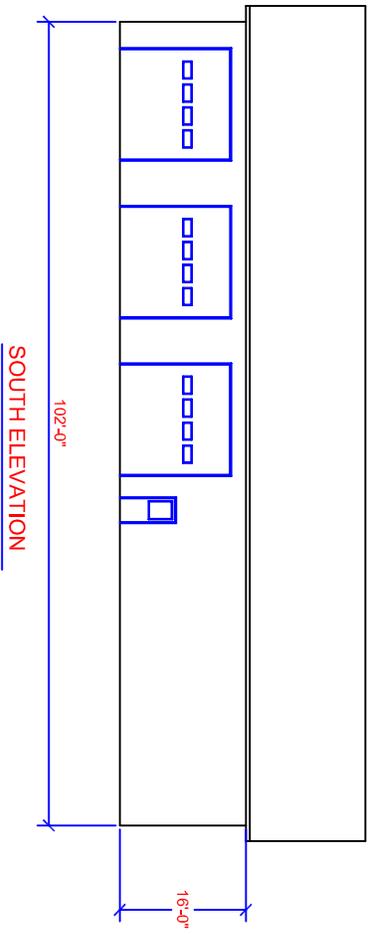
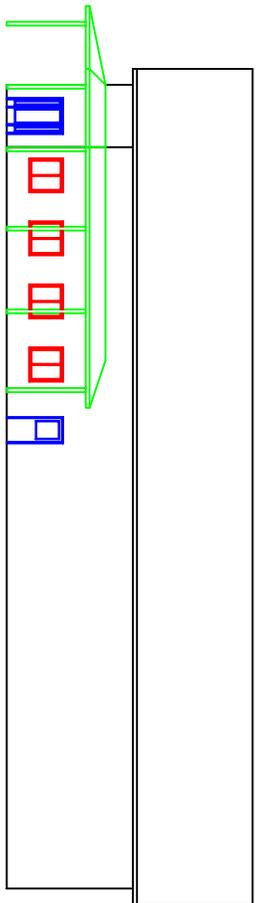
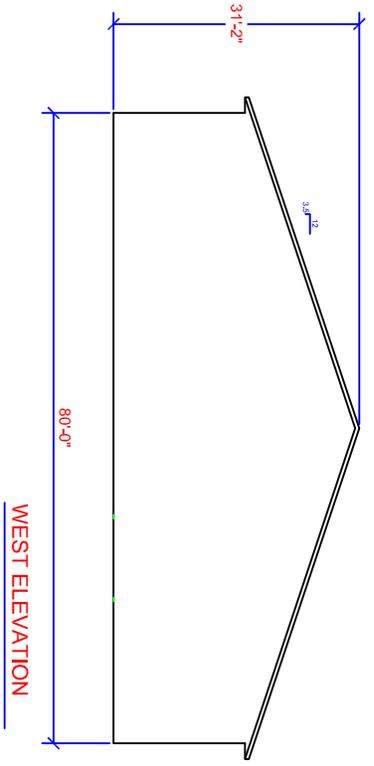
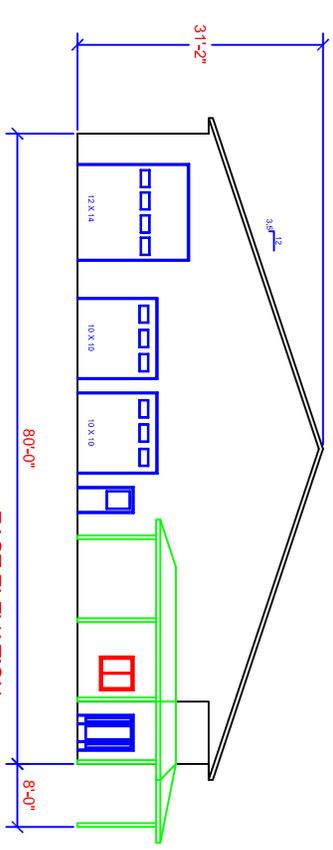
1. Present zoning of above described property: _____
2. Application for site plan approval of: _____ High Density Residential Project
X Commercial Project
_____ Industrial Project
_____ Plan Modification

3. Description of proposed activity. _____

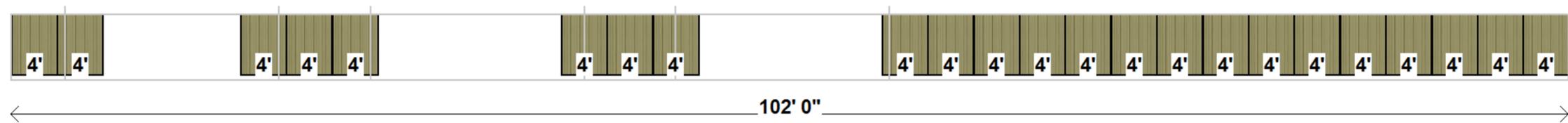
4. Name, address and phone number of present owner(s) of above described land. _____
CITY OF HANOVER
11250 5TH ST. NE
HANOVER, MN 55341

5. Attach to this application a site plan including all required material as identified in the "Required Material Submission Checklist" for Site Plan Applications.

Applicant Signature: [Signature] Date: 9-7-16
Owner Signature: [Signature] Date: 10-14-16



WAINSCOT APPLICATION DETAIL BY WALL -- South

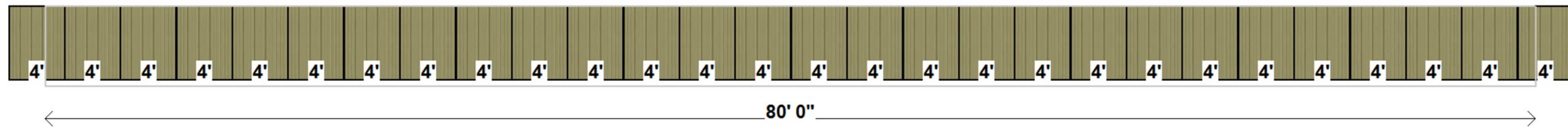


Wainscot Steel Application Detail -- Wing: 1 Segment 1 Size: 102' 0" x 4' 4"
Siding Width 3' 0", BURNISHED SLATE Steel Dakota Steel G90 29ga S Strong
Bottom Offset: 4" Top of Wainscot: 4'4" Wainscot Height: 4'



Date: 9/13/2016
JS STEWART COMPANY.bc2
Structural Buildings
12924 1st Street, Becker, MN 55308-9351
(800) 535-9722
by PostFrame Manager®

WAINSCOT APPLICATION DETAIL BY WALL -- West

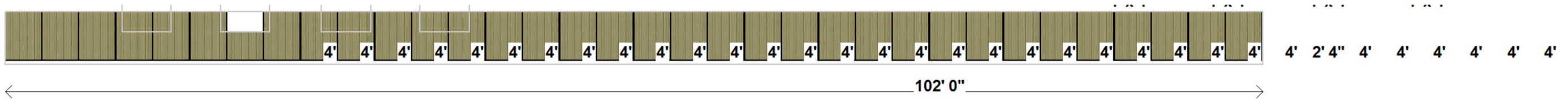


Wainscot Steel Application Detail -- Wing: 1 Segment 1 Size: 80' 0" x 4' 4"
Siding Width 3' 0", BURNISHED SLATE Steel Dakota Steel G90 29ga S Strong
Bottom Offset: 4" Top of Wainscot: 4'4" Wainscot Height: 4'



Date: 9/13/2016
JS STEWART COMPANY.bc2
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WAINSCOT APPLICATION DETAIL BY WALL -- North

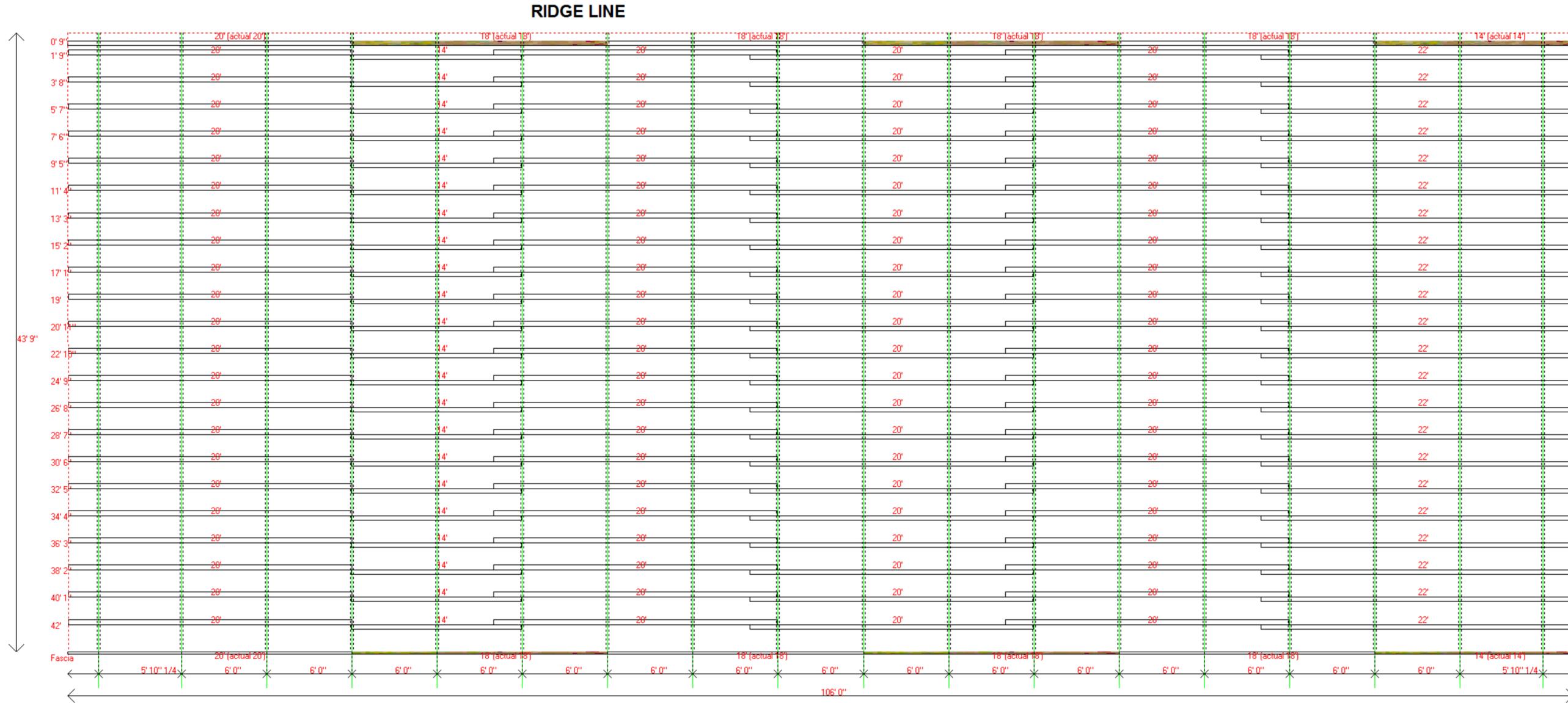


Wainscot Steel Application Detail -- Wing: 1 Segment 1 Size: 102' 0" x 4' 4"
Siding Width 3' 0", BURNISHED SLATE Steel Dakota Steel G90 29ga S Strong
Bottom Offset: 4" Top of Wainscot: 4'4" Wainscot Height: 4'



Date: 9/13/2016
JS STEWART COMPANY.bc2
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PURLIN APPLICATION DETAIL -- South



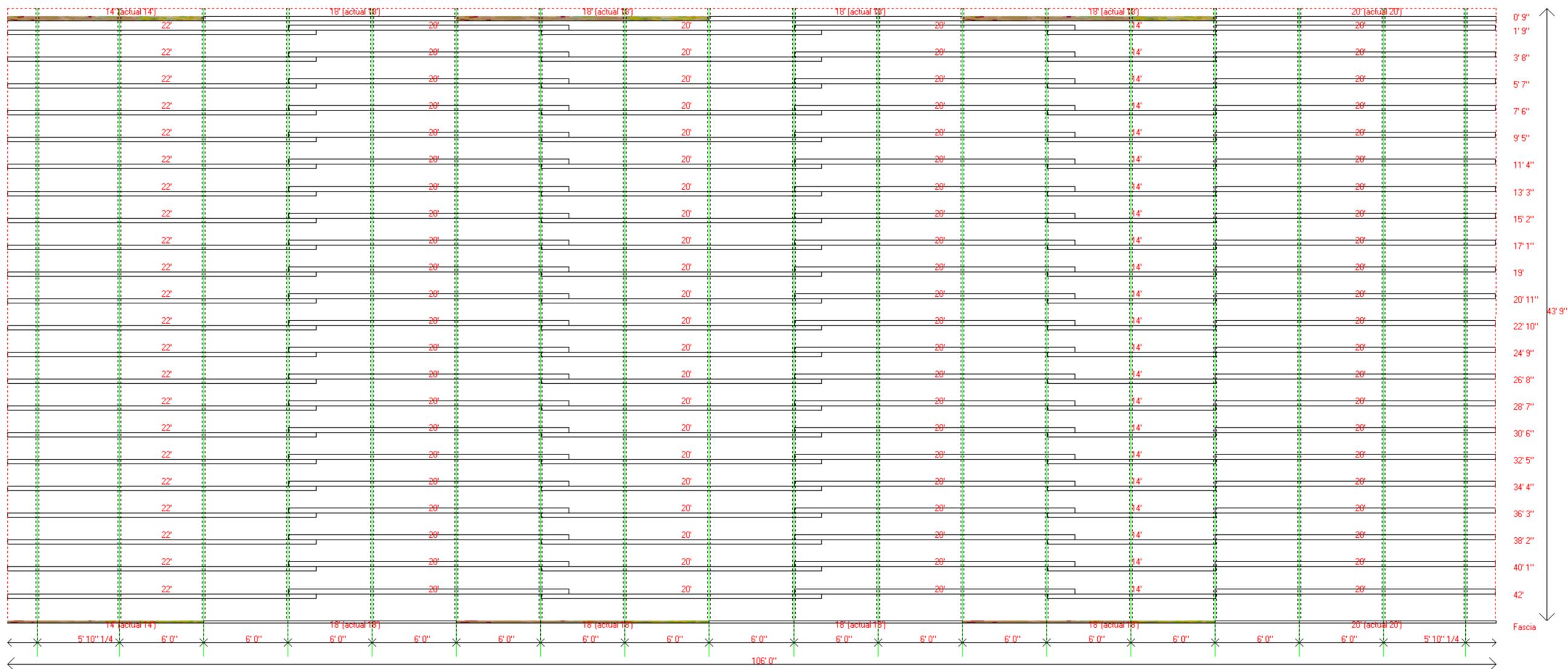
Wing: 1 Size: 106' x 43' 9"
Std Purlin: Dimensional-Untreated 1650Fb-1.5E MSR Yellow Pine 2 x 4
Ridge Purlin: Dimensional-Untreated 1650Fb-1.5E MSR Yellow Pine 2 x 4
Eave Fascia: Dimensional-Untreated #2 & Better SPF 2 x 6
Truss Loading: 35/5/0/5 Pitch: 3.5 Span: 80
Wind Load: 90 Exp: C Conn: centered on posts



Date: 9/13/2016
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PURLIN APPLICATION DETAIL -- North

RIDGE LINE



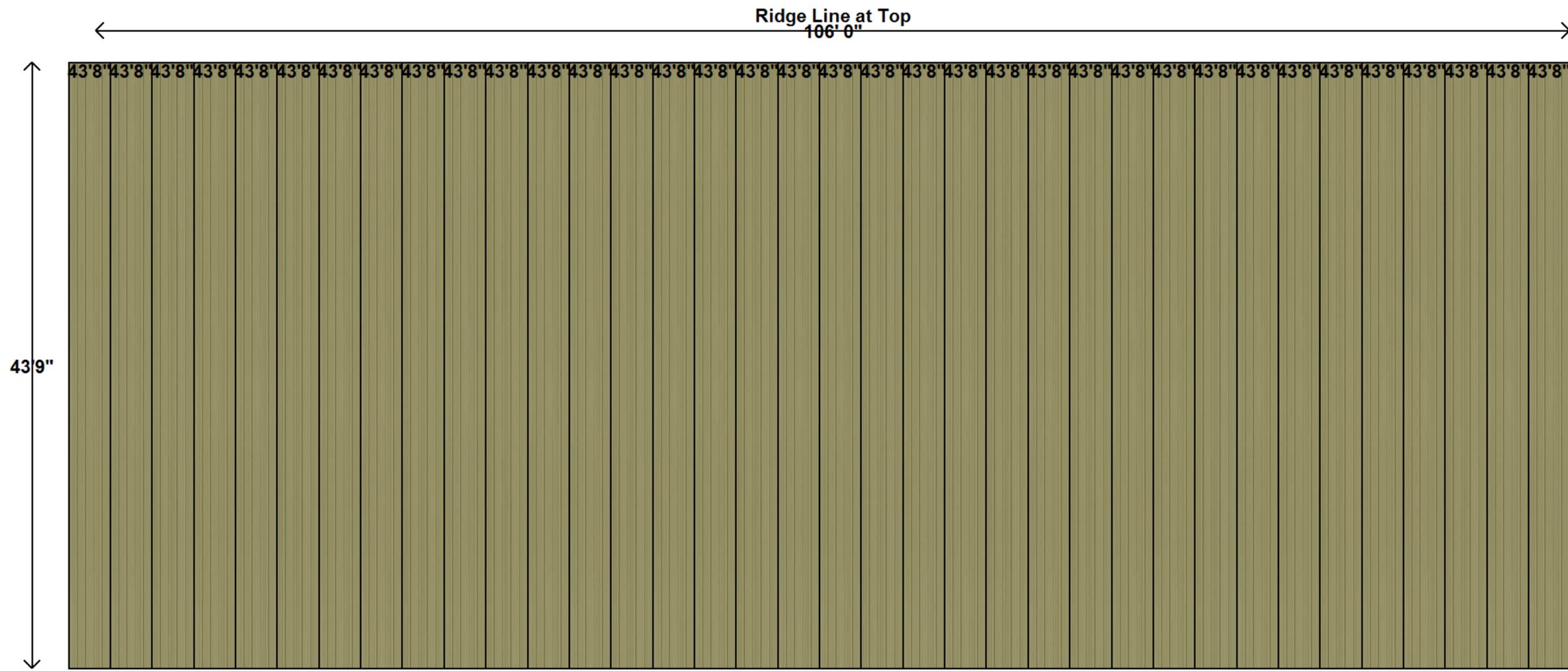
Wing: 1 Size: 106' x 43' 9"
Std Purlin: Dimensional-Untreated 1650Fb-1.5E MSR Yellow Pine 2 x 4
Ridge Purlin: Dimensional-Untreated 1650Fb-1.5E MSR Yellow Pine 2 x 4
Eave Fascia: Dimensional-Untreated #2 & Better SPF 2 x 6
Truss Loading: 35/5/0/5 Pitch: 3.5 Span: 80
Wind Load: 90 Exp: C Conn: centered on posts



Date: 9/13/2016
 JS STEWART COMPANY.bc2
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 12924 1st Street, Becker, MN 55308-9351
 (800) 535-9722

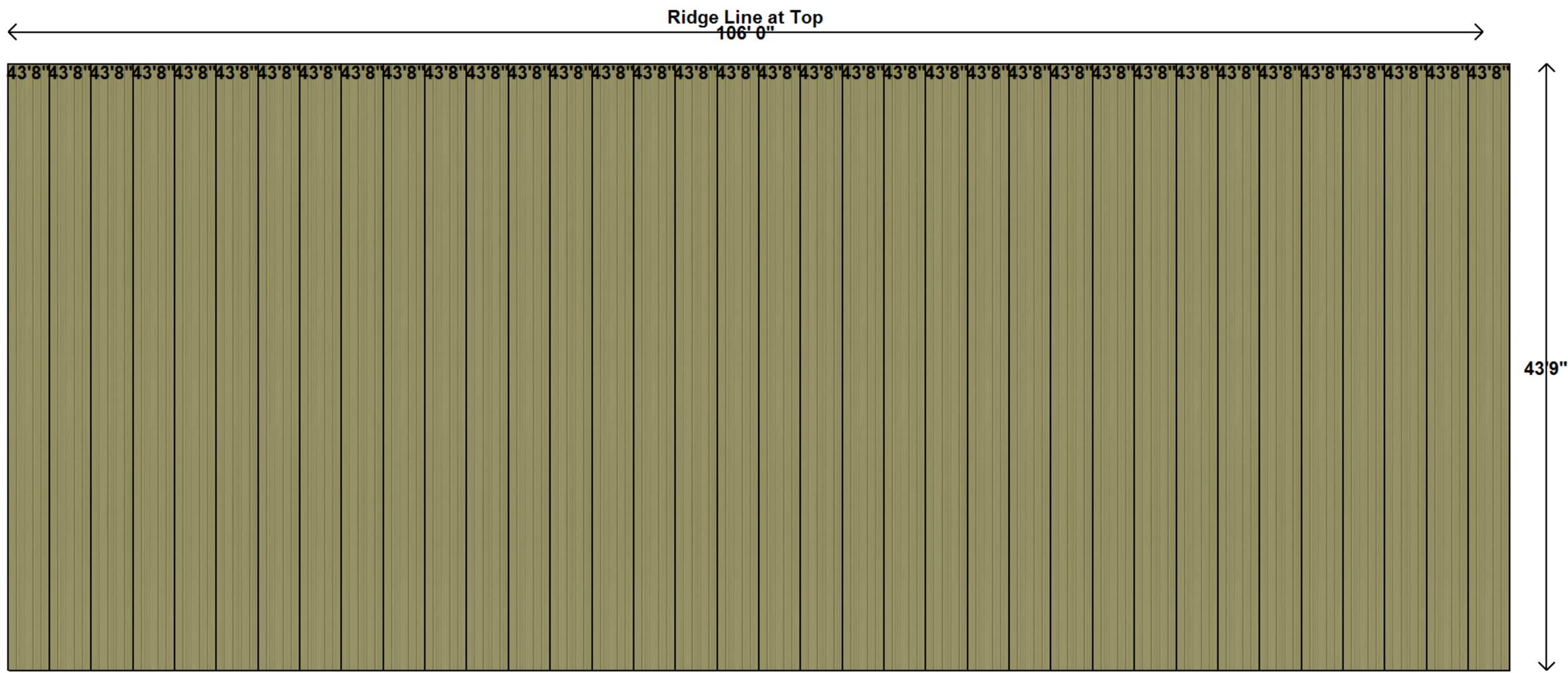
by PostFrame Manager®

ROOF STEEL APPLICATION DETAIL -- South



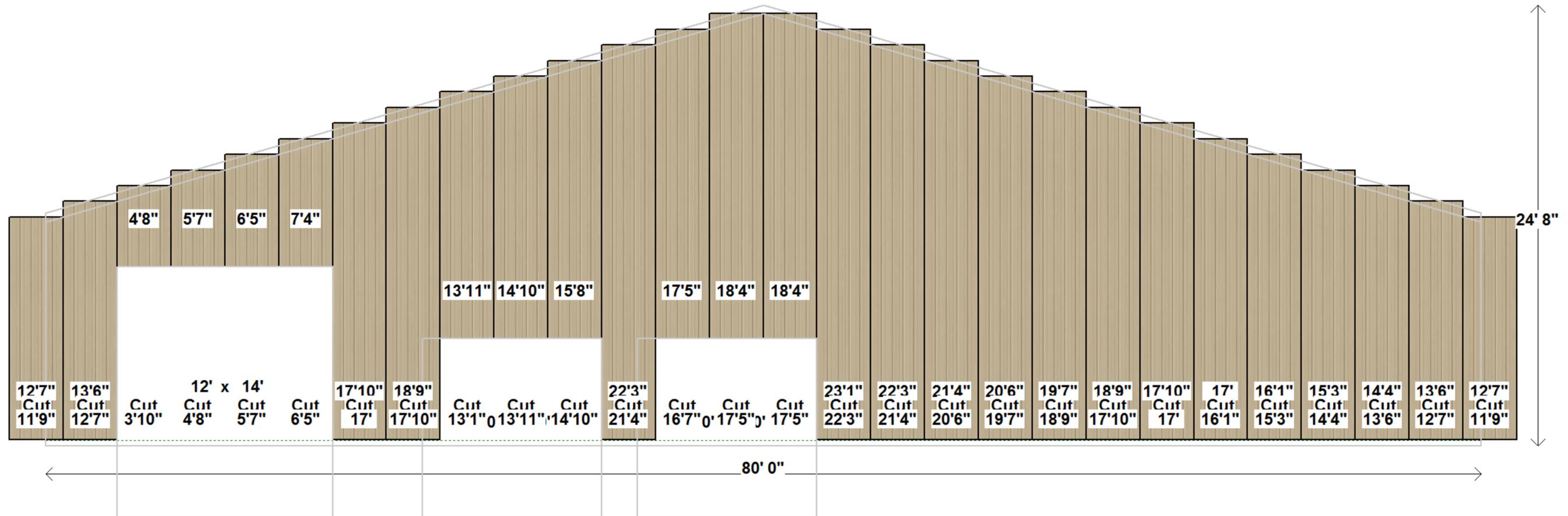
Panel Application Detail -- Wing: 1 Size: 106' 0" x 43' 9"
Steel Width 3', BURNISHED SLATE Steel Dakota Steel G90 26ga D Dakota

ROOF STEEL APPLICATION DETAIL -- North



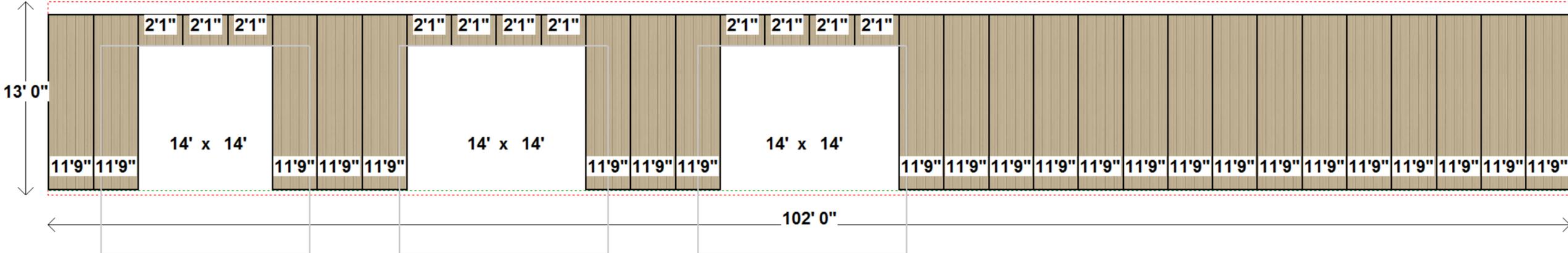
Panel Application Detail -- Wing: 1 Size: 106' 0" x 43' 9"
Steel Width 3', BURNISHED SLATE Steel Dakota Steel G90 26ga D Dakota

SIDING APPLICATION DETAIL BY WALL -- East



Siding Application Detail -- Wing: 1 Segment 1 Size: 80' 0" W x 24' 8" H,
 Siding Width: 3' 0". CLAY MIST Steel Dakota Steel G90 29ga S Strong
 Top Offset: - 6" , Bottom Offset: 4"

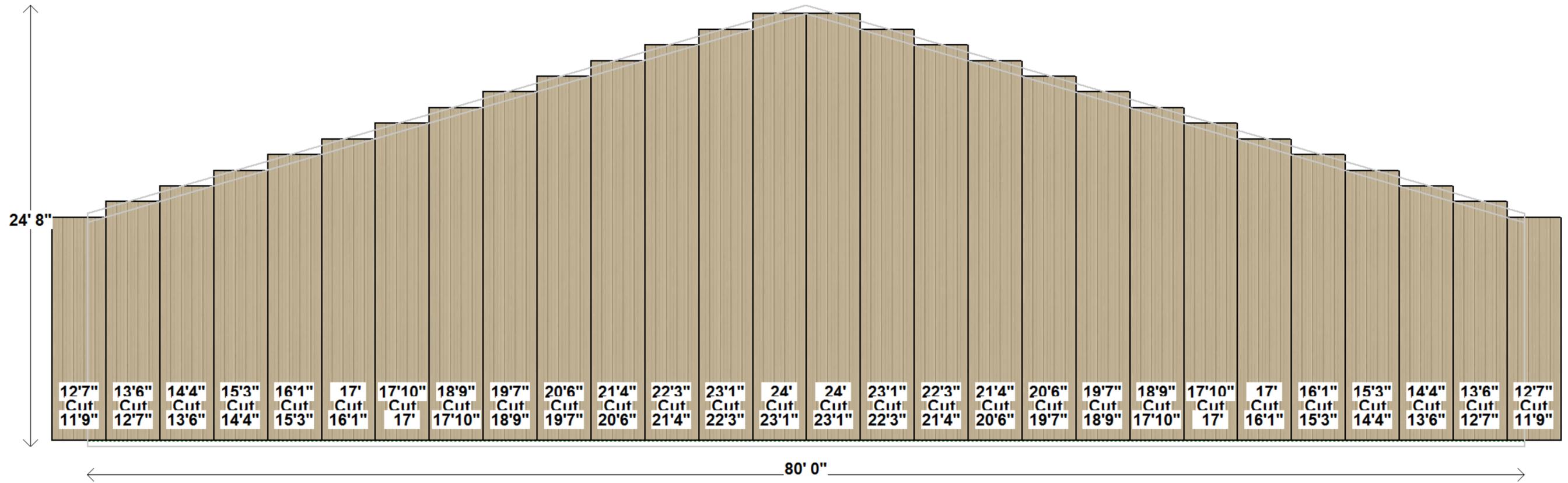
SIDING APPLICATION DETAIL BY WALL -- South



Siding Application Detail -- Wing: 1 Segment 1 Size: 102' 0" W x 13' 0" H,
 Siding Width: 3' 0". CLAY MIST Steel Dakota Steel G90 29ga S Strong
 Top Offset: - 11" , Bottom Offset: 4"



SIDING APPLICATION DETAIL BY WALL -- West

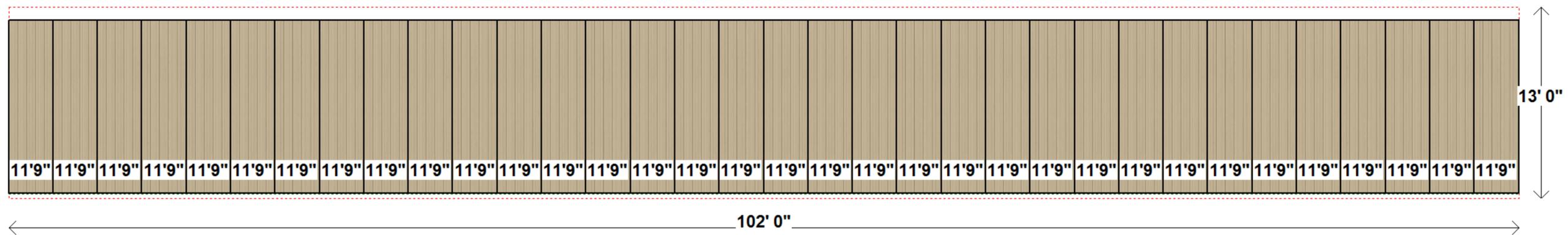


Siding Application Detail -- Wing: 1 Segment 1 Size: 80' 0" W x 24' 8" H,
 Siding Width: 3' 0". CLAY MIST Steel Dakota Steel G90 29ga S Strong
 Top Offset: - 6" , Bottom Offset: 4"



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SIDING APPLICATION DETAIL BY WALL -- North

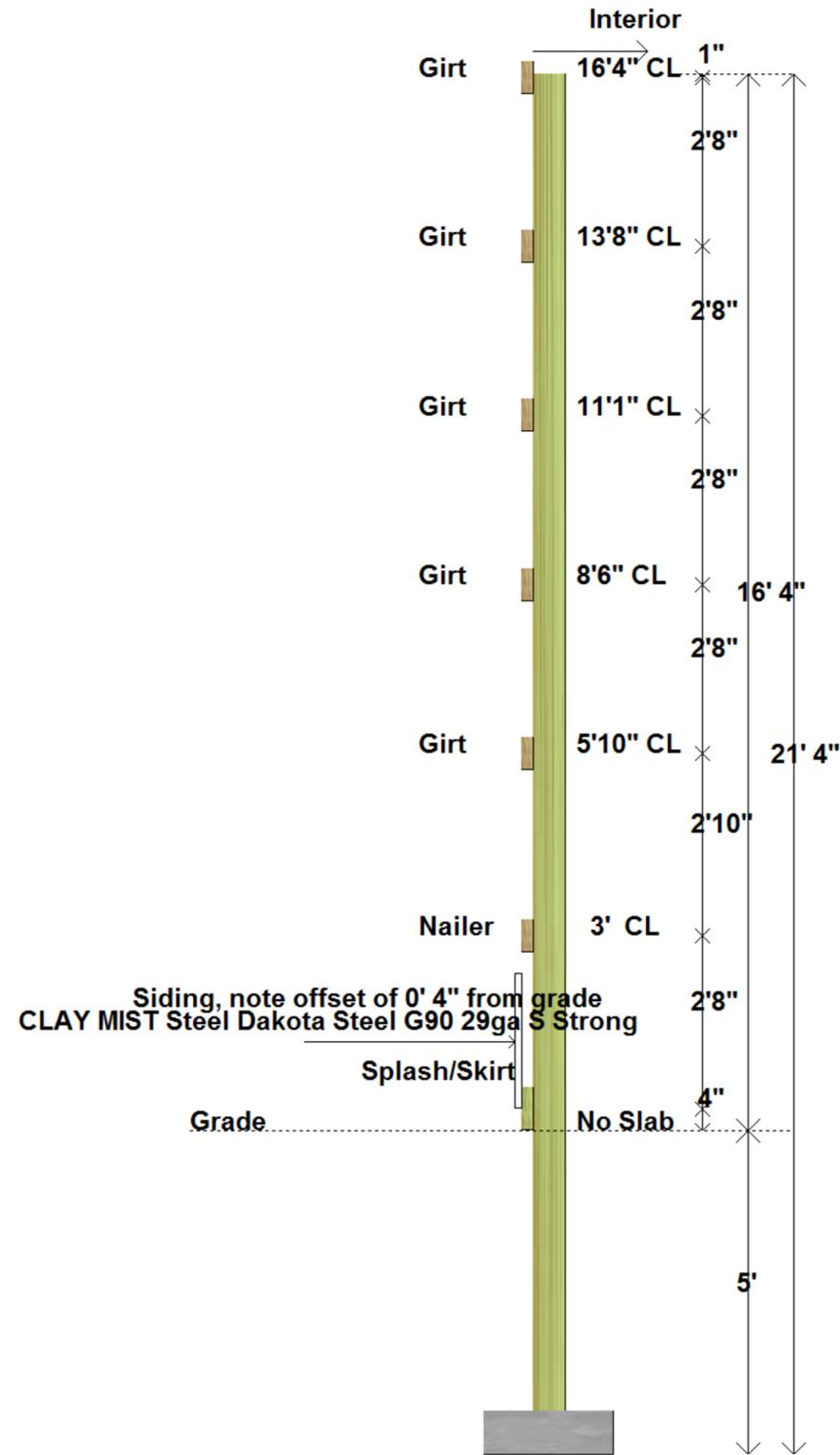


Siding Application Detail -- Wing: 1 Segment 1 Size: 102' 0" W x 13' 0" H,
Siding Width: 3' 0". CLAY MIST Steel Dakota Steel G90 29ga S Strong
Top Offset: - 11" , Bottom Offset: 4"



Date: 9/13/2016
JS STEWART COMPANY.bc2
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WALL CROSS SECTION DETAIL -- East



Post Cross Section -- Wing: 1

Girts: Dimensional-Untreated #2 & Better SPF 2x6

Splash/Skirts: Dimensional-.60 CCA Treated #2 Yellow Pine 2x8

Nailers: Dimensional-Untreated #2 & Better SPF 2x6

Girt Placement is calculated as CL from top of splash/skirt.

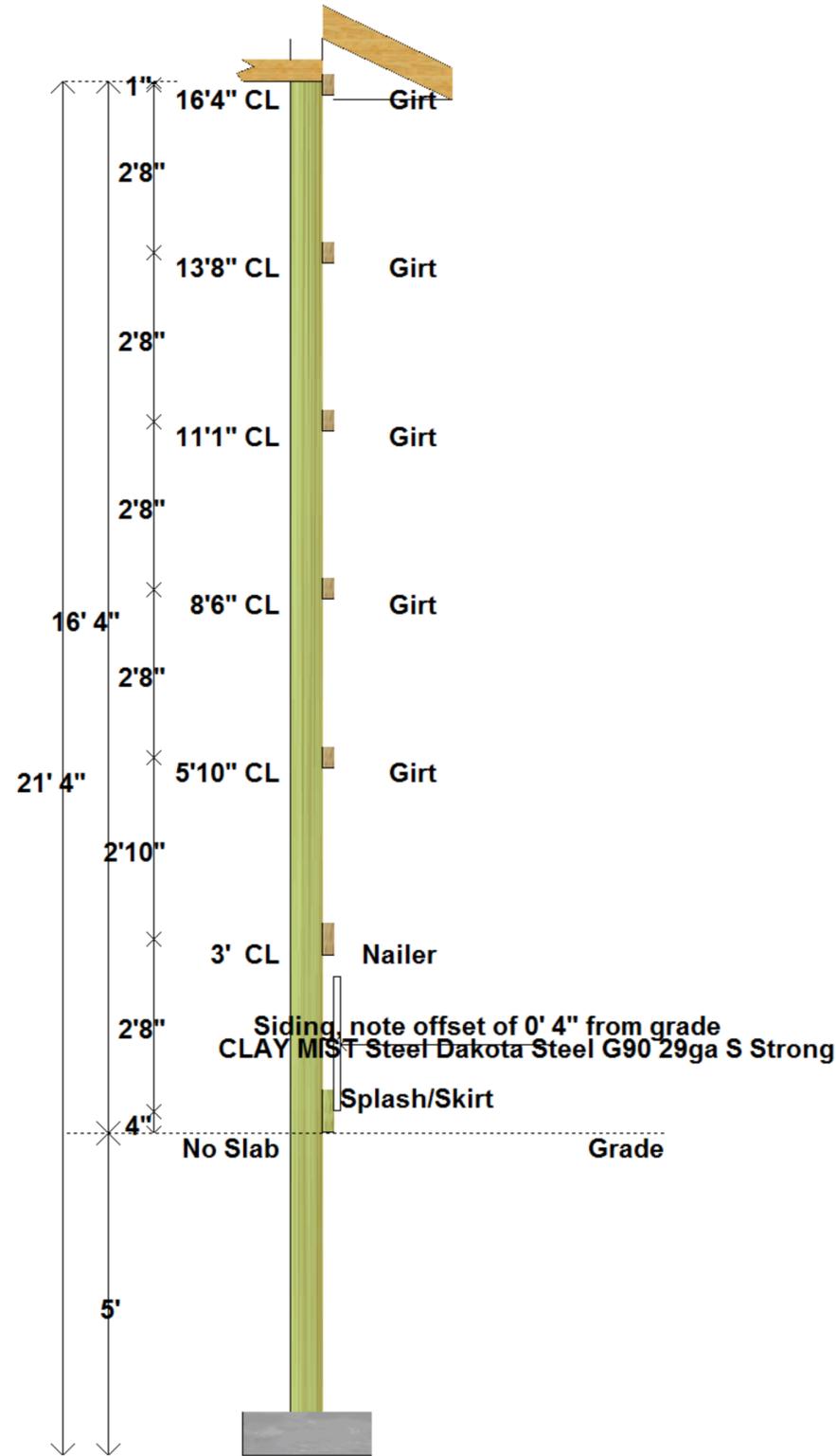
Hole Diameter: 24" Concrete Depth: 8"
 Post embedment: embed in partial depth (set by trench depth) pier
 Line Posts: Treated Post Yellow Pine 4.5x6

Corner Posts: Treated Post Yellow Pine 4.5x6



WALL CROSS SECTION DETAIL -- South

Truss Loading: 35/5/0/5 Pitch: 3.5 Span: 80
 Wind Load: 90 Exp: C Conn: centered on posts
 Overhang Depicted: 24



Post Cross Section -- Wing: 1

Girts: Dimensional-Untreated #2 & Better SPF 2x4

Splash/Skirts: Dimensional-.60 CCA Treated #2 Yellow Pine 2x8

Nailers: Dimensional-Untreated #2 & Better SPF 2x6

Girt Placement is calculated as CL from top of splash/skirt.

Hole Diameter: 24" Concrete Depth: 8"
 Post embedment: embed in partial depth (set by trench depth) pier
 Line Posts: Treated Post Yellow Pine 4.5x6

Corner Posts: Treated Post Yellow Pine 4.5x6

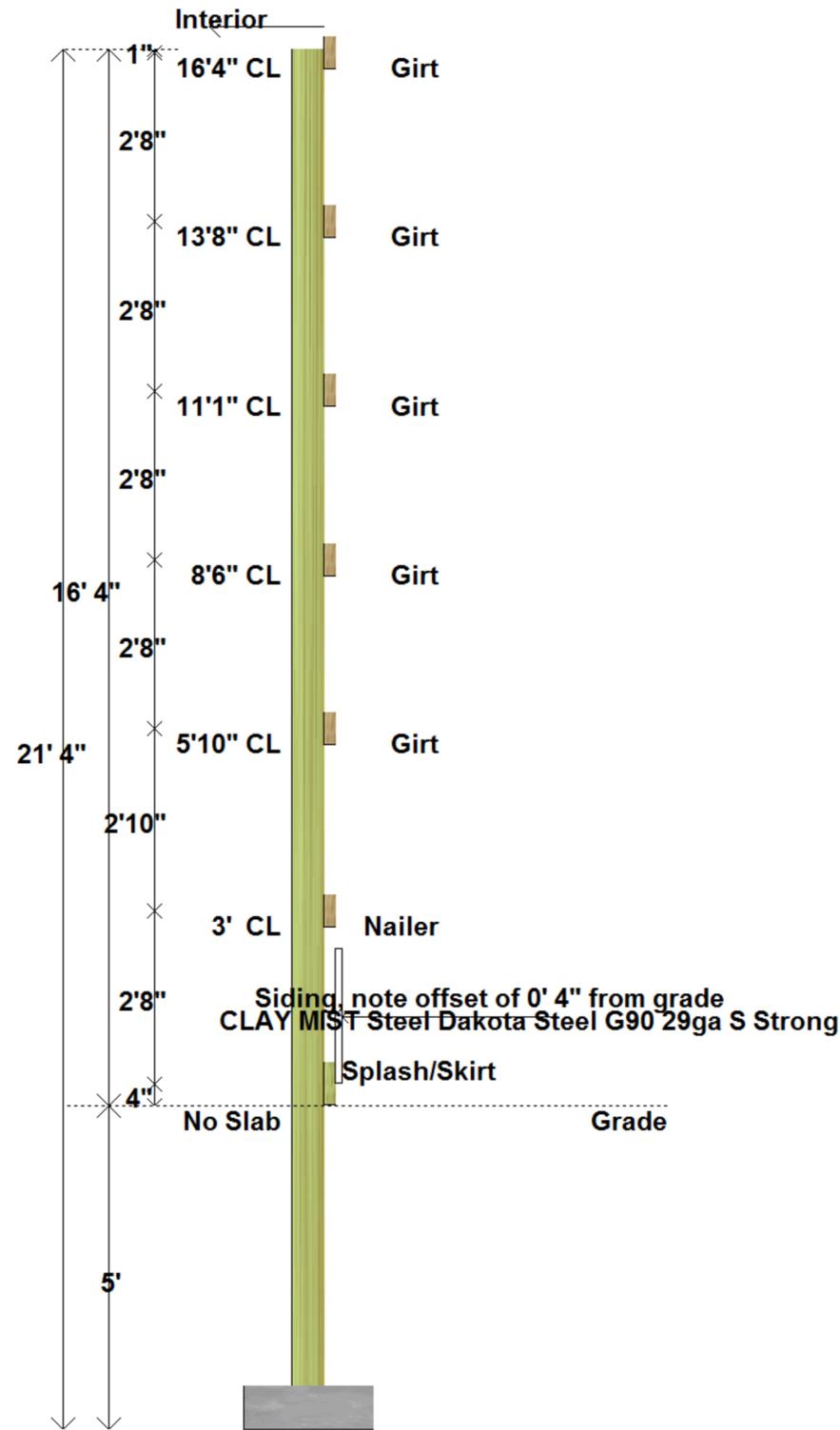


Date: 9/13/2016
 JS STEWART COMPANY.bc2
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 12924 1st Street, Becker, MN 55308-9351
 (800) 535-9722

by PostFrame Manager®

WALL CROSS SECTION DETAIL -- West

Truss Loading: 35/5/0/5 Pitch: 3.5 Span: 80
 Wind Load: 90 Exp: C Conn: centered on posts



Post Cross Section -- Wing: 1

Girts: Dimensional-Untreated #2 & Better SPF 2x6

Splash/Skirts: Dimensional-.60 CCA Treated #2 Yellow Pine 2x8

Nailers: Dimensional-Untreated #2 & Better SPF 2x6

Girt Placement is calculated as CL from top of splash/skirt.

Hole Diameter: 24" Concrete Depth: 8"
 Post embedment: embed in partial depth (set by trench depth) pier
 Line Posts: Treated Post Yellow Pine 4.5x6

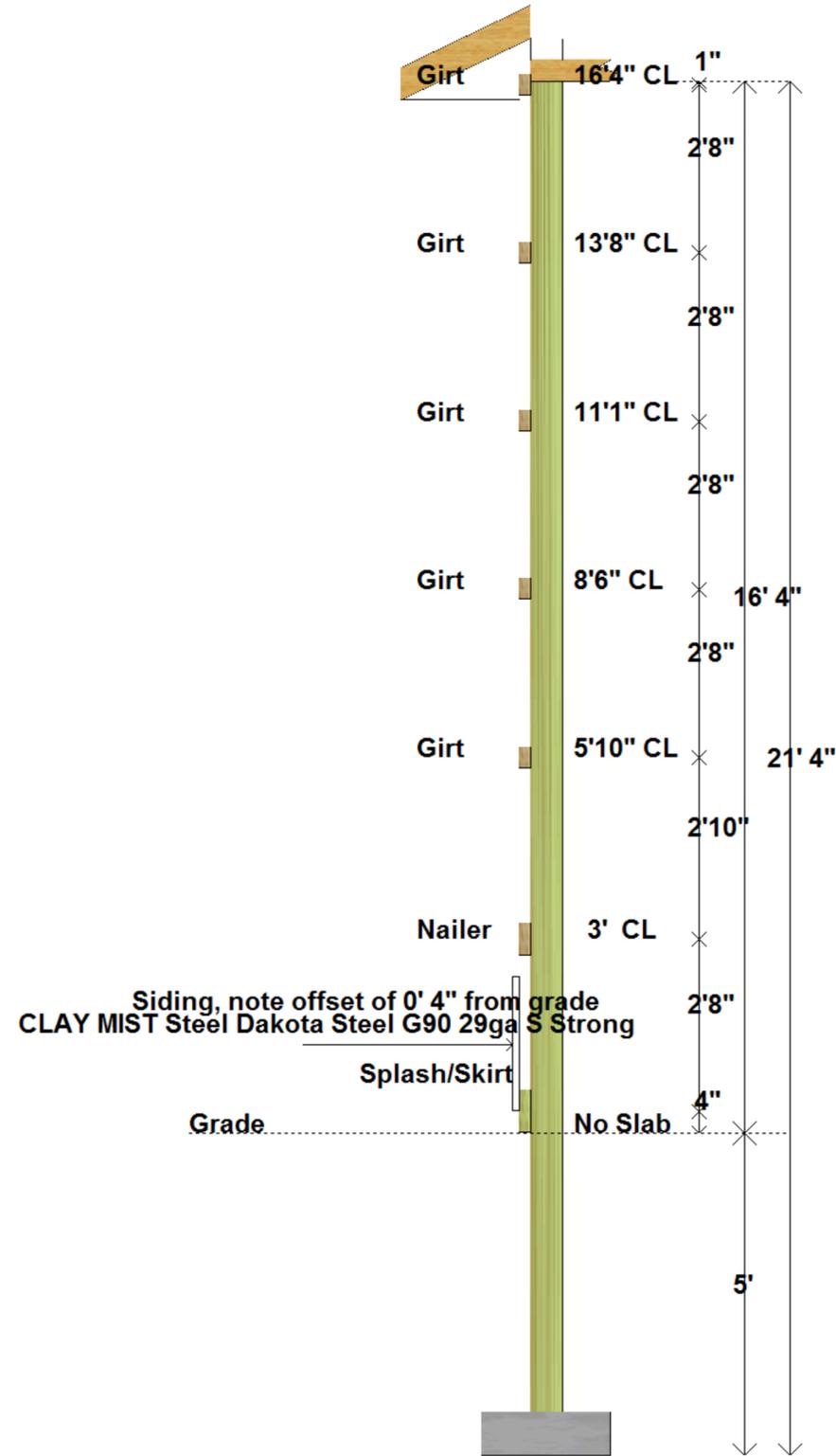
Corner Posts: Treated Post Yellow Pine 4.5x6



Date: 9/13/2016
 JS STEWART COMPANY.bc2
 Structural Buildings
 12924 1st Street, Becker, MN 55308-9351
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Truss Loading: 35/5/0/5 Pitch: 3.5 Span: 80
 Wind Load: 90 Exp: C Conn: centered on posts
 Overhang Depicted: 24

WALL CROSS SECTION DETAIL -- North



Post Cross Section -- Wing: 1

Girts: Dimensional-Untreated #2 & Better SPF 2x4

Splash/Skirts: Dimensional-.60 CCA Treated #2 Yellow Pine 2x8

Nailers: Dimensional-Untreated #2 & Better SPF 2x6

Girt Placement is calculated as CL from top of splash/skirt.

Hole Diameter: 24" Concrete Depth: 8"
 Post embedment: embed in partial depth (set by trench depth) pier
 Line Posts: Treated Post Yellow Pine 4.5x6

Corner Posts: Treated Post Yellow Pine 4.5x6



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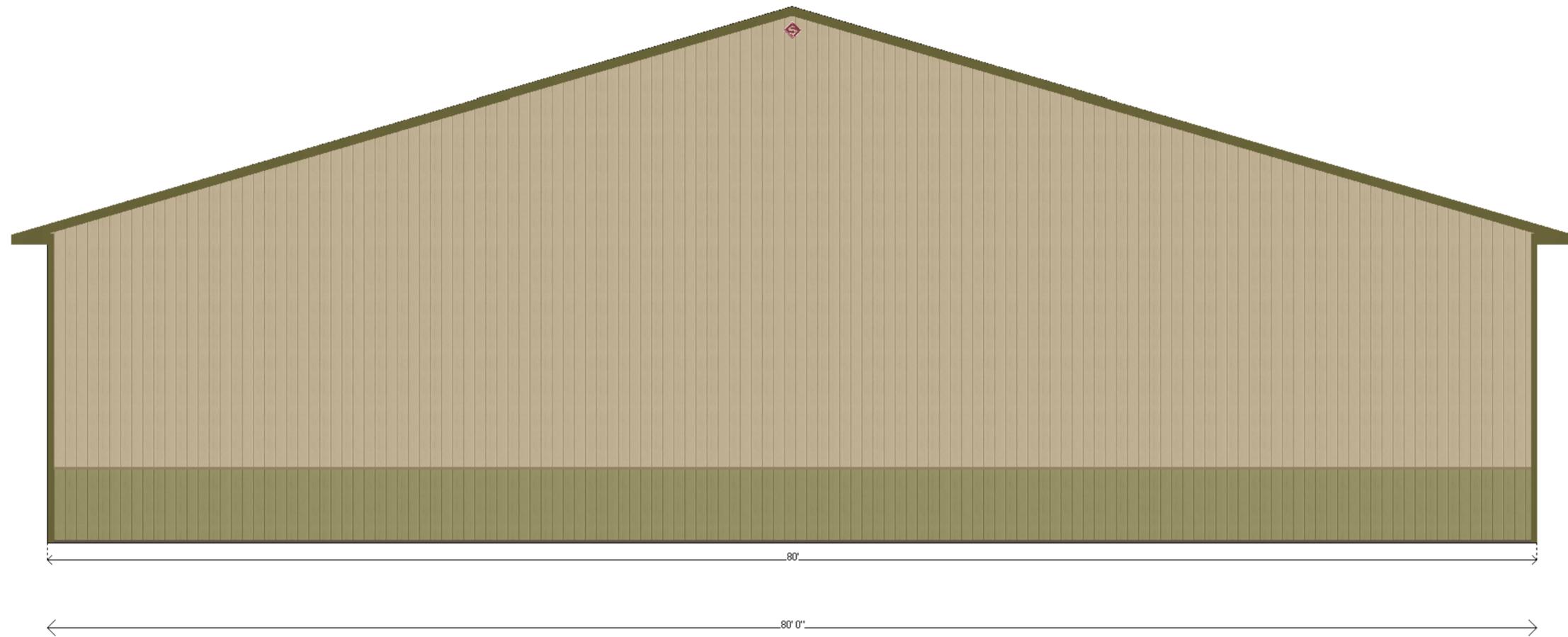
ELEVATION PLAN (BY DIRECTION, ALL WINGS) -- East



ELEVATION PLAN (BY DIRECTION, ALL WINGS) -- South



ELEVATION PLAN (BY DIRECTION, ALL WINGS) -- West



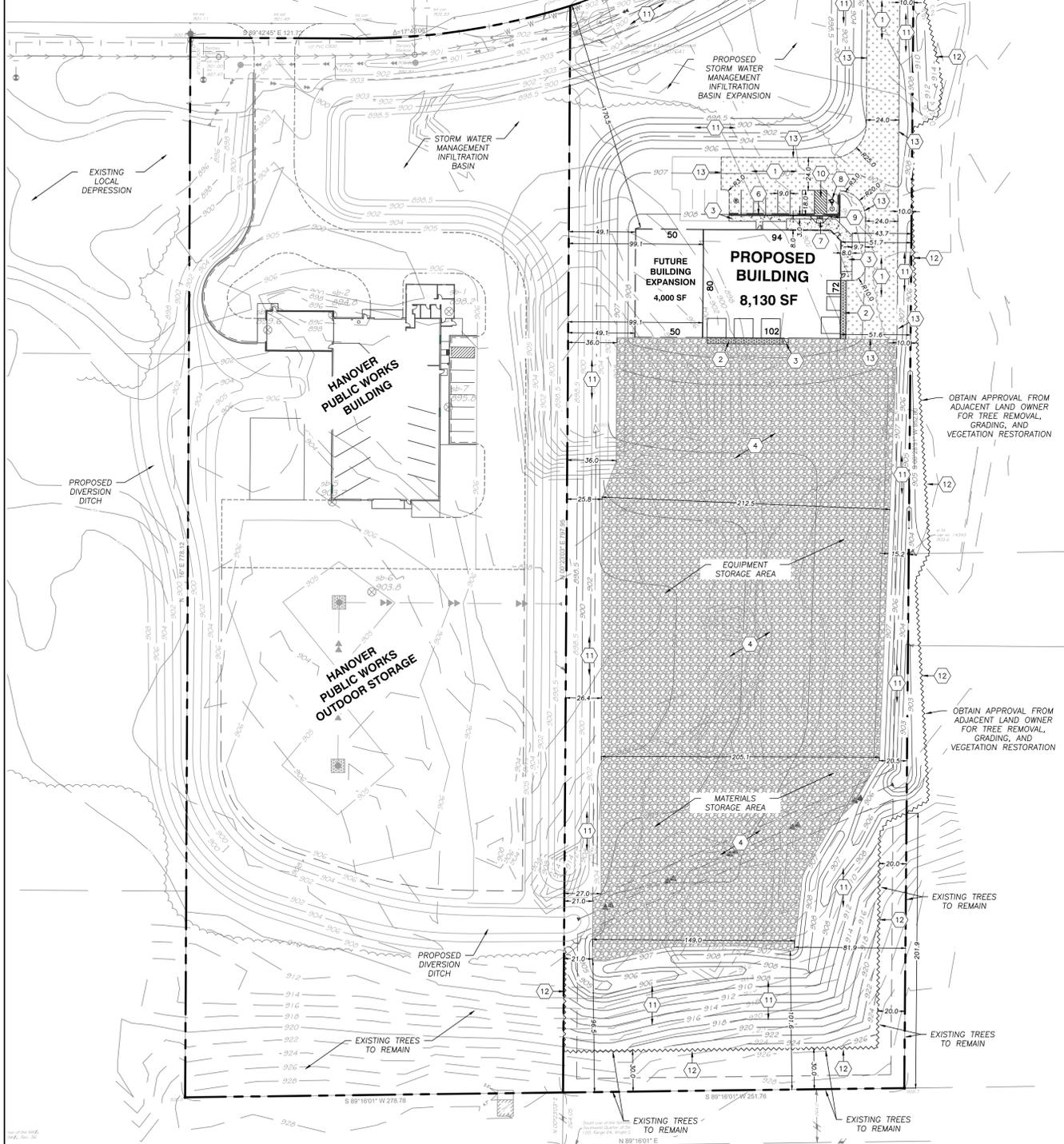
ELEVATION PLAN (BY DIRECTION, ALL WINGS) -- North



PROJECT LOCATION

NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA.

5th Street Northeast

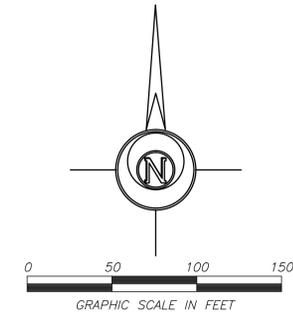


SITE DATA:

EXISTING ZONING: I-3 INDUSTRIAL PARK
 LOT AREA: 5.0 AC
 PROPOSED BUILDING AREA:
 OFFICE 800 SF
 WAREHOUSE 7,330 SF
 TOTAL = 8,130 SF
 BUILDING FAR: 0.04
 REQUIRED PARKING STALLS:
 OFFICE 1/200 SF 4 STALLS
 WAREHOUSE 1/2000 SF 4 STALLS
 TOTAL = 8 STALLS
 FUTURE BUILDING EXPANSION AREA:
 OFFICE 400 SF
 WAREHOUSE 3,600 SF
 TOTAL = 4,000 SF
 FUTURE BUILDING FAR: 0.02
 FUTURE REQUIRED PARKING STALLS:
 OFFICE 1/200 SF 2 STALLS
 WAREHOUSE 1/2000 SF 2 STALLS
 TOTAL = 4 STALLS
 IMPERVIOUS AREA: 115,992 sf = 2.66 acres
 IMPERVIOUS COVERAGE: 53.2%
 SITE DISTURBANCE AREA: 201,812 sf = 4.63 acres

LEGEND:

- EXISTING BOUNDARY
- - - EXISTING LOT LINE
- - - PROPOSED EASEMENT LINE
- == PROPOSED CURB AND GUTTER
- PROPOSED TIP-OUT CURB
- PROPOSED BITUMINOUS EDGE
- Ⓢ PROPOSED PARKING STALLS
- ▨ PROPOSED AGGREGATE SURFACE
- ▨ PROPOSED CONCRETE HEAVY DUTY
- ▨ PROPOSED CONCRETE LIGHT DUTY
- ▨ PROPOSED BITUMINOUS
- ~ PROPOSED TREE REMOVAL LIMITS



Topography Survey By: Benchmark:

Lot Surveys Company
7601 73rd Avenue North
763-560-3093
 Top nut of hydrant at
Northeast corner of 5th
Street & Hwy 19.
Elevation = 914.31 feet

SITE PLAN NOTES:

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF EXITS, RAMPS, CONCRETE APRONS AND STOPS.
2. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
3. ALL CONCRETE SIDEWALKS ADJACENT TO BUILDING SHALL BE SEPARATED WITH A 1/2" EXPANSION JOINT.
4. CONTRACTOR SHALL VERIFY ALL CONDUIT REQUIREMENTS FOR SITE LIGHTING, COMMUNICATION, SPRINKLER, ETC WITH OWNER PRIOR TO PAVING.
5. ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADAAG REQUIREMENTS). POLE MOUNT APPROVED SIGNS CENTERED ON STALLS. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY ON STALL.
6. CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP PER ADAAG AND MNDOT STANDARDS INCLUDING CONTRASTING DETECTABLE WARNING METAL TRUNCATED DOME PANELS.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHAL FOR POSTING OF FIRE LANES, CURB MARKING AND SIGNAGE IF NEEDED.
8. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SITE FEATURES THAT INTERFERE WITH NEW WORK AS SHOWN.
9. ALL NEW UTILITIES MUST BE UNDERGROUND. COORDINATE LOCATIONS WITH LOCAL UTILITY COMPANIES.
10. SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPE OF 1.5% WITH ADJUSTMENT +/- 0.5%. SIDEWALKS WILL BE INSPECTED AFTER CONSTRUCTION. ANY SIDEWALK EXCEEDING 2.0% CROSS SLOPE WILL NEED TO BE REPLACED AT CONTRACTORS EXPENSE.

GENERAL NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
2. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
3. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
4. THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
5. ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

SETBACK: APPLICABLE TO THIS SITE

LOCATION:	BUILDING	PARKING
FRONT YARD	30'	10'
SIDE YARD	20'	10'
REAR YARD	20'	10'
ADJ TO RESIDENTIAL	50'	10'

KEY NOTES:

- 1 BITUMINOUS PAVEMENT, SEE DETAIL ON PLAN C2
- 2 CONCRETE PAVEMENT HEAVY DUTY, SEE DETAIL ON PLAN C2
- 3 CONCRETE PAVEMENT LIGHT DUTY, SEE DETAIL ON PLAN C2
- 4 AGGREGATE SURFACE 10.0" CLASS 5 OR RECYCLED CONCRETE/BITUMINOUS.
- 5 NOT USED
- 6 B612 CONCRETE CURB WITH TIP-OUT GUTTER MIX 3Y22A FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3Y32A FOR MANUAL PLACEMENT (MnDOT 2461)
- 7 PED. RAMP -- IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT & MNDOT STANDARD PLAN 5-297.250 INCLUDING CONTRASTING DETECTABLE WARNING DEVICES. DEPRESS BACK OF CURB AT RAMP.
- 8 PAINT INTERNATIONAL SYMBOL OF ACCESSABILITY WITH WHITE LATEX PAINT.
- 9 ACCESSIBLE PARKING SIGN (MnDOT NOS. R7-8A & R7-8B). CENTER SIGN ON PARKING STALL. LOCATION PER GENERAL CONTRACTOR. MOUNT ON STEEL CHANNEL POST.
- 10 PAINT 4" SOLID STRIPE -- WHITE LATEX PAINT.
- 11 PLACE 6.0" TOPSOIL AND ESTABLISH GRASS TURF GROUND COVER ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY IMPERVIOUS SURFACE; CONFIRM SELECTION OF LOW MAINTENANCE GRASS SEED WITH OWNER PRIOR TO INSTALLATION; FERTILIZER AND STRAW MULCH (DISC ANCHORED) AT TIME OF SEED PLACEMENT; INSTALL EROSION BLANKET MNDOT CAT3 ON ALL SLOPES 4:1 OR GREATER
- 12 TREE REMOVAL LIMITS.
- 13 BITUMINOUS EDGE, NO CURB.

CLIENT:



11030 Lamont Avenue NE,
Hanover, MN 55341

Jim Stewart
(763) 424-9030
jim@jstewart.com

**JS STEWART COMPANIES
SITE IMPROVEMENT
PROJECT**

xxxx 5th Street
Hanover, MN 55341

SITE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

10/11/16

Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING

SITE DESIGN

118 East Broadway St.
Monticello, MN 55362
Phone: 763-314-0929
www.civilsd.com

REVISIONS

VERTICAL SCALE
1 inch = 10 feet

HORIZONTAL SCALE
1 inch = 50 feet
(FULL SIZE SHEET 24 X 36)

DATE 10/11/16

DRAWN BY SD

DESIGNED BY SD

CHECKED BY SD

FILE NO. 00590

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN
- C2 GRADING AND DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STORM WATER POLLUTION PREVENTION PLAN
- C5 DETAILS
- C6 LANDSCAPE PLAN

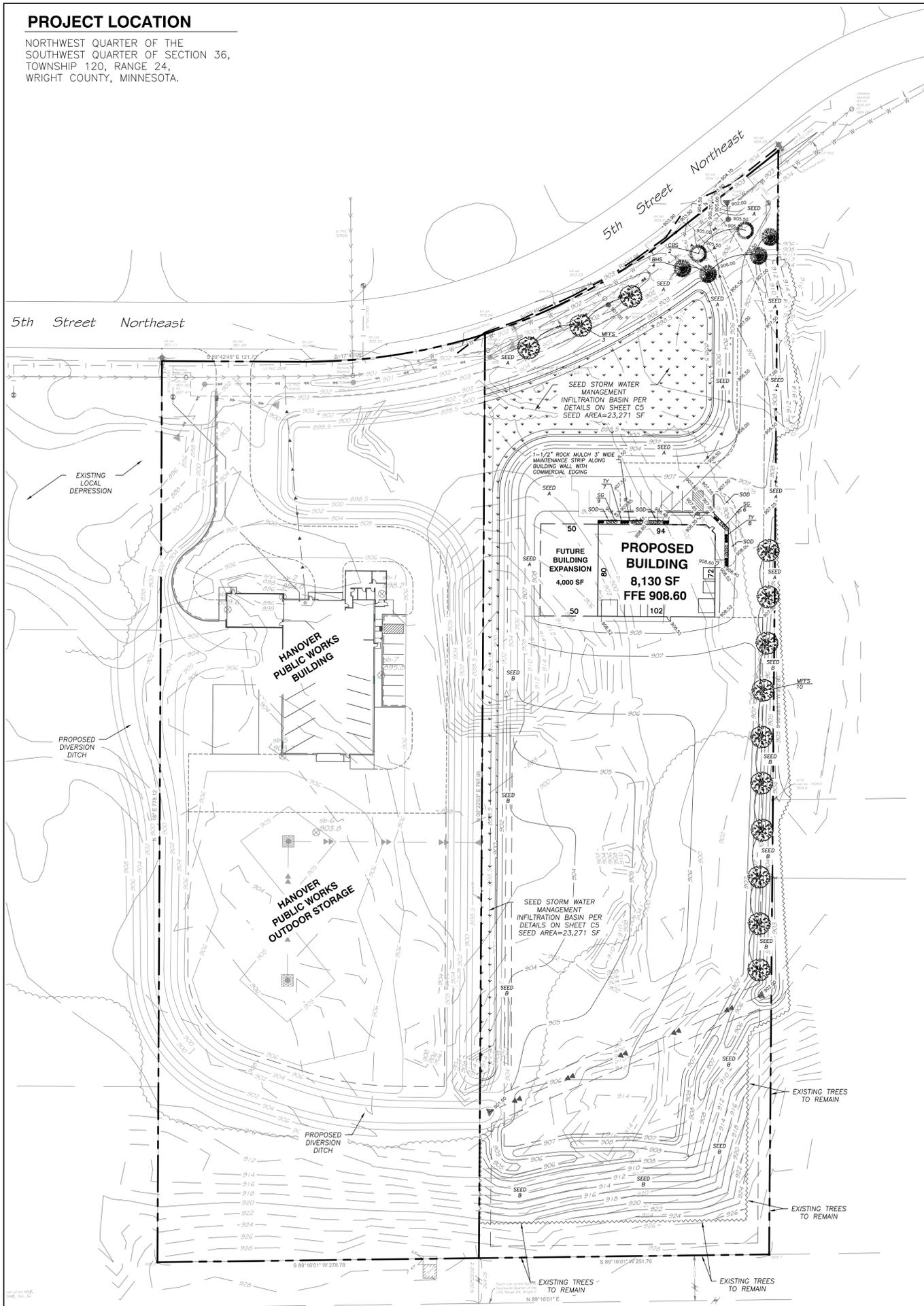
C1

Site Plan

PROJECT LOCATION

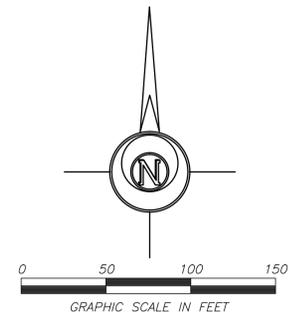
NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA.

5th Street Northeast



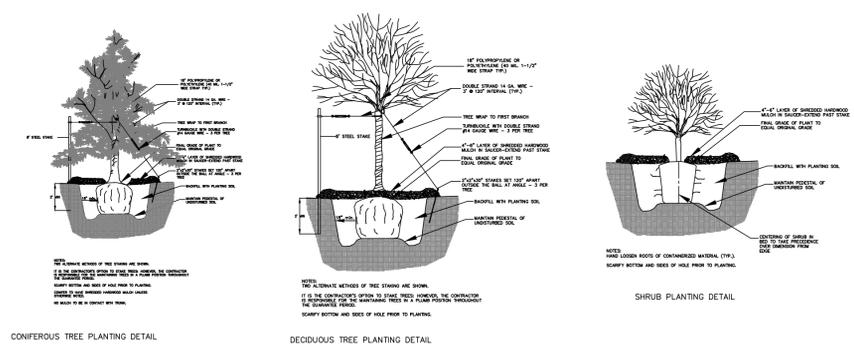
PLANT LIST:

QTY	KEY	COMMON NAME	SIZE/ROOT
TREES OVERSTORY DECIDUOUS			
13	MFFS	Maple, Fall Fiesta Sugar	2 Inch
13	Total		
TREES OVERSTORY CONIFEROUS			
2	CBS	Colorado Blue Spruce	3 Feet
4	BHS	Black Hills Spruce	3 Feet
6	Total		
SHRUBS			
15	TY	Taunton Yew	5 Gallon
15	SG	Spirea, Goldflame	5 Gallon
30	Total		



Topography Survey By: Lot Surveys Company
7601 73rd Avenue North
Minneapolis, MN 55428
763-560-3093

Benchmark: Top nut of hydrant at
Northeast corner of 5th
Street & Hwy 19.
Elevation = 914.31 feet



- GENERAL NOTES:**
- Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the General Contractor written acceptance of the date determined as substantially complete. Replacement materials shall also have a one year guarantee upon planting.
 - Landscape contractor shall inspect the site and become familiar with existing conditions relating to the nature and scope of work. If any discrepancies are found, the General Contractor shall be notified prior to construction. The base information including contours, trails, utilities, curbs, and building locations were provided by others. All discrepancies must be resolved prior to construction.
 - Landscape contractor shall verify plan layout and bring to the attention of the General Contractor discrepancies which may compromise the design or intent of the layout.
 - Landscape contractor shall assure compliance with codes and regulations governing the work and materials supplied.
 - Landscape contractor shall protect all existing roads, curbs/gutters, trails, trees, lawns, and site elements during construction. Damage to the same shall be repaired at no cost to the Owner.
 - Landscape contractor shall verify the location of all utilities above and below grade prior to any soil disruption or installation. Provide necessary protection for same before construction begins.
 - Landscape contractor shall coordinate each phase of installation with General Contractor.
 - Landscape contractor shall be responsible for ongoing maintenance of all installed materials until time of substantial completion. Repair and/or replace all damaged materials due to construction or acts of vandalism at no cost to the Owner.
 - Landscape contractor shall verify that all plant placement will not negatively affect the plant's survival or warranty. Undesirable site conditions shall be brought to the attention of the General Contractor prior to construction.
 - Landscape irrigation to be provided for all mowed turf areas. Design/build irrigation plan to be approved by owner. Record plan to be provided to owner at completion.
 - Landscape contractor shall submit a written request for the substantial completion of all landscape and site improvements prior to submitting for final payment. The submittal shall include an as-built drawing of all landscape and irrigation installations and improvements.
- TURF NOTES:**
- Sod turf areas unless noted as seed. Landscape contractor to obtain approval of sod type from General Contractor or owner prior to installation.
 - Sod shall be TPI certified turf grass sod, highland sod only. Sod shall be free from weeds, stones, and have a strong fibrous root structure and be free from burned or bare spots.
 - Sod shall be uniform in depth and cut into even rolls. All sod delivered to the site shall be installed that day. All seams shall be laid tight in staggered rows not less than 18 inches apart. Sod that abuts curbs or concrete areas shall have a finish grade 1 inch below the hard surface elevation. Once sod is installed the elevations shall be level. Sod areas shall be fertilized with a 22-05-10, 80% W.N., 0% C.I. at 350 lbs/ac and applied as per distributor's requirements.
 - Landscape contractor to confirm approval of seed mix from General Contractor or owner prior to installation.
 - Seed shall be installed as per the distributor's requirements for proper coverage and germination.
 - Seed A: MnDOT seed mix 25-131 shall be applied at 220.0 lbs/ac in moderate maintenance turf areas.
 - Seed B: MnDOT seed mix 35-221 shall be applied at 36.5 lbs/ac in low maintenance turf areas.
 - Seed C: MnDOT seed mix 33-261 shall be applied at 35.0 lbs/ac in storm water basin areas. Install in basin bottom and extend up on basin sidewalls 3.0 feet vertical from bottom.
 - MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
 - Fertilizer shall be 22-05-10, 80% W.N., 0% C.I. at 350 lbs/ac. Disc fertilizer into top 3" of soil.
 - Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using same rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
 - Any seeded areas that do not become established with vegetation shall be re-seeded at Contractor's expense.
- PLANTING NOTES:**
- All plants to be Minnesota grown and hardy. Plants to be installed as per standard ANN planting practices. Nursery stock shall comply with the current edition of the American Standard for Nursery Stock, ANSI Z60.1.
 - No planting will occur until final grading has been completed.
 - All tree and shrub beds shall be staked and approved prior to installation.
 - No substitutions will be accepted unless approval is granted by the General Contractor prior to submission of the bid.
 - Location adjustments may be needed in the field. Landscape Architect must be notified.
 - Plants to be installed as per planting details.
 - Plants shall be fertilized upon installation with dried bone meal. Other approved fertilizers mixed in with the planting soil as per the manufacturer's instructions may be applied. Summer and fall installations shall have an application of granular 10-0-5, 12oz. per 2.5' cal. tree and 6oz. per shrub. An additional application of 10-10-10 the following spring in the tree saucer.
 - Areas receiving ground covers, perennials, or garden space shall receive a minimum of 18 inches of planting soil consisting of 4 parts topsoil, 4 parts screened compost, and 1 part sand.
 - All deciduous trees shall be wrapped in the fall prior to Dec. 1 and removed after April 15. Maintenance strip shall have weed barrier fabric under rock mulch and edged with play edging.
 - Edging shall be professional grade poly material. Edging horizontal layout to be uniform with smooth transitions. Edging vertical placement to be below typical mower deck cutting height.
 - A 24" wide rock mulch maintenance strip shall be installed along the wall of the building. Maintenance strip shall have weed barrier fabric under rock mulch and edged with play edging.
 - Weed barrier shall be 4oz. woven needle punch, black. Overlapping seams.
 - Rock mulch, (River Rock, 1-1/2 inch or 2-1/2 inch) shall be placed a minimum of 4 inches deep. Rock mulch shall have weed barrier fabric or 6 mil poly under rock.
 - Mulch tree rings shall be 6 feet in diameter and be a minimum of 4 inch deep double shredded dark brown hardwood. Mulch shall not come in contact with tree trunks.
 - All deciduous plantings shall occur between spring thaw and June 15, or between fall's first frost and the first snow or Nov. 15, which ever comes first. Coniferous plantings must be prior to Oct. 1.
 - Landscape contractor shall be responsible for determining appropriate planting conditions. Warranties shall be enforced regardless of weather and planting conditions.
 - No excess materials or debris will be on site. All hard surfaces will be swept and washed clean.



11030 Lamont Avenue NE,
Hanover, MN 55341

Jim Stewart
(763) 424-9030
jim@jstewart.com

**JS STEWART COMPANIES
SITE IMPROVEMENT
PROJECT**

xxxx 5th Street
Hanover, MN 55341

LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 10/11/16 Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING SITE DESIGN

118 East Broadway St.
Monticello, Mn 55362
Phone: 763-314-0929
www.civiland.com

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY
	10/11/16	SD	SD	SD

VERTICAL SCALE
1 inch = 10 feet

HORIZONTAL SCALE
1 inch = 50 feet
(FULL SIZE SHEET 34 X 46)

DATE	10/11/16
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00590

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN
- C2 GRADING AND DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STORM WATER POLLUTION PREVENTION PLAN
- C5 DETAILS
- C6 LANDSCAPE PLAN

C6

Landscape Plan

Collaborative Planning, LLC

145 Hamel Road, Suite D

Medina, MN 55340

763-473-0569

Memorandum

Date: October 20, 2016
To: Planning Commission
From: Cindy Nash, City Planner
RE: Public Works Building – Site Plan

The City is proposing the construction of a Public Works building on a site already owned by the City. A copy of the site plan is included in your packets.

The design of the plans assumes the simultaneous construction of an industrial building on the property adjacent to the east. In the event that the other project does not proceed, some modifications may be needed related to stormwater management, including ponding. It is requested that these modifications, if needed, be allowed to be approved at a later date by staff.

A portion of the grading is proposed to occur outside of the limits that are/will be owned by the City. A right of entry will be needed in order to proceed.

Staff has reviewed the proposal and find it to be in conformance with the Zoning Ordinance and other City regulations. A comment memo from the City Engineer is included for your reference.

Recommendation

It is recommended that the site plan be approved subject to the following conditions:

1. Development of the site must be in substantial conformance with the plans prepared by Civil Engineering Site Design and last revised on October 11, 2016. If the site plans require modifications due to either not being able to obtain the rights of entry required, or due to the adjacent site not developing concurrently, then the plan revisions may be approved by the City Engineer and City Planner.
2. Comments from the City Engineer as outlined in his memo dated October 17, 2016 must be addressed.



Memorandum

To: *Cindy Nash – Hanover City Planner*

From: *Justin Messner, PE – Hanover City Engineer*

Cc: *Brian Hagen – Hanover City Administrator*
Scott Dahlke – Civil Engineering Site Design

Date: *October 17, 2016*

Re: *Hanover Public Works Facility Site Plan Review*
WSB Project No. 02082-013

As requested, we have reviewed the Hanover Public Works Facility Site grading and utility plans as prepared by Civil Engineering Site Design, dated October 11, 2016, and we offer the following comments:

Sheet C4 – Utility Plan

1. Per Standard Detail SAN-10, 4" Sanitary Sewer services shall have a minimum slope of 2%.



Memorandum

To: *Scott Dahlke, Civil Engineering Site Design*

From: *Leena Jaakola, WSB*

Cc: *Justin Messner, WSB*

Date: *October 14, 2016*

Re: *Hanover Public Works Facility Stormwater Review
WSB Project No. 02082-013*

A proposed plan and stormwater calculations were submitted for the Hanover Public Works Facility. The proposed project is located at 11149 5th Street NE, MN. The proposed improvements are on a 5 acre site. There is also an additional 5 acre parcel located to the east of the proposed Hanover Public Work building. A pond is proposed adjacent to 5th Street that has been designed to meet the City of Hanover's Water Quality, Volume Control, and Rate Control requirements for both properties.

The following materials were reviewed as a part of this submittal:

- Civil Site Plans, dated 10/11/2016
- HydroCAD output, dated 10/12/2016

The following comments must be addressed before City Approval:

Storm Design

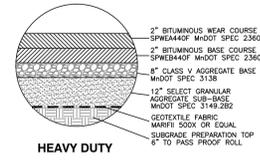
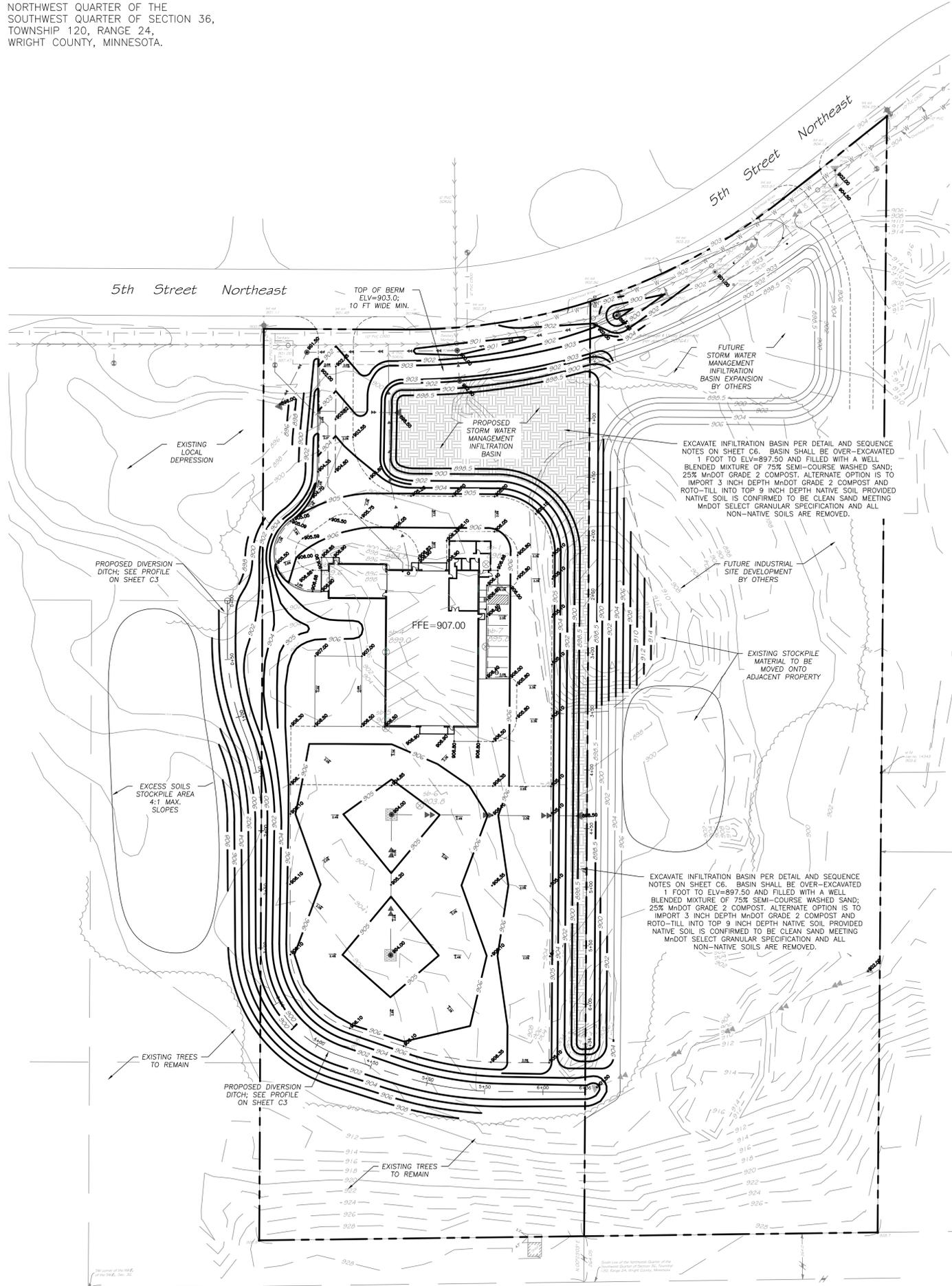
- The current swales are proposed at a grade of 0.2%. Care should be taken during construction to ensure there is at least 0.2% to help minimize the likelihood of standing water.

Infiltration Basin Design

- Based on a site visit on 10/3/16 it was determined that there is approximately 3 feet between the bottom of the infiltration basin and the groundwater. If this separation to groundwater ends up being less than 3 feet the infiltration basin may not function as designed.

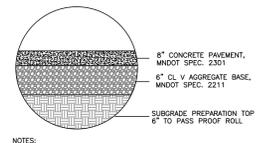
PROJECT LOCATION

NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA.



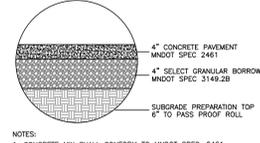
BITUMINOUS PAVEMENT

NOTES:
1. CLASS V AGGREGATE BASE TO EXTEND 1.0 FEET BEHIND BACK OF CURB.
2. SELECT GRANULAR AGGREGATE BASE TO EXTEND 2.0 FEET BEHIND BACK OF CURB.



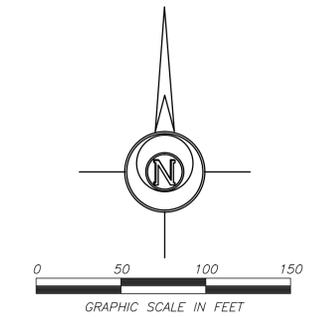
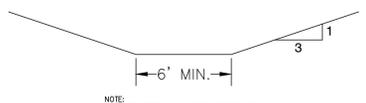
CONCRETE PAVEMENT - HEAVY DUTY

NOTES:
1. CONCRETE MIX SHALL CONFORM TO MNDOT SPEC. 2461
MIX NO. 3122A FOR SURFORM PLACEMENT
MIX NO. 3122B FOR MANUAL PLACEMENT
2. CONCRETE PLACEMENT SHALL CONFORM TO MNDOT SPEC. 2301
3. CONTRACTOR SHALL SPACE THE CONTRACTION JOINTS AT 12'-0\"/>



CONCRETE PAVEMENT - LIGHT DUTY

NOTES:
1. CONCRETE MIX SHALL CONFORM TO MNDOT SPEC. 2461
MIX NO. 3122A FOR SURFORM PLACEMENT
MIX NO. 3122B FOR MANUAL PLACEMENT
2. CONCRETE PLACEMENT SHALL CONFORM TO MNDOT SPEC. 2301
3. CONTRACTOR SHALL SPACE THE CONTRACTION JOINTS AT 6'-0\"/>



Topography Survey By: _____ Benchmark: _____
Lot Surveys Company Top nut of hydrant at
7601 73rd Avenue North Northeast corner of 5th
Minneapolis, MN 55428 Street & Hwy 19.
763-560-3093 Elevation = 914.31 feet

GRADING NOTES

- ALL SITE CONSTRUCTION TO COMPLY WITH THE CITY OF HANOVER STANDARDS AND THE LATEST VERSION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION EXCEPT WHERE HEREIN MODIFIED BY THESE DOCUMENTS.
- OSHA REQUIREMENTS SHALL BE FOLLOWED FOR ALL WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO BEGINNING GRADING OPERATIONS. ANY EROSION CONTROL ITEMS NECESSARY TO PROTECT ADJACENT PROPERTIES SHALL BE CONSTRUCTED BY THE GRADING CONTRACTOR.
- EROSION CONTROL MAINTENANCE SHALL BE PERFORMED BY THE GRADING CONTRACTOR AND REMOVED AS PER THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE ENGINEER, FOLLOWED BY ALL NECESSARY RESTORATION OF DISTURBED AREAS. THIS WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER TO FACILITATE CERTIFICATION OF ALL CONTROLLED FILLS IN A TIMELY MANNER. DENSITY TESTS SHALL MEET THE FOLLOWING REQUIREMENTS:
A. WITHIN THE UPPER 3' OF STREETS OR PAVEMENT, THE GRADING CONTRACTOR SHALL UTILIZE APPROVED SOILS THAT ARE WITHIN 1% OF THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D-698 STANDARD PROCTOR TEST MEETING 100% STANDARD PROCTOR DENSITY AND NOT EXCEEDING THIS COMPACTION BY MORE THAN 1% BELOW THE UPPER 3'. COMPACTION SHALL MEET 95% STANDARD PROCTOR DENSITY AND BE WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT. GRADING TOLERANCES SHALL AVERAGE 0.1', BUT SHALL NOT BE CONSISTENTLY HIGH OR LOW.
B. GRADING TOLERANCES FOR THE REMAINDER OF THE SITE SHALL BE 0.15'.
- THE FINAL PLAT OR CERTIFIED SURVEY SHALL GOVERN FOR EASEMENTS AND LOT DIMENSIONS.
- ALL AREAS OF UNSUITABLE SOILS FOUND IN THE BUILDING PAD OR PAVEMENT AREAS THAT CANNOT BE CORRECTED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR. THE GRADING CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THESE AREAS AND PROVIDE INFORMATION AS TO THEIR SIZE AND LOCATION.
- THE GRADING CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO THE SITE AT ALL TIMES.
- THE GRADING CONTRACTOR SHALL KEEP PUBLIC STREETS AND TRAVEL WAYS CLEAR OF SOIL AND DEBRIS. DAILY CLEANING AT THE CONSTRUCTION ENTRANCE SHALL BE PERFORMED.
- ALL PROPOSED SPOT ELEVATIONS ARE TO FLOW LINE OF CURB OR THE FINISHED BITUMINOUS/CONCRETE SURFACE UNLESS OTHERWISE NOTED.

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN
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- C4 UTILITY PLAN
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- C6 DETAILS
- C7 LANDSCAPE PLAN

CONTRACTOR:



GENERAL CONTRACTORS

14198 Northdale Blvd
Rogers, MN 55374

John Studer
(763) 428-8088
johns@kinghornco.com

CITY OF HANOVER
PUBLIC WORKS FACILITY

xxxx 5th Street
Hanover, MN 55341

GRADING AND DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 10/11/16 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
118 E. Broadway St.
Monticello, Mn 55362
Phone: 763-314-0929
www.civilsd.com

REVISIONS
10/11/16 storm water modifications

DATE	SD	DESIGNED BY	CHECKED BY
09/08/16			
DRAWN BY		DESIGNED BY	
SD		SD	
DRAWN BY		CHECKED BY	
SD		SD	

FILE NO. 00562

HORIZONTAL SCALE
1 inch = 50 feet
(FULL SIZE SHEET 34 X 46)

VERTICAL SCALE
1 inch = 10 feet



Grading and
Drainage Plan

PROJECT LOCATION

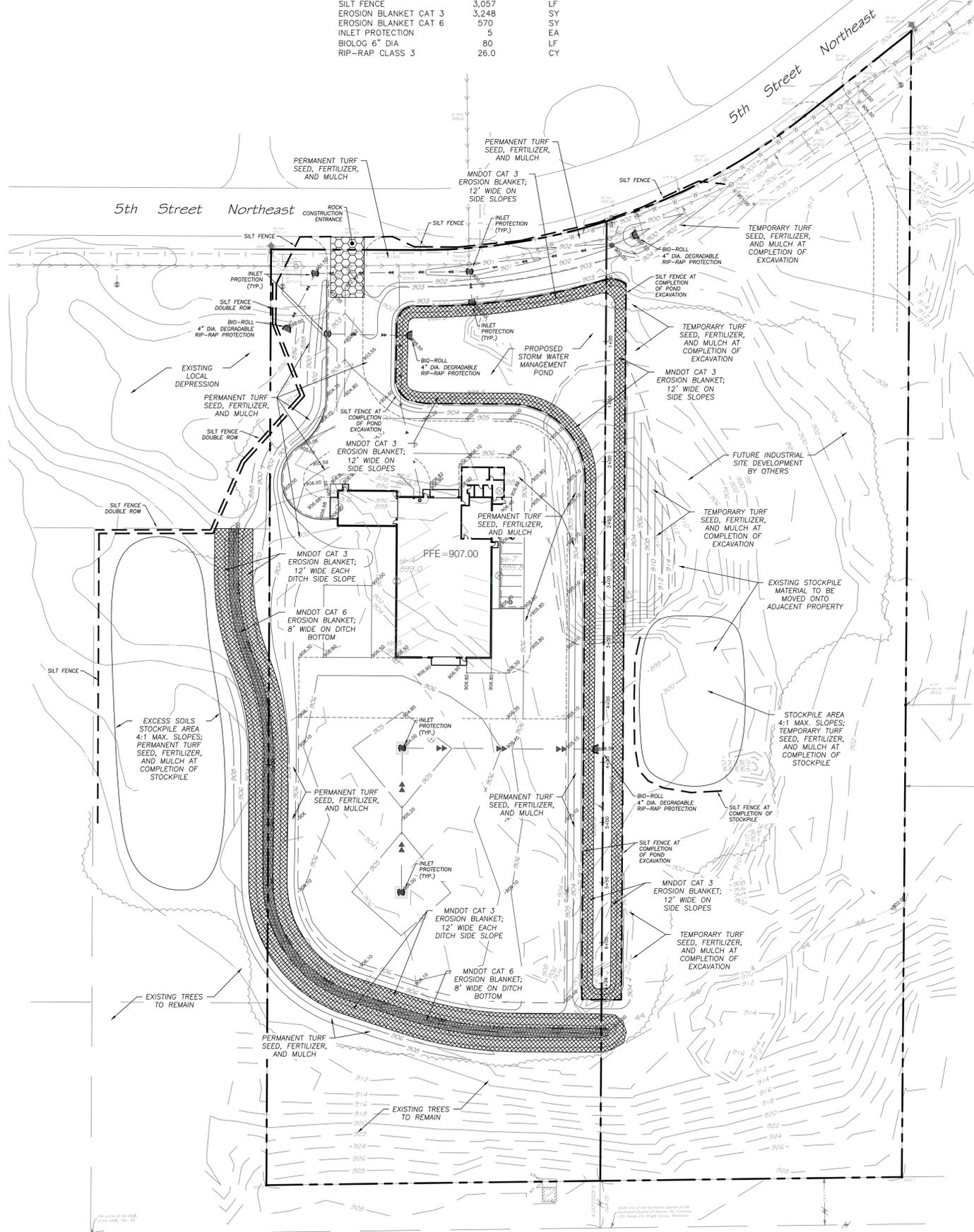
NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA.

IMPERVIOUS AND DISTURBANCE AREAS

Impervious Area 95,417 sf = 2.19 acres
Disturbance Area 214,315 sf = 4.92 acres

EROSION CONTROL QUANTITIES

ITEM:	QUANTITY	UNIT
ROCK ENTRANCE		EA
SILT FENCE	3,057	LF
EROSION BLANKET CAT 3	3,248	SY
EROSION BLANKET CAT 6	570	SY
INLET PROTECTION	5	EA
BIOLOG 6" DIA	80	LF
RIP-RAP CLASS 3	26.0	CY



Topography Survey By: Benchmark:

Lot Surveys Company
7601 73rd Avenue North
Minneapolis, MN 55428
763-560-3093

Top nut of hydrant at
Northeast corner of 5th
Street & Hwy 19.
Elevation = 914.31 feet

SWPP NARRATIVE

This project construction will consist of site clearing, grading, utilities, building, parking lot, drive aisles, and truck court.

First, perimeter silt fence and rock construction entrance shall be installed. Then site work shall commence. The contractor shall dispose all debris off-site. Then the site can be graded, utilities installed, building constructed, curbing and pavements installed, final grade tolerance, and landscape final stabilization. Once final grade is established and certified, the site shall be stabilized with seed and mulch, erosion blanket, or sod. Once vegetation is established, temporary erosion control measures shall be removed.

POLLUTION PREVENTION NOTES

Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction debris and other wastes must be disposed of properly off-site and must comply with MPCA requirements.

Hazardous materials: oils, gasoline, paint, and any hazardous substance must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal must be in compliance with MPCA regulations.

External washing of trucks or other construction vehicles is not allowed on site. No engine degreasing is allowed on site.

Concrete truck washout is not to be allowed on site unless washout waste is contained with no discharge to ground surface or site drainage facilities. Containment systems are to be located a minimum 50 feet away from drainage facilities and watercourses. Containment systems shall have an impermeable liner. Containment system shall be clearly marked with signage.

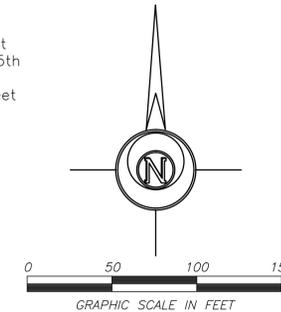
All sanitary waste must be collected from portable toilet units on site by a licensed waste management contractor. The units must be secured and shall be maintained on a regular basis as needed to prevent overflowing.

EROSION CONTROL NOTES

- All devices necessary to control erosion and sediment (i.e. perimeter silt fence, rock construction entrances, swales, ponds, berms, ETC.) shall be installed prior to any other construction operations.
- After completion of final grading, exposed soils must be permanently stabilized within 7 days. Stabilization shall consist of disc-anchored seed & mulch, HEC-2 with fiber reinforced matrix, erosion blanket with seed, or sod.
- The site must be kept in a well drained condition at all times. The contractor shall be responsible for temporary ditches, or other means necessary to ensure proper drainage. The building pad must be provided with a positive outflow. This work shall be incidental to the grading contract.
- Entering/exiting the site shall occur only at rock construction entrance to reduce tracking of dirt onto paved streets. Sediment tracked onto streets during working hours must be reclaimed via street scraping and sweeping at the end of each working day.
- Stormwater discharge pipe outlet energy dissipation shall be provided in accordance with City standards. Rip-rap installation shall be within 24 hours of pipe installation.
- Install silt fence around all temporary inactive stockpiles which are not place within existing silt fence area or other perimeter erosion controls.
- Stabilization of temporary or permanent drainage ditches that drain water from the construction site must be initiated within 24 hours of connecting the drainage ditch to any storm water conveyance system and must be completed using erosion blanket.
- Sufficient personnel, equipment, and materials shall be mobilized within 24 hours of written order (i.e. email) by the owner or owners representative to conduct corrective work and install temporary erosion control work in the case of an emergency.

EROSION CONTROL MAINTENANCE SCHEDULE

- Erosion control measures shall be inspected by the contractor's representative and maintained by the contractor every Friday and within 24 hours after any rainfall event larger than 1/2" until the project is completed. Maintenance requirements are as follows: silt fence - 1/3 height of fence or damaged, remove sediment and/or repair fence within 24 hours; rock entrance - refresh as necessary to conform to detail; inlet protection inserts - remove sediment after each rain event, clean or replace filter when clogged; surface water - drain and stabilize, within 7 days of discovery; and street sweeping - remove all sediment tracked onto paved surfaces within 24 hours or as directed by City Engineer.
- Replacement - Fabric shall be replaced promptly when it decomposes or becomes ineffective before the barrier is no longer necessary.
- Any sediment remaining in place after silt fence is no longer required shall be dressed to conform with the existing grade, prepared, and seeded with appropriate seed mix, as directed by the engineer.
- Removal of the silt fence - Silt fences shall be removed when they have served their useful purpose, but not before the upward sloping area has been permanently stabilized.



EROSION CONTROL INSTALLATION SCHEDULE

- Silt fence shall be installed or restored prior to any construction. Silt fence shall be located as shown to intercept runoff. The area located beyond the perimeter silt fence shall not be disturbed during construction.
- Rock Construction Entrance shall be installed prior to grading operations.
- All storm sewer inlets shall have inlet protection inserts installed. Inserts shall be "Road rain-Top Slab" or "Road Drain-Curb & Gutter" inlet protection devices as manufactured by WIMCO (or approved equal) and installed per manufacturer's recommendations.
- All erosion control installations shall remain in place and be maintained in good condition by the contractor until the site has been re-vegetated, at which time it shall be removed by the contractor. For proposed paved surface areas, the contractor may remove necessary silt fencing to construct roadway, while maintaining adequate erosion control in adjacent areas.
- Sufficient topsoil shall be stockpiled to allow for the replacement of 4" topsoil for disturbed areas to be re-vegetated.
- The contractor shall schedule site grading, utility installation and roadway construction so that the general site can be mulched and re-seeded soon after disturbance. Areas that will not be subject to construction traffic shall be seed and mulched or sodded within 72 hours of final grading.

VEGETATION GROUND COVER SCHEDULE

- Stabilization of all exposed soil areas must be initiated immediately but in no case completed later than seven (7) days after the construction activity in that portion of the site has temporarily or permanently ceased. Seeding or mulching shall conform to the latest NPDES requirements for installation schedule with regards to grading.
- Permanent turf ground cover shall include all disturbed areas be covered with a minimum 6" topsoil and sodded or seeded as allowed by City, or as proposed on City approved landscape plan for the project. If not otherwise specified, seed to be MnDOT mix 260 applied at 100 lbs/ac. MnDOT Type 3 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Temporary ground cover shall be MnDOT seed mix 150 shall be applied at 100 lbs/ac, or equivalent as approved by City. MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Fertilizer shall be MnDOT Type 1 10-10-20 and applied at 200 lbs/ac. Disc fertilizer into top 3" of soil. Specification reference is MnDOT 2575.
- Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using same rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
- Any seeded areas that do not become established with vegetation shall be reseeded at Contractor's expense.
- Erosion blanket shall be installed in seed areas with ground surface slopes of 4H:1V or steeper.

RESPONSIBLE PARTY

Contact information for the responsible party for erosion control is:

TO BE DETERMINED

INDEX OF CIVIL SITE DRAWINGS:

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- C1 SITE PLAN
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- C3 DIVERSION DITCH PROFILE PLAN
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- C5 STORM WATER POLLUTION PREVENTION PLAN
- C6 DETAILS
- C7 LANDSCAPE PLAN

CONTRACTOR:

Kinghorn
COMPANY
GENERAL CONTRACTORS

14198 Northdale Blvd
Rogers, MN 55374

John Studer
(763) 428-8088
johns@kinghornco.com

CITY OF HANOVER
PUBLIC WORKS FACILITY

xxxx 5th Street
Hanover, MN 55341

STORM WATER POLLUTION
PREVENTION PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 10/11/16 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING
SITE DESIGN
115 East Broadway St.
Monticello, MN 55362
Phone: 763-314-0929
www.civiland.com

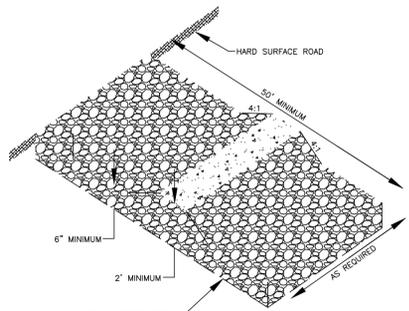
REVISIONS	DATE	BY	DESCRIPTION
10/11/16	SD	SD	storm water modifications

DATE	09/08/16
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00562

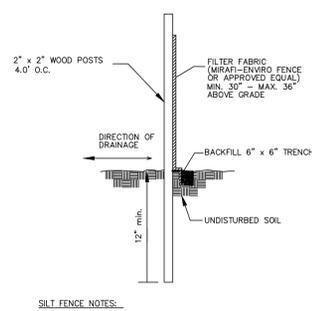
C5

Storm Water Pollution
Prevention Plan



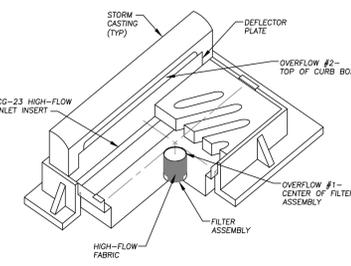
NOTES:
 ROCK SIZE SHOULD BE 1" TO 2" IN SIZE SUCH AS MNDOT CA-1 OR CA-2 COURSE AGGREGATE. (WASHED)
 A GEOTEXTILE FABRIC MAY BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE.

ROCK CONSTRUCTION ENTRANCE DETAIL



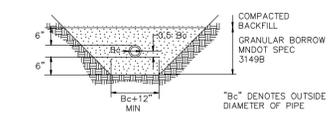
SILT FENCE NOTES:
 1. SILT FENCE SHALL BE BLACK IN COLOR.
 2. DIG A 6"X6" TRENCH ALONG THE INTENDED FENCE LINE, OR MACHINE SLICE TO 6" DEPTH.
 3. DRIVE ALL POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
 4. LAY OUT SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.
 5. WOOD POSTS MAY BE SPAKED UP TO 4 FEET APART TO SUPPORT THE FABRIC.
 6. REMOVE SILT FENCE AFTER TURF IS ESTABLISHED.
 7. HEAVY DUTY SILT FENCE TO HAVE STEEL T-POSTS AND WIRE MESH BACKING.

SILT FENCE DETAIL

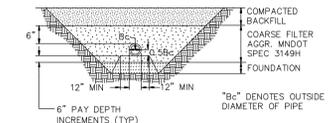


NOTES:
 1) CONTRACTOR OPTION TO USE WMCO INLET PROTECTION INSERT OR EQUAL.

INLET PROTECTION DETAIL

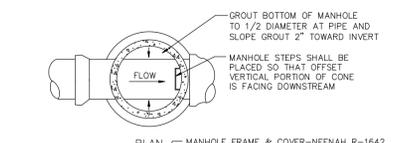


PIPE FOUNDATION & BEDDING IN GOOD SOILS

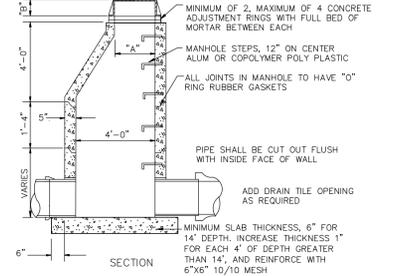


PIPE FOUNDATION & BEDDING IN POOR SOILS

BEDDING METHODS FOR PVC

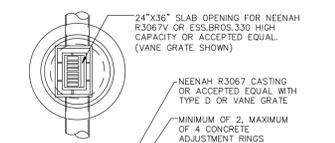


PLAN

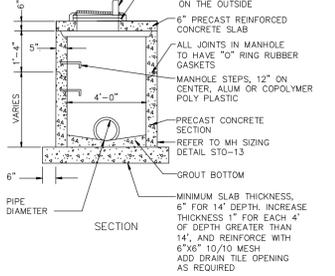


SECTION

STORM SEWER MANHOLE

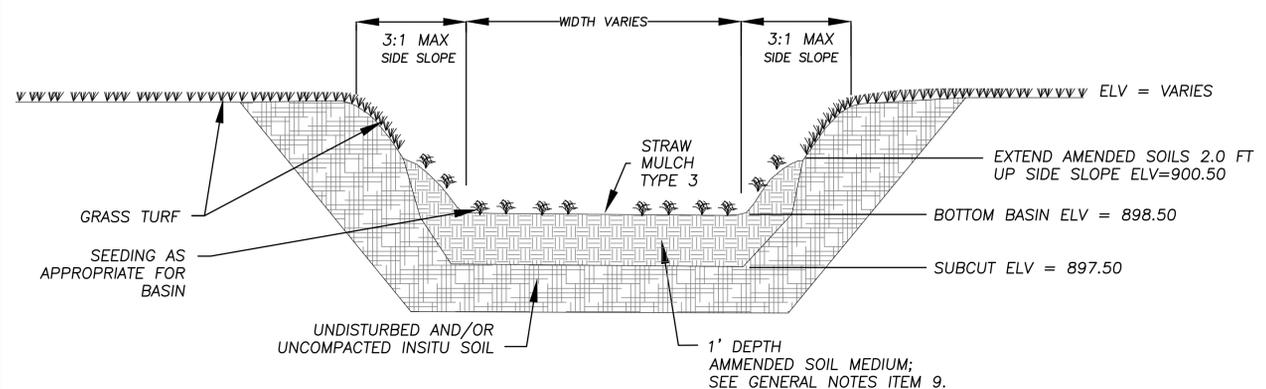


PLAN



SECTION

CATCH BASIN MANHOLE



TYPICAL INFILTRATION BASIN CROSS-SECTION

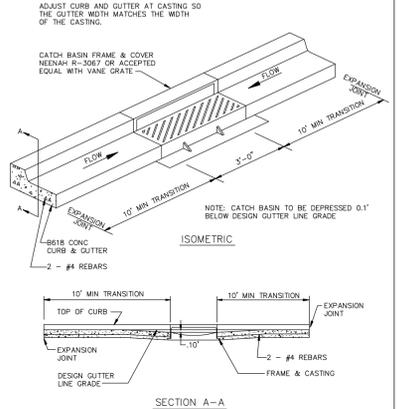
GENERAL NOTES:

- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES (IN ACCORDANCE WITH MNDOT GENERAL CONDITIONS 2573) PRIOR TO THE START OF ANY CONSTRUCTION OPERATION THAT MAY CAUSE ANY SEDIMENTATION OR SILTATION AT THE SITE.
- INSTALL STORM DRAIN INLET PROTECTION TO PREVENT CLOGGING OF THE STORM SEWER AND SEDIMENT LOADS TO DOWNSTREAM STORM WATER FACILITIES OR WATERBODIES.
- IF THE STORM WATER BMP IS BEING DESIGNED TO SERVE AS A TEMPORARY SEDIMENT BASIN, GRADE THE BMP TO WITHIN 18" ABOVE THE FINAL GRADE TO PROTECT THE UNDERLYING MATERIAL FROM CLOGGING. ONCE CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED AND THE SITE IS STABILIZED, EXCAVATE THE INFILTRATION BASIN TO FINAL GRADE AND COMPLETE CONSTRUCTION OF THE INFILTRATION BASIN.
- GRADING OF THE INFILTRATION BASIN SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- EXCAVATE THE INFILTRATION BASIN TO THE SPECIFIED DEPTH (ELEVATION). ALL SUB MATERIAL BELOW THE SPECIFIED ELEVATION SHALL BE LEFT UNDISTURBED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- GRADE TO THE DEPTH (ELEVATION) SPECIFIED IN THE CONSTRUCTION DOCUMENTS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

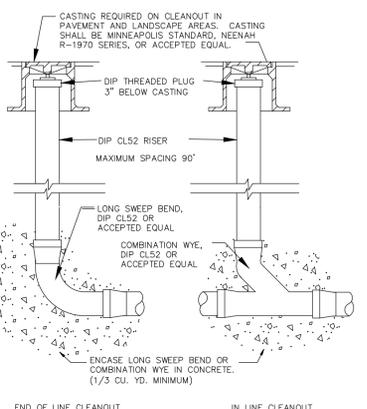
- IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL WILL NEED TO BE REMOVED FROM THE INFILTRATION BASIN PRIOR TO INITIATING THE NEXT STEP IN THE INFILTRATION BASIN CONSTRUCTION PROCESS. THIS IS ESPECIALLY IMPORTANT IF THE INFILTRATION BASIN HAS BEEN DESIGNED TO INFILTRATE STORM WATER. SEDIMENT THAT HAS BEEN WASHED INTO THE INFILTRATION BASIN DURING THE EXCAVATION PROCESS CAN SEAL THE PERMEABLE MATERIAL, SIGNIFICANTLY REDUCING THE INFILTRATION CAPACITY OF THE SOILS.
- MATERIAL EXCAVATED FROM THE INFILTRATION BASINS SHALL BE DISPOSED ON-SITE.
- INFILTRATION BASINS SHALL BE OVER-EXCAVATED 1 FOOT TO ELV = 897.50 AND FILLED WITH A WELL BLENDED MIXTURE OF 75% SEMI-COURSE WASHED SAND, 25% MNDOT GRADE 2 COMPOST. ALTERNATE OPTION IS TO IMPORT 3 INCH DEPTH MNDOT GRADE 2 COMPOST AND ROTO-TILL INTO TOP 9 INCH DEPTH NATIVE SOIL PROVIDED NATIVE SOIL IS CONFIRMED TO BE CLEAN SAND MEETING MNDOT SELECT GRANULAR SPECIFICATION AND ALL NON-NATIVE SOILS ARE REMOVED.
- INFILTRATION BASIN TO BE SEEDDED WITH MNDOT SEED MIX 34-181 OR APPROVED EQUAL SEEDING SHALL CONFORM TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, PLANTING SPECIFICATION 3876, 2005 EDITION.
- PORTIONS OF INFILTRATION BASINS TO BE SEEDDED SHALL BE MULCHED WITH CLEAN GRAIN STRAW (MNDOT TYPE 3) AT A RATE OF 2 TONS PER ACRE.
- SEEDING AND INSTALLATION OF ANY EROSION CONTROL BLANKET NECESSARY SHALL BE COMPLETED WITHIN SEVEN DAYS (7) DAYS OF FINAL GRADING.

CONSTRUCTION SEQUENCING

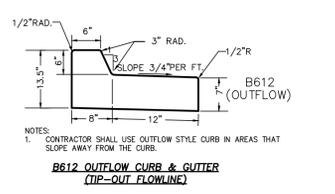
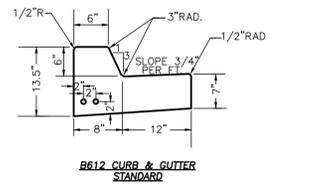
- CONTRACTOR SHALL PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES FROM THE TIME SILT FENCE IS INSTALLED UNTIL FINAL APPROVAL OF THE INFILTRATION BASINS.
- INSTALL SILT FENCE ALONG THE PERIMETER OF THE SITE TO PREVENT SEDIMENT FROM LEAVING THE SITE DURING THE CONSTRUCTION PROCESS.
- ALL DOWNGRADIENT PERIMETER SEDIMENT-CONTROL BMPs MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND-DISTURBING ACTIVITY BEGINS.
- REMOVE TOPSOIL FROM THE SITE AND PLACE IN TEMPORARY STOCKPILE LOCATION. TEMPORARY SEED THE STOCKPILE AND SURROUND WITH SILT FENCE.
- ROUGH GRADE THE SITE. IF THE INFILTRATION BASINS ARE GOING TO BE USED FOR TEMPORARY SEDIMENT CONTROL, GRADE THE INFILTRATION BASINS TO WITHIN 18" ABOVE THE FINAL GRADE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
- INSTALL SILT FENCE UP-GRADIENT OF INFILTRATION BASIN TO PROTECT INFILTRATION AREA FROM SEDIMENTATION AND SOIL COMPACTION.
- CONSTRUCT SITE IMPROVEMENTS TAKING THE LOCATION AND FUNCTION OF STORM WATER BMPs INTO CONSIDERATION.
- TEMPORARY SEED AND MULCH DISTURBED AREAS ON SITE AS APPROPRIATE.
- INSTALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, ELECTRIC AND PHONE) TAKING THE LOCATIONS AND FUNCTION OF STORM WATER BMPs INTO CONSIDERATION.
- PERFORM ALL OTHER SITE IMPROVEMENTS TAKING THE LOCATION AND FUNCTION OF THE STORM WATER BMPs INTO CONSIDERATION.
- FINAL GRADE THE SITE AND FINE GRADE INFILTRATION BASIN. AFTER INFILTRATION BASIN FINAL GRADING AND PRIOR TO PLACEMENT OF AMMENDED SOIL MEDIA, THE BASIN FLOOR MUST BE TILLED TO A DEPTH OF AT LEAST TWELVE (12) INCHES TO PROVIDE A WELL-AERATED, POROUS SURFACE TEXTURE.
- INSTALL AMMENDED SOIL MEDIA IN INFILTRATION BASIN AND INSTALL PERMANENT SOIL STABILIZATION.
- STABILIZE THE SITE BY INSTALLATION OF SOD, NATIVE SEEDING, AND PLANTINGS OF THE INFILTRATION BASIN AND LANDSCAPING PLAN AND INSTALL EROSION CONTROL BLANKET.
- REMOVE THE SILT FENCE AFTER THE SITE IS STABILIZED PER PROJECT ENGINEER APPROVAL.



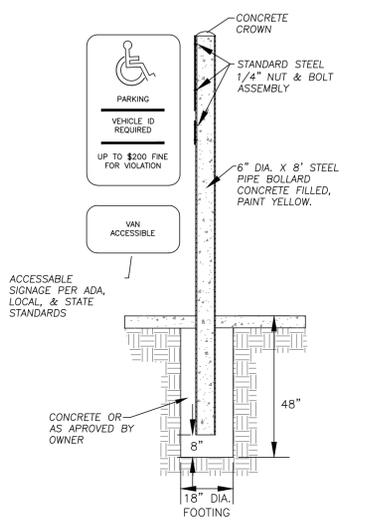
CURB AND GUTTER CONSTRUCTION AT CATCH BASIN



SERVICE LINE CLEANOUTS



CONCRETE CURB AND GUTTER DETAILS



BOLLARD SIGN POST DETAIL

CONTRACTOR:
Kinghorn COMPANY
 GENERAL CONTRACTORS
 14198 Northdale Blvd
 Rogers, MN 55374
 John Studer
 (763) 428-8088
 johns@kinghornco.com

CITY OF HANOVER
 PUBLIC WORKS FACILITY
 xxxxx 5th Street
 Hanover, MN 55341
 DETAILS PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Date: 10/11/16 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN
 118 Ego Broadway St.
 Monticello, MN 55362
 Phone: 763-314-0929
 www.civilrad.com

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY
10/11/16 storm water modifications	09/08/16	SD	SD	SD
VERTICAL SCALE				feet
HORIZONTAL SCALE				feet
1 inch = 50 feet				(FULL SIZE SHEET 34 X 42)

FILE NO. 00562

INDEX OF CIVIL SITE DRAWINGS:

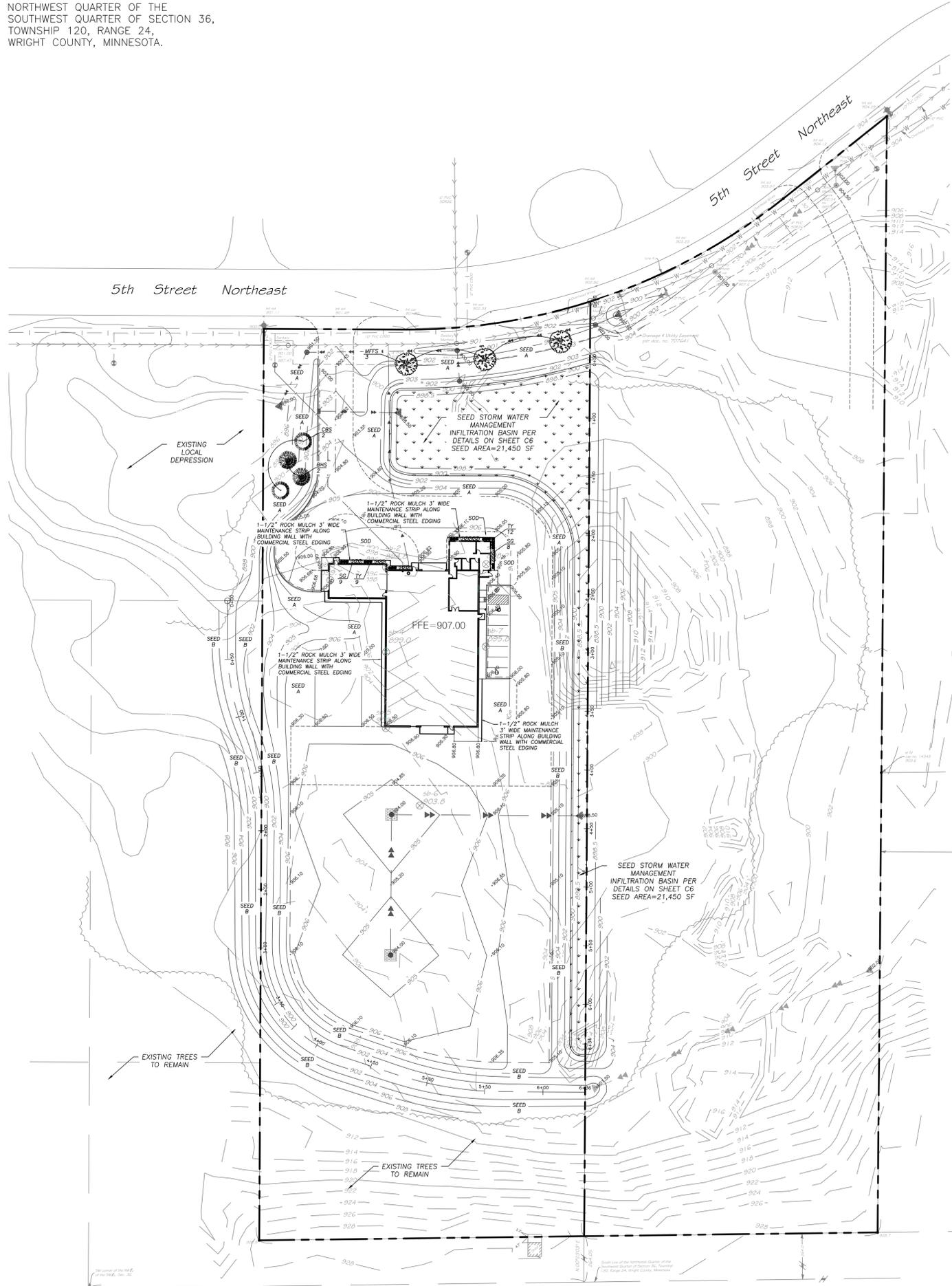
- C0 PROJECT LOCATION PLAN
- C1 SITE PLAN
- C2 GRADING AND DRAINAGE PLAN
- C3 DIVERSION DITCH PROFILE PLAN
- C4 UTILITY PLAN
- C5 STORM WATER POLLUTION PREVENTION PLAN
- C6 DETAILS
- C7 LANDSCAPE PLAN

C6

Details Plan

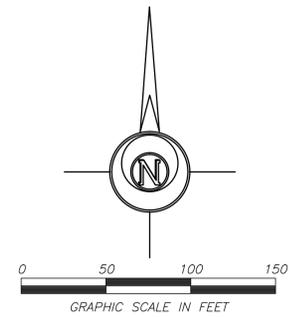
PROJECT LOCATION

NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA.



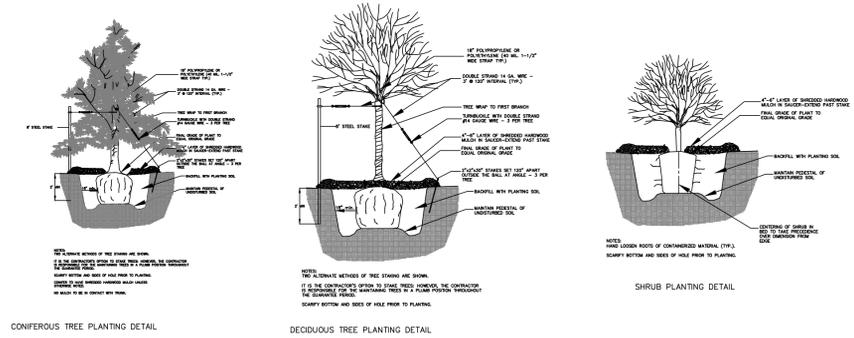
PLANT LIST:

QTY	KEY	COMMON NAME	SIZE/ROOT
TREES OVERSTORY DECIDUOUS			
3	MFFS	Maple, Fall Fiesta Sugar	2 Inch
3	Total		
TREES OVERSTORY CONIFEROUS			
2	CBS	Colorado Blue Spruce	3 Feet
2	BHS	Black Hills Spruce	3 Feet
4	Total		
SHRUBS			
21	TY	Taunton Yew	5 Gallon
17	SG	Spirea, Goldflame	5 Gallon
38	Total		



Topography Survey By: Lot Surveys Company
7601 73rd Avenue North
Minneapolis, MN 55428
763-560-3093

Benchmark: Top nut of hydrant at
Northeast corner of 5th
Street & Hwy 19.
Elevation = 914.31 feet



GENERAL NOTES:

- Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the General Contractor written acceptance of the date determined as substantially complete. Replacement materials shall also have a one year guarantee upon planting.
- Landscape contractor shall inspect the site and become familiar with existing conditions relating to the nature and scope of work. If any discrepancies are found, the General Contractor shall be notified prior to construction. The base information including contours, trails, utilities, curbs, and building locations were provided by others. All discrepancies must be resolved prior to construction.
- Landscape contractor shall verify plan layout and bring to the attention of the General Contractor discrepancies which may compromise the design or intent of the layout.
- Landscape contractor shall assure compliance with codes and regulations governing the work and materials supplied.
- Landscape contractor shall protect all existing roads, curbs/gutters, trails, trees, lawns, and site elements during construction. Damage to the same shall be repaired at no cost to the Owner.
- Landscape contractor shall verify the location of all utilities above and below grade prior to any soil disruption or installation. Provide necessary protection for same before construction begins.
- Landscape contractor shall coordinate each phase of installation with General Contractor.
- Landscape contractor shall be responsible for ongoing maintenance of all installed materials until time of substantial completion. Repair and/or replace all damaged materials due to construction or acts of vandalism at no cost to the Owner.
- Landscape contractor shall verify that all plant placement will not negatively affect the plant's survival or warranty. Undesirable site conditions shall be brought to the attention of the General Contractor prior to construction.
- Landscape irrigation to be provided for all mowed turf areas. Design/build irrigation plan to be approved by owner. Record plan to be provided to owner at completion.
- Landscape contractor shall submit a written request for the substantial completion of all landscape and site improvements prior to submitting for final payment. The submittal shall include an as-built drawing of all landscape and irrigation installations and improvements.

TURF NOTES:

- Sod turf areas unless noted as seed. Landscape contractor to obtain approval of sod type from General Contractor or owner prior to installation.
- Sod shall be TPI certified turf grass sod, highland sod only. Sod shall be free from weeds, stones, and have a strong fibrous root structure and be free from burned or bare spots.
- Sod shall be uniform in depth and cut into even rolls. All sod delivered to the site shall be installed that day. All seams shall be laid tight in staggered rows not less than 18 inches apart. Sod that abuts curbs or concrete areas shall have a finish grade 1 inch below the hard surface elevation. Once sod is installed the elevations shall be level. Sod areas shall be fertilized with a 22-05-10, 80% WLN, 0% CI, at 350 lbs/ac and applied as per distributor's requirements.
- Landscape contractor to confirm approval of seed mix from General Contractor or owner prior to installation.
- Seed shall be installed as per the distributor's requirements for proper coverage and germination.
- Seed A: MnDOT seed mix 25-131 shall be applied at 220.0 lbs/ac in moderate maintenance turf areas.
- Seed B: MnDOT seed mix 35-221 shall be applied at 36.5 lbs/ac in low maintenance turf areas.
- MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Fertilizer shall be 22-05-10, 80% WLN, 0% CI, at 350 lbs/ac. Disc fertilizer into top 3" of soil.
- Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40° F, using some rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
- Any seeded areas that do not become established with vegetation shall be re-seeded at Contractor's expense.

PLANTING NOTES:

- All plants to be Minnesota grown and hardy. Plants to be installed as per standard ANM planting practices. Nursery stock shall comply with the current edition of the American Standard for Nursery Stock, ANSI Z60.1.
- No planting will occur until final grading has been completed.
- All tree and shrub beds shall be staked and approved prior to installation.
- No substitutions will be accepted unless approval is granted by the General Contractor prior to submission of the bid.
- Location adjustments may be needed in the field. Landscape Architect must be notified.
- Plants to be installed as per planting details.
- Plants shall be fertilized upon installation with dried bone meal. Other approved fertilizers mixed in with the planting soil as per the manufacturer's instructions may be applied. Summer and fall installations shall have an application of granular 10-0-5, 12oz. per 2.5' cal. tree and 6oz. per shrub. An additional application of 10-10-10 the following spring in the tree saucer.
- Areas receiving ground covers, perennials, or garden space shall receive a minimum of 18 inches of planting soil consisting of 4 parts topsoil, 4 parts screened compost, and 1 part sand.
- All deciduous trees shall be wrapped in the fall prior to Dec. 1 and removed after April 15. Tree wrap shall be asphalt impregnated crepe, wrapped from base of trunk flare to first branches.
- Edging shall be professional grade poly material. Edging horizontal layout to be uniform with smooth transitions. Edging vertical placement to be below typical mower deck cutting height.
- A 24" wide rock mulch maintenance strip shall be installed along the wall of the building. Maintenance strip shall have weed barrier fabric under rock mulch and edged with poly edging.
- Weed barrier shall be 4oz. woven needle punch, black. Overlapping seams.
- Rock mulch, (River Rock, 1-1/2 inch or 2-1/2 inch) shall be placed a minimum of 4 inches deep. Rock mulch shall have weed barrier fabric or 6 mil poly under rock.
- Mulch tree rings shall be 6 feet in diameter and be a minimum of 4 inch deep double shredded dark brown hardwood. Mulch shall not come in contact with tree trunks.
- All deciduous plantings shall occur between spring thaw and June 15, or between fall's first frost and the first snow or Nov. 15, which ever comes first. Coniferous plantings must be prior to Oct. 1.
- Landscape contractor shall be responsible for determining appropriate planting conditions. Warranties shall be enforced regardless of weather and planting conditions.
- No excess materials or debris will be on site. All hard surfaces will be swept and washed clean.

INDEX OF CIVIL SITE DRAWINGS:

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CONTRACTOR:

Kinghorn
COMPANY
GENERAL CONTRACTORS

14198 Northdale Blvd
Rogers, MN 55374

John Studer
(763) 428-8088
johns@kinghornco.com

**CITY OF HANOVER
PUBLIC WORKS FACILITY**

xxxx 5th Street
Hanover, MN 55341

LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 10/11/16 Reg. No. 24348
PREPARED BY: CIVIL ENGINEERING SITE DESIGN
115 East Broadway St.
Monticello, Mn 55362
Phone: 763-314-0929
www.civillead.com

REVISIONS	DATE	DESCRIPTION
10/11/16	10/11/16	storm water modifications

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
09/08/16	SD	SD	SD

FILE NO. 00562

C7
Landscape Plan