

RIVER'S EDGE

OF HANOVER

PLANNED UNIT DEVELOPMENT



PROJECT NARRATIVE

JP Brooks is excited to submit our proposal for River's Edge of Hanover to the city of Hanover for consideration. JP Brooks is a locally owned hometown builder in the Twin Cities metro area whose mission is to build quality brand new homes at an exceptional value, while serving and positively impacting the community. JP Brooks offers an array of modern, well-designed floor plans with a huge selection of available structural and cosmetic options to fit any family's needs. We were recently named as one of the Top 25 Builders in 2019 by Housing First Minnesota and the recipient of a Reggie Award in 2020, which honors the exceptional homes in the Parade of Homes by recognizing excellence in design and construction. Because we are family owned and operated, we treat each homeowner and home with the utmost care, just like we would our own families.

JP Brooks' vision for River's Edge of Hanover is to partner with the City of Hanover to create a neighborhood that will be attractive to residents for many years to come. Our neighborhood phases will provide multiple home style offerings to enhance opportunities for homebuyers. As such, we hope this PUD will establish standards of excellence while allowing for flexibility that will consider changes in the market and consumer preferences over time.

We have built many homes in Hanover over the years and have really enjoyed being a great partner with the city in the past. We look forward to working with the city on River's Edge of Hanover to provide wonderful homesites and amenities for Hanover residents for years to come!





CONCEPT DATA

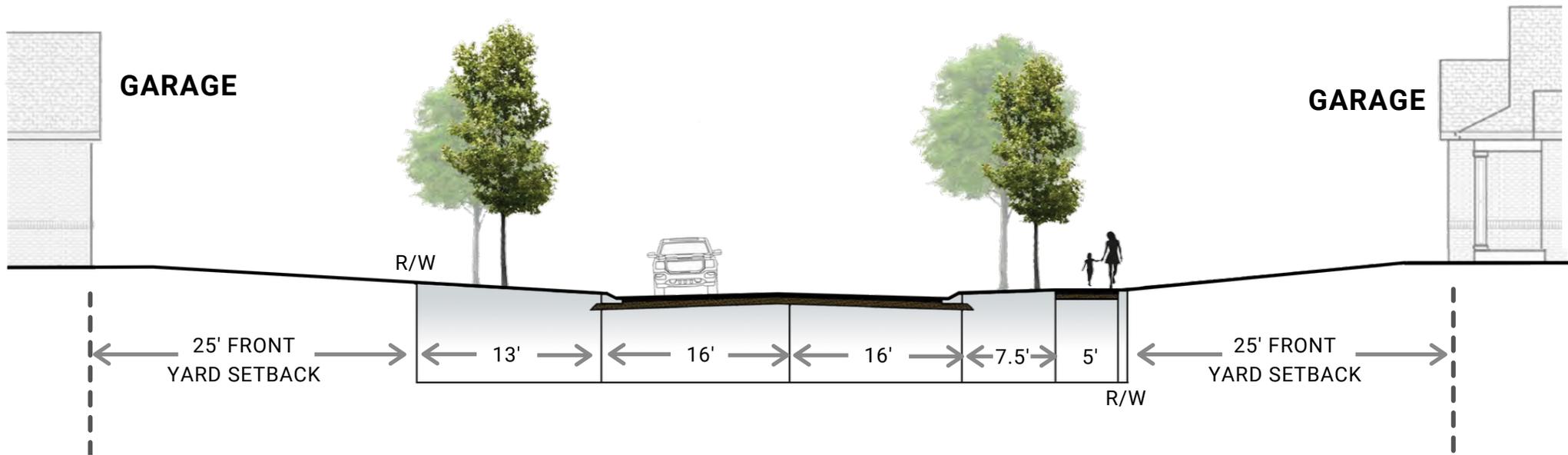
Gross Site Area: 82.5 Acres
 Lot Area: 61.04 Acres
 R/W Area: 12.83 Acres
 Ponding/Open Area: 8.62 Acres

Total Residential Lots : 254

- Single Family (70'-80') = 168
- Villas (56'-66') = 86

Lot Group	Lot Type	SB	# of Lots
Block 1, Lots 1-12	80-90' SF	8.5'	12
Block 1, Lots 13-41	70-82' SF	8.5'	29
Block 2, Lots 1-55	70-80' SF	8.5'	55
Block 3, Lots 1-39	70-82' SF	8.5'	39
Block 4, Lots 1-19	70-82' SF	8.5'	19
Block 4, Lots 20-45	56-66' SF	7.5'	26
Block 5, Lots 1-60	56-66' SF	7.5'	60
Block 6, Lots 1-14	70-82' SF	8.5'	14

TYPICAL STREET SECTIONS



LOT / BUILDING STANDARDS

LOT STYLE	PRODUCT WIDTH (MAX)	LOT SIZE (MIN)	SETBACKS	GARAGE STALLS (MAX)	BASEMENT TYPE	PAD SIZE
VILLAS	40'	56'	FRONT: 25' REAR: 20'-30' SIDE: 7.5' CORNER: 24'	2	SOG & BASEMENT	40 X 66
	50'	66'		3		50 X 66
SINGLE FAMILY	53'	70' x 125'	FRONT: 25' REAR: 20'-30' SIDE: 8.5' CORNER: 25'	3	MULTI-LEVEL, FULL BASEMENT, LO & WO	53 X 60
SINGLE FAMILY (LARGE)	63'	80' x 200'	FRONT: 30' REAR: 20'-30' SIDE: 8.5' CORNER: 30'	4	2 STORY LO & WO	63 X 60

*Rear set-back to be measured from conservation easement boundary

PERMITTED SETBACK ENCROACHMENTS

- Eaves, utility boxes, fences, landscaping, and air conditioners.
- Deck and patio 15 feet from rear property line

LANDSCAPING REQUIREMENTS

- Each lot will require two trees, one of which will be a boulevard tree.
- Deciduous and ornamental trees shall be at least 1.5" caliper and conifers shall be at least 6' tall.
- Corner lots shall have three trees, including two boulevard trees in the side yard.

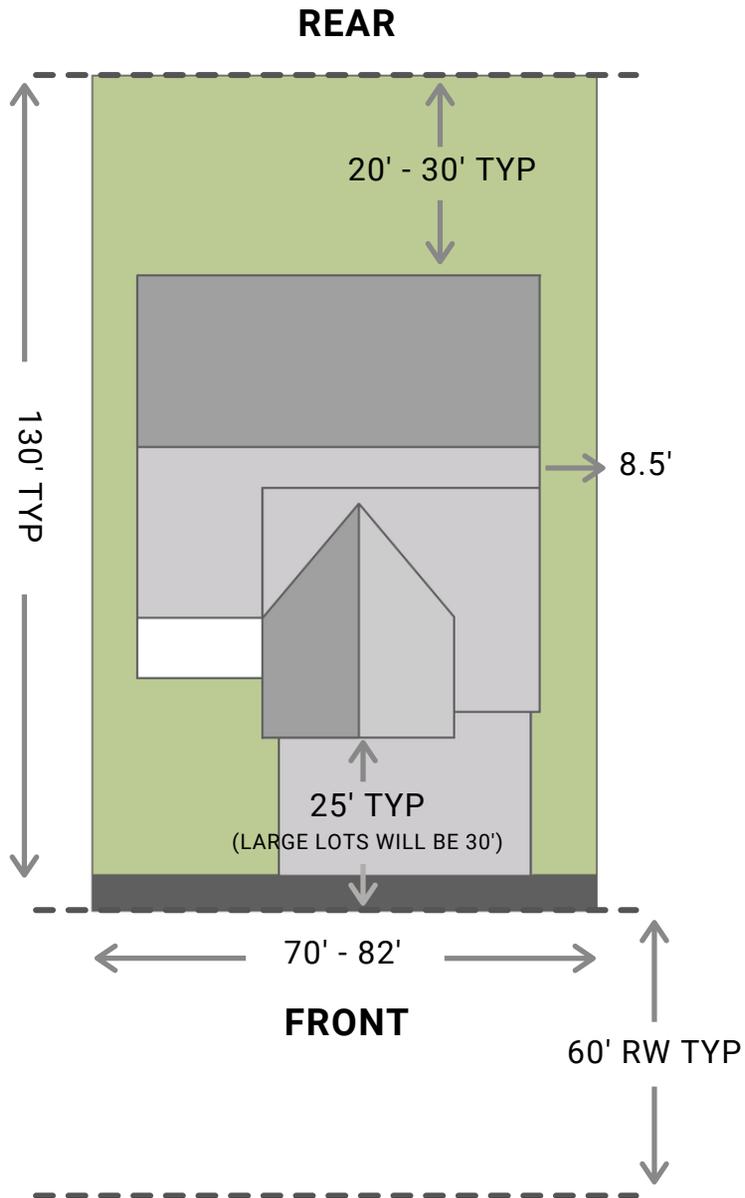
ARCHITECTURAL STANDARDS

- Redundancy rules - to be followed which states no identical elevations/color palette will be duplicated on the adjacent lots or directly across the street.
- Roof pitches - shall be a minimum of 6/12 on front facing gables & 6/12 minimum everywhere else. Exception: for dormers and porch roofs to allow 3/12 to incorporate as an architectural feature.
- Siding - To include two different types of siding which can include but not be limited to Vinyl Lap, Vinyl Shakes, Vinyl Board and Batten, LP (or similar) Lap, Board and Batten, Shakes, Stone, Stucco, Brick.
- Garage Doors - will include either raised panels or glass windows.
- Windows - Front elevations will include a minimum of two windows and window grids.
- Front Elevations - Shall include 1 architectural feature (column, shutters, porch, corbel, or louver).
- Shingles - Shall be an Architectural grade in texture.
- Minimum floor area shall be 800 square feet.
- Minimum garage area shall be 480 square feet.
- Front elevations - Front loaded garage width to living area width shall not exceed 2:1 ratio.
- The Developer shall utilize staggered front setbacks when possible on Villas.
- Porches shall be exempt from front yard impervious area calculations.
- Maximum driveway width will be no more than 28' wide.
- Maximum building height shall be 35 feet or 2.5 stories

PUD LOT FLEXIBILITY

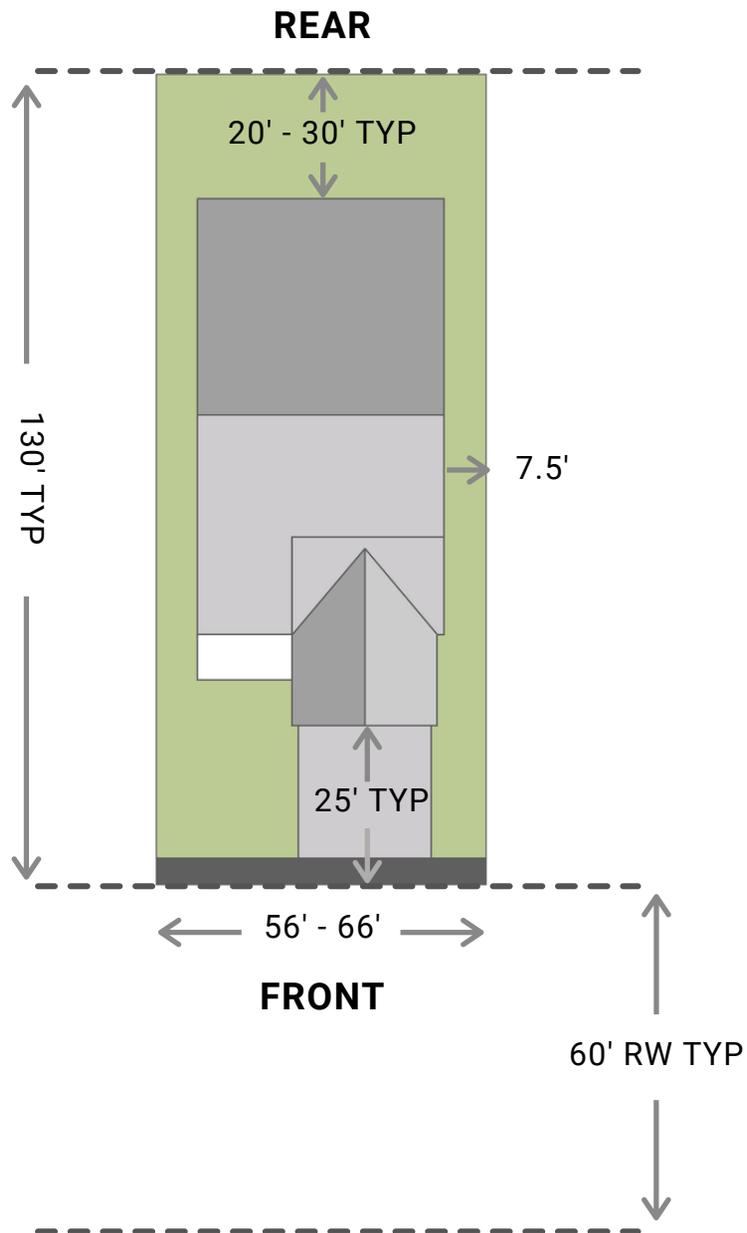
- The overall total lot count may increase no more than 5%
- Unless otherwise noted, the number of lots for each Lot Style may be modified up to 10% of the approved quantities within each individual Preliminary Plat Phasing Area
- No Large Single-Family 8th Street Lots may be switched to any other Lot Style

SINGLE FAMILY HOMES



Sample Single Family homes are intended to show architectural character of homes to be built at River's Edge.

VILLAS



Sample Villas are intended to show architectural character of homes to be built at River's Edge.

