



River Town Villas
— OF HANOVER —

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Vision for the project:

Build a small community of high quality, beautifully crafted single-level detached villas near the heart of downtown Hanover.

Initial concept: 18 single-level detached villas

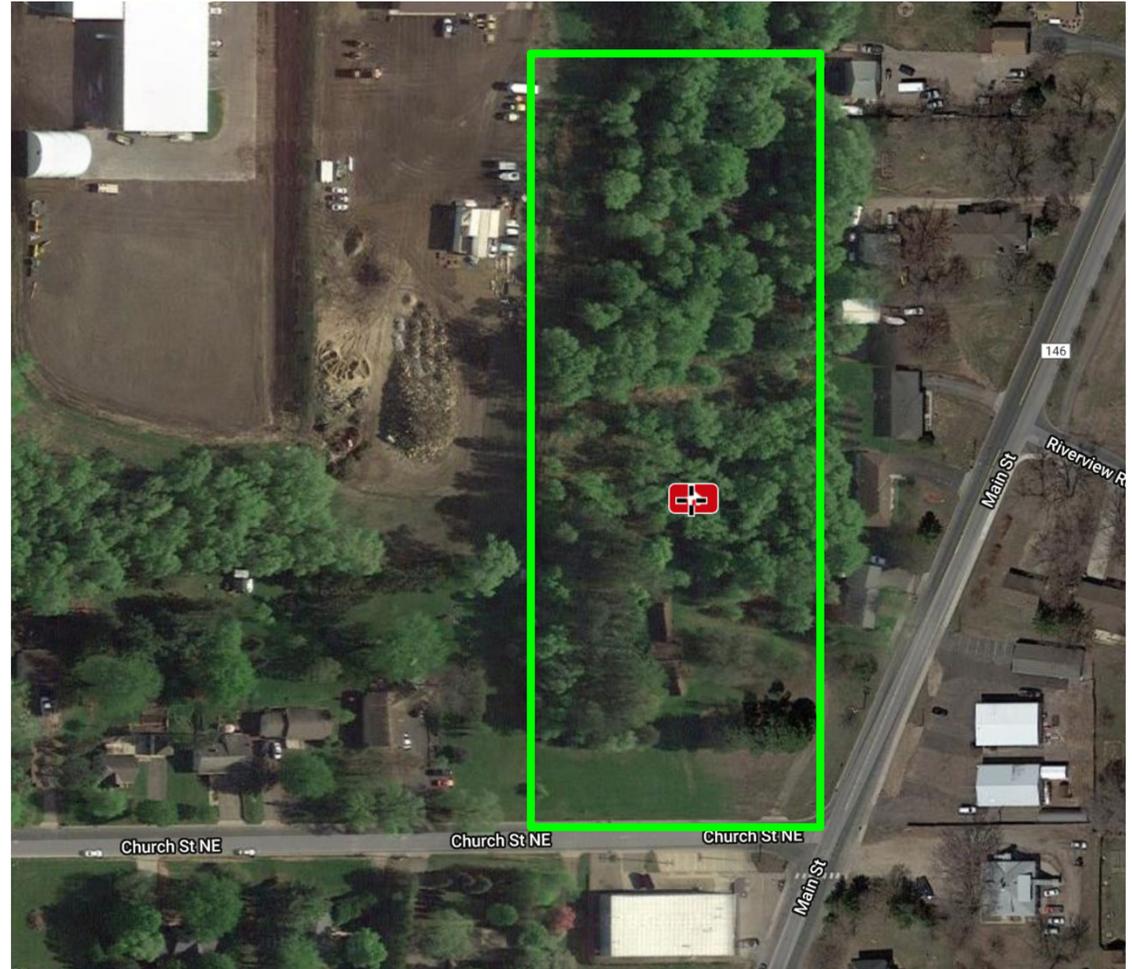
- **Location:** 4.3 acre parcel located at 11218 Church St NE
- **Style:** Single-level, luxury villas - both basement and patio home options. 2 to 3 different floor plans and 2 to 3 unique exterior styles with multiple color/texture options
- **Size:** 2-3BR, 2-3BA with 1500 to 2800 sq ft depending on style and basement option
- **Target Buyer:** Aging population looking for single-level living as well as younger singles and families looking for affordability and convenience of single-level with opportunity to expand into lower level as needed for more space.
- **Exclusive Builder Partner:** (All builds) Bellin Construction www.bellinconstruction.com
- **Investor/Developer** Wits Land Company, an affiliate of Wits Realty Group www.witsrealty.com
- **Engineering and Land Construction** - Loucks Associates

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Location:

North of Church St and the Wits Realty Building, West of Main St. Between existing single family residences and construction company to the NW.



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Development Assumptions:

- 25' min setback from garage face to curb
- Structure pad dimension 40' front, 60' deep
- 20' front building setback
- 15' total side yard setback (5' garage/10' home)
- 30' min rear yard setback
- 35' setback to Church Street
- Guest parking scattered throughout development
- 26' private drive with hammer head style turnaround
- 2 stormwater basins - SE and NW corners
- 2 car garages



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Cohesive color palette and architectural styling with enough combinations to preserve distinction (not cookie cutter)



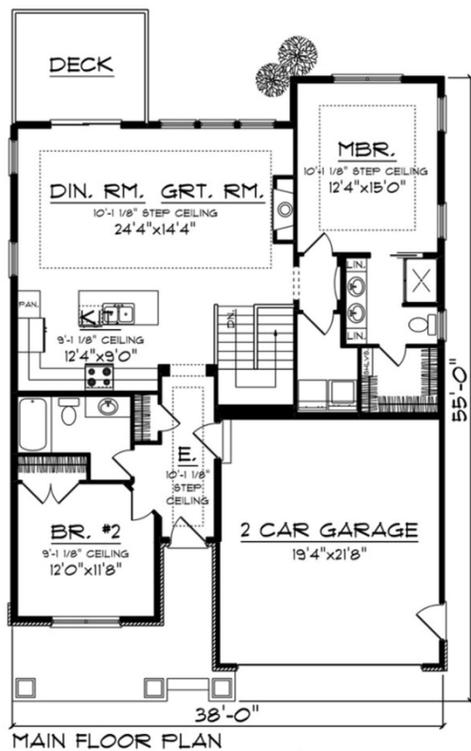
Brick or Better Exterior Fronts:

- Stone & Brick
- Board and Batten
- Shakes
- Cement Siding
- Corbels
- Shutters
- Break up peaks with multiple depths/textures
- Decorative Garage doors



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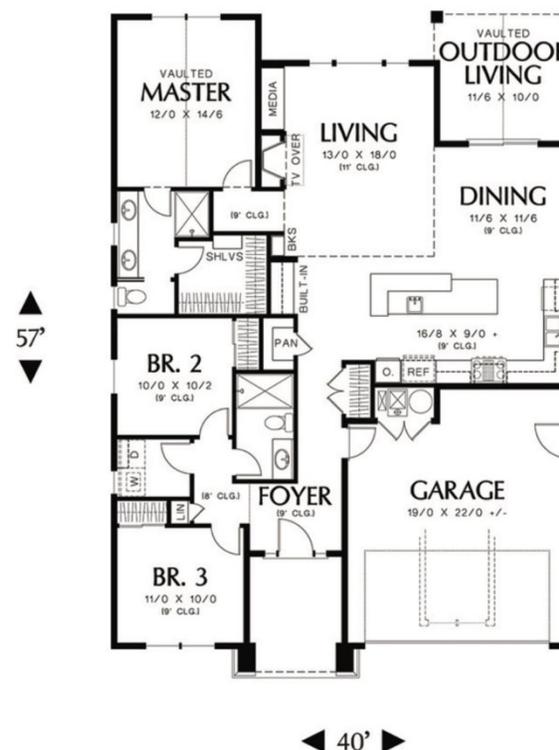


Cohesive feel but flexible options to meet a diverse set of needs:

Considering 2 and 3 BR units

Approximately 50/50 mix of patio homes and single level with basement. Several basements may be walkout where elevations allow.

Higher than Hanover median home price of \$270k yet within market appropriate range of \$325k to \$425k depending on size/style (\$375k Ave).



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B
BUILDING
with
BELLIN

• CREATING CUSTOM SPACES •

Experienced Local Builder



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Example Finishes and Look Inside

