



February 22, 2019

Cindy Nash – City Planner

City of Hanover
11250 5th Street NE
Hanover, MN 55341

RE: Preliminary Plat Submittal for RIVER TOWN VILLAS OF HANOVER Development

Dear Ms. Nash and Planning Commissioners/City Council Members:

On behalf of the Applicant/Developer, Wits Realty, Loucks is submitting the attached Preliminary Plat documents for RIVER TOWN VILLAS OF HANOVER, a new single family detached villa residential subdivision. We offer the following comments regarding this submittal:

Preliminary Plat:

The existing site currently has one single family residential dwelling that will be demolished. The proposed Preliminary Plat includes a total of eighteen (18) new single family villa lots. The plat includes a common private roadway with one access from Church Street. An ingress/egress easement will be obtained for all lots for access rights.

Rezoning:

The current zoning is B-1A (Downtown River). The applicant is requesting rezoning to a residential PUD as the proposed lot size & type is not currently allowed under current zoning categories.

The proposed rezoning to R1-A is consistent with the land use plan and compatible with the zoning of adjacent properties.

Development Data & Proposed Setbacks:

The development has been laid out to achieve an appropriate mix of retained green space, building pads, and necessary utility and stormwater infrastructure. Proposed dimensional requirements are as follows:

- Platted Lot Size = 50 x 70' (Common areas to be platted as outlots)
- Building Pad = 40' W x 60' D
- Side Yard Setbacks = 10' minimum if house side
5' Minimum if garage side
10' between buildings if garage to garage
- Front Yard Setback = 20' from curb to building face
25' from curb to garage face
- Rear Yard Setback = 30' Minimum
- Church Street Setback = 35'
- Garage Size = 480 SF Minimum – 24' Depth Minimum

Wetlands:

There are no delineated wetlands on the site.

Homeowner's Association Governance:

The proposed homes will be part of an HOA agreement. Snow removal, trash collection, and lawn maintenance will be handled by contract services hired by the HOA. The HOA will have strong and restrictive requirements related to exterior uses, including, but not limited to, storage and maintenance.

Housing Style & Quality

The proposed homes are intended to appeal to a wide range of buyers that desire a maintenance free living arrangement. While not age-restricted, we anticipate the development will be popular with empty nesters and appeal to home buyers that appreciate the amenity and convenience offered by Downtown Hanover. The anticipated sales price of the homes is between \$350k and \$425k depending on desired style and options.

Vehicle Access & Circulation:

A 26' wide private drive is intended to access each property. A single, full movement intersection is planned with Church Street and is adequately set back from River Road. A 'hammer head' style turnaround meets the navigational needs of emergency vehicles including ambulance and fire trucks. Bus traffic is not expected to occur within the private drive and would likely have a single pick-up point at Church Street.

Parking:

Each unit will have a two car garage with room for another two cars in each driveway. Guest parking is further addressed via dedicated parking spots scattered throughout the neighborhood. No on-street parking is planned.

Stormwater Management:

The RIVER TOWN VILLAS OF HANVOER development has been designed to efficiently and sensitively handle stormwater management concerns. A storm pond & infiltration basin is used to address the runoff from the site. The overall effect meets pre-development runoff for both rate and volume while protecting adjoining parcels from negative drainage concerns.

Landscaping:

Each unit will be landscaped in keeping with the intended quality and price point of the proposed homes. In addition to foundation plantings around individual homes, the project will also use tree plantings scattered throughout the site with special emphasis along the private drive, along the east & west site boundaries to help buffer existing homes, and along the north line to help screen long views to the disturbed area to the north. Tree species were chosen both for their compatibility with the surrounding trees and aesthetic qualities.

Existing Tree Cover:

Trees are preserved where possible, but significant grading is necessary to develop this site. Significant new landscaping is proposed to mitigate tree loss.

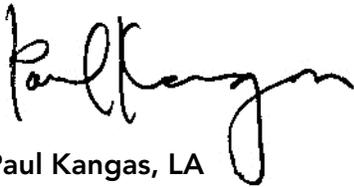
Phasing:

The development is expected to be platted and built in one phase as market conditions allow.

We look forward to your comments on the proposed plans. Please let us know if there is other information you need from the development team.

Sincerely

Loucks

A handwritten signature in black ink, appearing to read "Paul Kangas". The signature is fluid and cursive, with the first name "Paul" and last name "Kangas" clearly distinguishable.

Paul Kangas, LA

Principal Landscape Architect

CC: Josh Jacobs - Wits Realty