

**CITY OF HANOVER
PLANNING COMMISSION MEETING
FEBRUARY 24, 2020
AGENDA**

CHAIR
STAN KOLASA

COUNCIL LIAISON
KEN WARPULA, Alternate

BOARD MEMBERS
JIM SCHENDEL
MICHAEL CHRISTENSON
DEAN KUITUNEN
GRETCHEN BARRETT

- 1. Call to Order and Pledge of Allegiance: 7:00 p.m.**
- 2. Oath of Office**
- 3. Approval of Agenda**
- 4. Approval of Minutes from January 27, 2020, Regular Meeting**
- 5. Citizen's Forum**
- 6. Public Hearing**
- 7. Unfinished Business**
 - a. Mercantile Pass Concept Plan**
- 8. New Business**
 - a. River's Edge of Hanover Concept Plan**
- 9. Reports and Announcements**
 - a. Planning Commission Reports**
 - b. Liaison Report**
 - c. Staff Reports**
- 10. Adjournment**

**CITY OF HANOVER
PLANNING COMMISSION MEETING
JANUARY 27, 2020
DRAFT MINUTES**

Call to Order/Pledge of Allegiance

Stan Kolasa called the January 27, 2020, Planning Commission Meeting to order at 7:02 pm. Members present were Stan Kolasa, Jim Schendel, Dean Kuitunen and Mike Christenson. Also present City Planner Cindy Nash, City Engineer Justin Messner, Alternate Council Liaison Ken Warpula and Administrative Assistant Amy Biren. One Planning Commission member seat is currently vacant. Many guests were present.

Oath of Office

Stan Kolasa took the Oath of Office with Biren acting as the witness for the City.

Selection of Chair and Vice Chair

MOTION: Schendel moved to nominate Stan Kolasa for chair, seconded by Christenson.

Motion carried unanimously.

MOTION: Kuitunen moved to nominate Jim Schendel for vice chair, seconded by Christenson.

Motion carried unanimously.

Approval of Agenda

MOTION by Schendel to approve the agenda, seconded by Kuitunen.

Motion carried unanimously.

Approval of Minutes from the December 19, 2019, Regular Meeting

MOTION by Christenson to approve the December 19, 2019, minutes, seconded by Kuitunen.

Motion carried unanimously.

Citizen's Forum

None

Public Hearing

Comprehensive Plan Amendment, Rezoning, Planned Unit Development, Preliminary Plat, and Final Plat for the Development known as Riverside Estates

Kolasa closed the Planning Commission meeting and opened the public hearing at 7:05 pm.

Nash explained to the Board that this involves the parcel that was annexed into Hanover last year. When a property is annexed, it automatically is zoned for agricultural use. Therefore, it will need to be rezoned along with a comprehensive plan amendment, a planned unit development (PUD) approval, preliminary plat approval and final plat approval.

Nash reviewed the development and the items listed in the memo. Since the final plat is also seeking approval, any outstanding comments would need to be resolved before the City Council would receive it and make a decision. She said that the comments are minor in nature and should be easily addressed.

Continuing, Nash explained that the development is proposing to be on well and septic along with providing a larger easement along the highway so that when future utilities arrive, there will be plenty of space to install them. There are also additional lots shown for further subdivision when utilities arrive.

Kuitunen noted that comment letters have been received from Wright County regarding the septic locations and the access drives. He asked whether or not the Hanover Fire Department had reviewed the access drives. Nash replied that the Fire Chief still needed to review the document.

There were no comments from the public.

Kolasa closed the public hearing and re-opened the Planning Commission meeting at 7:12 pm.

Motion by Kuitunen to send forward to the City Council the approval of the Comprehensive Plan Amendment for Riverside Estates with conditions listed in the memo, seconded by Christenson.

Motion carried unanimously.

Motion by Kuitunen to send forward the approval, with conditions listed in the memo, of rezoning Riverside Estates to the City Council, seconded by Schendel.

Motion carried unanimously.

Motion by Kuitunen to send the Riverside Estates Planned Unit Development (PUD) with the conditions outlined by staff forward to the City Council for approval, seconded by Christenson.

Motion carried unanimously.

Motion by Kuitunen to send the preliminary and final plat for Riverside Estates forward to the City Council with the conditions outlined, seconded by Christenson.

Motion carried unanimously.

Public Hearing

Amendments to the Zoning Ordinance related to Mining

Kolasa closed the Planning Commission and opened the public hearing at 7:15 pm.

Nash explained that the City Attorney stated that the Planning Commission could not make the Saturday hours a part of the Interim Use Permit (IUP) for the Mahler Aggregate Mine because the ordinance states only hours during the week. Therefore, Fehn Companies have applied for a text amendment to the mining ordinance to change the hours and allow Saturday hours. The applicant submitted an application for the ordinance amendment, a letter stating why they were asking for the change and then research from the applicant related to mining operations in the area. Biren was tasked to verify the research and Nash had requested additional cities and counties. The applicant is requesting to allow limited operation activity on Saturdays from 7 am to 5 pm and allow approval of special hours to accommodate public improvement projects.

Nash outlined the options available to the Planning Commission:

- Recommend amending the ordinance to permit operating hours on Saturday;
- Recommend amending the ordinance to permit operating hours on Saturday if approved by the City Council and specifically included in the IUP. This would allow case-by-case approval.
- Recommend changes, but suggest other language.
- Recommend that the City Council make no changes to the ordinance.

Schendel asked the applicant what mining operations would be occurring on Saturdays—just loading and hauling in and out? Scott Dahlke, project engineer for the applicant, replied that it would be limited operations.

Kuitunen asked if the amendment would apply to only this property or to all mining operations within the City. Nash replied that it would apply to all mining operations unless the second option was recommended.

Dahlke said they were also asking for approval of special hours for public improvement projects that could be approved by the Mayor or the City Administrator as described in the applicant's letter. He went on to give the example of the I-94 project and how this would allow hauling at night when the construction was occurring.

Warpula wanted confirmation that extracting, crushing and washing would not be done on Saturdays. Christenson asked how the mining ordinance defined operations. Nash replied that it would include everything.

Nash and Messner indicated that they have seen the special hours provision in other cities.

Joe Peterson, 1028 Mallard: I urge you not to have Saturday hours because it will be the only time with no noise coming from the mine when families are spending time together outdoors.

Kuitunen stated that at the prior meeting the Planning Commission had decided that there would be no mining on Saturdays, only loading and hauling occurring. The hours were to be from 7 am to 2 pm. The comments from the public were heard at that time. In addition, the homes along 15th Street were all built prior to 2005 and the start of the mining operation.

Christenson stated he was opposed to the special projects clause because of the noise that would be generated. Nash said that it would only be loading and hauling that would occur during those times. Christenson replied it would still be a lot of noise, particularly if it's at night, and as it (the mining) moves closer to the homes it would affect more residents.

Kuitunen also stated he would be opposed to the special projects clause.

Christenson said that it would be different if the mine was closer to CSAH 19 and didn't impact residents.

Kolasa closed the public hearing and re-opened the Planning Commission meeting at 7:30 pm.

Nash reminded the Board they needed to decide what recommendation they would like to make as well as what format.

Motion by Christenson to send forward to the City Council for approval the amendment to the mining ordinance to allow Saturday hours from 7 am to 2 pm for the purpose of only loading and hauling, and no provision for any special projects, seconded by Kuitunen.

Motion carried unanimously.

Nash said that the amendment would be drafted and sent to Council and that it would be separate from the Mahler Aggregate Mine IUP application.

Old Business

None

New Business

Mercantile Pass Concept Plan

Kolasa spoke to the audience explaining that this was not a public hearing and that if someone wished to speak, they needed to be acknowledged by the chair.

Kolasa turned the meeting over to Vice Chair Schendel.

Nash introduced the Mercantile Pass project with the concept plan projected on the screen. The project involves several properties and zonings and some may remember a similar project proposal 10-12 years ago. She reminded the Board that a concept plan is nonbinding and is intended to provide the applicant

with specific details before a preliminary plat is created and additional monies spent. The project contains a mix of residential and commercial and this will be the first opportunity for the Board to work on a commercial aspect of a development. The buildings and other items are a representation of what is possible and not necessarily the actual item that will be located there. The east side of the project which has a proposed assisted living/memory care facility and a proposed market rate apartment building which are not uses in that guided area and are at a higher density than allowed in the Multi-family Residential zone. An Environmental Assessment Worksheet (EAW) is required and a traffic study will be part of the EAW. Discussions with Hennepin and Wright Counties have begun regarding the CSAH 19 corridor. The Comprehensive Plan does not indicate a park in this part of Hanover, but this may have to be reviewed if housing is approved.

Messner reviewed his memo. Testing will need to be done to ensure that the water system would be able to handle a multi-story development. The sewer system would need analysis along with the lift stations. He mentioned that the property south of 107th Avenue is likely to be developed in the future so easements may need to be put in place to service the area. Traffic would obviously be studied and should evaluate multiple improvement options, particularly at the intersections of CR 123 and CSAH 19 and the intersections of CSAH 19 and 20. Pedestrian connections are also needed and preferably at controlled intersections.

Messner continued referencing the parcel adjacent to the Crow River. The floodplain and shoreland management overlays will need to be taken into consideration. Nash added that how height is measured by the City and by the Minnesota Department of Natural Resources is different and that will need review. Messner went on to say that there is an existing ravine system that is on the east side of this parcel and continues across CSAH 19. Working with the Three Rivers Park District will be necessary to create an ADA compliant trail. He pointed out that the north parcel and the parcels to the south have entrances that match up. Any buildings need to meet the setbacks from the river and the road right of way.

Schendel asked if it would be two-story buildings in the north parcel. Bryan Reitzner, applicant, responded that this is configured for flat roofed buildings within a theme because of the height restrictions.

Reitzner continued explaining the project in further detail. He stated first that he needs specific direction from the Planning Commission and Council before continuing with the project. He considers this project as part of the gateway into Hanover and wants it to be representative of such. The project is not large enough to put in roads that Hennepin County desires and for the project to pay for those roads. The traffic moving through Hanover is coming from outside of Hanover. He directed the Board to look at the concept plan and the amount of green space within the development and the natural scenery that will be retained. Reitzner said that Hanover needs customers and it needs rental units. In the commercial area, he is looking to bring in a bigger model of convenience store/gas station.

Nash put an aerial view of the properties on the projector screen so that Reitzner could show the areas about which he was speaking.

Christenson asked about the number of units or apartments that will be in the memory care facility. Reitzner replied that there will be different levels of care and a proposed total of 66 units.

Reitzner went on to say to the Board not to let the concept of apartment building scare them. These will be nice buildings developed and managed by people who know how to do this.

Christenson asked if a pedestrian tunnel under CSAH 19 would be considered. Reitzner said no.

Claudia Pingree, 11711 Riverview Road: She thinks this is a good idea and to do something like this so that all of the commuters have a reason to stop in Hanover rather than just go through it.

Reitzner stated he believes that the apartments will really drive the commercial aspect of the development and will create a larger tax base. And with the topography of the land, they would be hardly seen from the road.

Nash put two-foot contour lines on the aerial view to show the Board and audience the elevations and how the proposed apartment buildings would be located and at what elevations.

Scott Dahlke, Mercantile Pass project engineer, said the elevations are suited to underground parking that will be part of the apartment building.

Steven Young, 29920 109th Avenue: He stated that he is concerned about the homes and residents nearby to this project and how it will affect their livability.

Darcy Wandersee, 10863 Rosedale Avenue, wanted to know if the apartments would be low-income housing. Reitzner said the apartments would be market rate, but that there may be programs for affordable housing that could provide funding for the project. Reitzner stressed that apartments are needed in Hanover.

Warpula wanted to know what the build out for the project will be. Reitzner said he would like to be started by next spring, but needs direction and a commitment from the City.

Christenson expressed concern about filling the commercial space with tenants.

Ginny Krones, 29709 109th Avenue, expressed concern with what will happen to the ravine and the pond. She didn't want it drying up or flooding areas. She wanted to know if the ravine and ditch would be filled in. Dahlke said that it would not be filled in and the pond would be maintained. Since that is where the proposed south entrance is located, the ravine would be protected by a box culvert which would allow the water to continue to pass through the ravine.

Randy Zimmerman, 29716 109th Avenue, asked about the small pond that is located north of the larger pond and how would the apartment building be located on that. Also, would the Fire Department then need a ladder truck in order to reach three stories.

Kuitunen asked if this development would assist in Hennepin County doing something with CSAH 19 sooner rather than later. Nash replied the development would need to be created in a manner that would allow for future road changes and ensure that it would not be cut off from any access.

Nash reminded the Board that specific feedback is desired and that she agrees that rooftops are needed in order to make the commercial aspect work.

Kuitunen asked about the density of apartments and how that would work with the existing ordinances. Nash replied that it would require a change to the Comprehensive Plan as there is not anything related to an apartment type density. The current multi-family density is lower. If the Comprehensive Plan was changed, it would apply to all areas zoned as such. She added that there would need to be a text amendment related to the height as well.

Christenson asked if a new zoning district could be created so that it would not be applied to all multi-family zoning districts. Nash said that it would be possible to create a higher density zone.

Christenson also said he is concerned with the pedestrian flow and gave the example of kids biking to the convenience store to buy candy. He wants them to be able to do that safely and without going on CSAH 19.

Nash said that the Planning Commission could table the concept plan and ask for additional information. She gave an example of getting a list of current apartment buildings to go and view/visit.

Christenson expressed concern about the water capacity and when would we know more about it. Dahlke said the system may have some small parts that would need improvement but feels the system can handle it.

Kuitunen would like more information about the density of that type of apartment building.

Nash said that some assumptions need to be made because of the traffic studies. Kuitunen wanted to know if how the entire traffic pattern will flow will be reviewed by the counties and the development applicant. Nash replied yes. Messner said that the immediate traffic impact will be reviewed as well as forecasting for 2040. They will also look at the general growth of the area. Christenson wanted to know if solutions will be suggested. Messner replied yes.

Cindy Zimmerman, 29716 109th Avenue, said that many knew that Vernetta (Zimmerman, 29688 109th Avenue) had passed away last year and that when the land goes for sale, the family will be looking for a developer. This should be kept in mind when looking at the traffic patterns and predictions.

Kuitunen said he thinks that there is a need for the Board to learn more about apartment densities since Hanover does not have experience in this type of density. Warpula asked if there could be a joint meeting of Planning Commission and Council in order to learn about it. Nash said that a workshop could be scheduled. In the meantime, the Board should be thinking of other items they would like to see in the development, if any, and also be prepared to give specific feedback.

Motion by Kuitunen to table the Mercantile Pass Concept Plan review and to arrange an educational workshop, seconded by Christenson.

Motion carried unanimously.

Schendel turned the meeting back over the to Chair Kolasa. Kolasa called for a five-minute recess.

Kolasa called the Planning Commission meeting back to order at 8:33 pm.

Interviews of Planning Commission Candidates for the Vacant Seat

The Board and consultants interviewed the three candidates whom had applied for the vacant seat formerly held by Michelle Armstrong. The questions asked were the ones that were included in the packet. A summary of each applicant's answers follows.

Gretchen Barrett, 10580 106th Ave North

Gretchen grew up in Osseo and has lived in Hanover for six years. She is related to the Vollbrecht family. She volunteers at Hanover Elementary and Salem Lutheran Church. She cares about Hanover and wants to be part of its growth. She is concerned how the infrastructure will be able to handle the growth and because Hanover Elementary attracts young families, what will happen when development slows and will another school be built. There needs to be a balance between growth and retaining the small town feel and believes the Comprehensive Plan should guide that. Gretchen believes that she can be neutral and listen to all of the facts before making a decision. At the same time, expectations need to be set for developers so that they do not develop at the expense of Hanover. She believes that being respectful of others is very important when trying to reach a conclusion on a proposed regulation. Gretchen feels that there should be some give and take when creating ordinances and if too strict, a good opportunity may be missed.

Ed Hunter, 1430 Esterly Oaks Drive

Ed considers himself “new” to Hanover, only arriving in 2001. He has had a variety of occupations, mostly centered in customer service. He would like to get involved with the City and watch it grow. He believes growth of the City and the issues it brings will need to be addressed. He said there will always be problems, but problems can always be worked through and resolved. He sees Hanover as having a small town feeling and a sense of safety is present. The Comprehensive Plan needs to be able to guide the growth and if there is no plan to address the growth, nothing will happen. Ed sees a Planning Commission member’s role as one of mediator and needing to listen to both sides. One cannot have an opinion. He believes that developers need to stay within the parameters given and do what they are supposed to do. He said that he has a thick skin and does not offend easily. He believes that being respectful of others is very important when trying to reach a conclusion on a proposed regulation. Ed feels that ordinances can be both strict and flexible giving the example if the flexibility to change a farm field into a development is not present, his house would not be here and he would be living elsewhere. Ordinances need to change and adapt.

Jerry Popp, 10248 3rd Street Northeast

Jerry has lived in Hanover since 1996, moving here from Maple Grove. He has been in management and planning for a business’s future. He thinks this is very applicable to Hanover in that the future needs to be planned and envisioned. It helps to have things in place before issues arise or concepts are proposed. Growth is definitely in Hanover’s future and it needs to be planned for proactively, including land acquisition. He sees Hanover as having a small-town nature where people are treated fairly. Jerry gave the example of a baseball team and how in Maple Grove, a kid got on a team based on who they knew, while in Hanover, everyone gets to play and is welcomed. He believes one of the purposes of the Planning Commission is to develop regulations. If a developer meets those regulations, but residents are opposed, it is an opportunity to suggest working with the residents and give a little. The Board can also remind the resident that if they don’t like the regulations, they can work towards changing them by getting involved. When working with a developer, Jerry thinks the Planning Commission should ask if the development meets the current regulations, become familiar with the developer’s history, and work with the viewpoint of the Planning Commission being a team and understanding each member’s viewpoint. He believes that being respectful of others is very important when trying to reach a conclusion on a proposed regulation. Jerry also favors strict ordinances with the knowledge that change may happen and then having the flexibility to modify them. It is hard to close up loose ordinances and enforce them.

Kolasa thanked the applicants and said that the rest of the meeting would continue so that they could see the meeting process. Prior to adjournment, they would be asked to leave so that the Board could discuss their recommendation to Council for the vacant seat.

Reports

Messner said that the 2020 Pavement Management Project would be for Whitetail and an open house was being held on February 13th at City Hall. At the last Council meeting, 15th Street options were reviewed including a trail and a right turn lane.

Warpula asked if any mining was happening as the current IUP had expired. Nash said she did not know, but would check with the city administrator. Kuitunen and Christenson said it appear that no mining was occurring and that the entrance has been gated and locked.

The Planning Commission applicants left the meeting to allow discussion by the Board. Each candidate was reviewed and it was agreed that each would make a good addition to the Board. Discussion led the members to agree on the applicant to recommend to Council.

Motion by Schendel to recommend Gretchen Barrett to fill the vacant Planning Commission seat with approval by Council, seconded by Christenson.

Motion carried unanimously.

Adjournment

MOTION by Schendel to adjourn, seconded by Kuitunen.

Motion carried unanimously.

Meeting adjourned at 8:46 pm.

ATTEST:

Amy L. Biren
Administrative Assistant

Collaborative Planning, LLC

MEMORANDUM

TO: Planning Commission

FROM: Cindy Nash, AICP, City Planner

DATE: February 20, 2020

SUBJECT: **River's Edge of Hanover** for Concept Plan

APPLICANT: JP Brooks, Inc.

LOCATION: Generally located east of River road and south of 8th Street

COMPREHENSIVE PLAN: Neighborhood Residential

Description of Request

The applicant has submitted a concept plan to redevelop the former mine site on River Road into a neighborhood containing single-family homes and detached villas. An aerial photo of the proposed redevelopment property is to the right.

A concept plan is a courtesy review of a proposed project prior to engineering design being completed. Comments and approval by the City Council is non-binding and meant to be used as a guide when preparing a preliminary plat for a development. Full review of project plans occurs at the preliminary plat stage, and there are frequently additional changes made to the plans prior to preliminary plat submission.



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Utilizing the density calculations, this development would have the following approximate density:

Gross Acreage	82.6 acres
Less Ponding	8.67 acres (rough estimate)
Less River Road ROW	2 acres (rough estimate)
Equals Net Acreage	71.93 acres

$$\text{Density} = 272 \text{ units}/71.93 \text{ acres} = 3.78 \text{ units/acre}$$

This density is consistent with the Comprehensive Plan guidance of Neighborhood Residential which requires greater than 2 but less than 4 units per net acre. However, the density calculations made at this time are an estimate and would be recalculated with a preliminary plat application.

The site is proposed to have an HOA that maintains the yards and driveway plowing for the villa homes. The individual driveways appear sufficient to provide guest parking on the lots in both the single-family homes and the villa homes.

Staff comment are provided in the attached comment memos.

Proposed architecture of the homes is also provided for consideration. The lots are generally sized sufficiently large to accommodate the construction of these proposed homes, and the homes meet the City's minimum requirements related to house size. The garage sizes on the villas are proposed to be smaller than the City's minimum requirements.

Memorandum

To: *Cindy Nash – Hanover City Planner*

From: *Justin Messner, PE – Hanover City Engineer*

Cc: *Brian Hagen – Hanover City Administrator*

Date: *February 19, 2020*

Re: *River’s Edge of Hanover Concept Plan Review*

As requested, we have reviewed the River’s Edge of Hanover Concept drawing as prepared by Duinick, revised February 18, 2020, and we offer the following comments below;

1. Southbound left turn lane on River Rd NE may be necessary. The current striping of River Rd NE shows a hatched area that may be able to accommodate the turn lane if it were restriped.
2. The project must be designed in accordance with the City of Hanover Standard Specification and Detail Plates dated January 2020.

Collaborative Planning, LLC

Memorandum

Date: February 20, 2020
To: Honorable Mayor and Council
From: Cindy Nash, City Planner
RE: Concept Plan – Rivers Edge of Hanover

I have reviewed the concept plan dated February 18, 2020 and offer the following comments:

1. The site must be designed to meet the density requirements of the Comprehensive Plan (2 to 4 units per net developable acre). Ponding and the right of way for River Road must be excluded from the gross area of the site for the calculation. This would be reviewed at preliminary plat.
2. The site is zoned R-1 which has the following minimum requirements for single-family homes. Any variations to these requirements would require a PUD.
 - a. Lot size interior lot: 12,000 square feet
 - b. Lot size corner lot: 15,000 square feet
 - c. Lot width: 80 feet
 - d. Front Yard setback: 30 feet
 - e. Side yard setback: 10 feet
 - f. Corner side yard setback: 30 feet
 - g. Rear yard setback: 30 feet
 - h. Setback from River Road: 45 feet
 - i. Minimum Garage Size: 576 square feet
3. Villas may only be permitted under a PUD. For villa products, it is suggested to utilize the standards in the R-2 zoning district as a basis for design, although different standards could be approved by the City Council under a PUD.
 - a. Lot size: 6,000 square feet
 - b. Lot width: 55 feet
 - c. Minimum Lot Depth: 105 feet
 - d. Front Yard Setback: 20 feet
 - e. Side Yard Setback: 7.5 feet
 - f. Rear Yard Setback: 20 feet
4. The plat needs to be designed to meet the setback of the underlying zoning district on the perimeter of the site.
5. The lots adjacent to 8th Street should be not less than 80 feet wide.

6. A Homeowner's Association will be required, and association documents will be required to be provided to the City for review and approval with the Final Plat submittal.
7. The City's Comprehensive Plan does not identify a need for additional park land in this location. Park dedication would be payment-in-lieu of land.
8. Architectural requirements would be a part of a PUD approval.
9. No overhead utilities would be permitted.
10. A landscape and tree preservation plan would be required to be submitted with the preliminary plat.

PROJECT NARRATIVE

January 30th, 2020

Ms. Cindy Nash, City Planner Hanover Planning Commission City of Hanover
11250 5th Street NE
Hanover, MN 55341

Re: Application for Preliminary Plat, Residential Planned Unit Development
River's Edge of Hanover

Dear Ms. Nash and Members of the Planning Commission:

JP Brooks, Inc is pleased to submit this application for concept plan review and approval of River's Edge of Hanover. This narrative is intended to generally describe the project and address specific development topics.

Location

The River's Edge of Hanover site is located north of the Crow River. The site is bound on the west by River Road NE, the north by 8th Street, on the East by the Pheasant Run housing addition (along Meander Road), and on the south by the Cleveland's 1st Addition (along Riverview Road).

Land Use/ Development History

Based upon historic aerial photographs, the subject property and all adjoining properties were in agricultural production from at least 1937 until sometime between 1957 and 1963. Around this time, Riverview Road was constructed, and single-family residences were constructed on the adjoining property to the south. The subject property and adjoining properties to the north, east, and west remained in agricultural production. Between 1959 and 1979, a gravel mine was excavated northwest of the subject property but has since been converted into industrial use. Between 1984 and 1991, the adjoining property to the east was developed as single-family residential land use. Around the same time, the adjoining property to the northwest was developed as commercial and industrial. Between 1997 and 2003, the adjoining property to the north was developed as single-family residential land use. Today, all adjoining properties have been developed.

Between 1984 and 1991, mining of sand and gravel began on the subject property. Mining ceased at the site around 2005; however, the site remains unreclaimed to date. As such, the terrain where gravel has been removed is steep, with approximately 45' of elevation difference between the high point to low point in the middle of the site. The vegetation in the mined areas consists of volunteer grasses and trees. The western portion of the site has not been mined and consists of various grasses and legumes, with a few trees interspersed.

In 2006, a preliminary plat entitled Hanover Commons was approved by the Hanover City Council which sought to develop this property into a residential housing development. In anticipation of this development. Ultimately, because of outside housing market conditions, this development did not materialize, and so the site remains as an unreclaimed gravel pit and is not being used for any other commercial, industrial, or residential purposes.

Proposed Planned Unit Development (PUD)

JP Brooks, Inc is proposing to construct a 272-unit residential development in the City of Hanover. This proposed development lies on two parcels, totaling 84.1 acres, the majority of which currently consists of unreclaimed gravel pit and agricultural grass land. These parcels will be developed into a residential planned-unit development, consisting of several different residential housing types throughout the property, including approximately 176 traditional single-family homes and 96 villa homes.

Infiltration basins and a large engineered pond (approx. 5 acres) are proposed to serve as the storm water management basins for the residential site. The pond will be landlocked but will have an emergency overflow to the southeast at an approximate 906.0 elevation which will connect to the Crow River through an 18" pipe.

Approximately 10,855 LF of public roads will be constructed to serve this project, along with all required storm sewer, sanitary sewer, and water main utilities. One aged pole shed (60'x40') will need to be demolished to accommodate the project.

The project will be completed in several (possibly 5- 7) phases. The proposer anticipates completing all phases of the project within 6 years commencing land improvements in late summer 2020.

Typical construction methods will be used to complete this project, incorporating City of Hanover standard plans and specifications. A total of approximately 600,000 CY of earth will be moved, all of which will originate onsite, as the project will be set up to balance the cuts and fills. All underground utilities and surfacing materials will be trucked into the site for installation using standard industry practices.

The underlying zoning requirements for the R-1 and R-2 Neighborhood Residential zone will be utilized, along with a PUD overlay to reflect the original planning concept.

The following exceptions to the R-1 standards are requested as part of the PUD request:

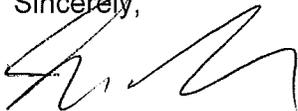
Performance Standards	R-1	PUD Requested Standard
Minimum Lot Area	12,000 Sq Ft	7,267 SF – 27,105 SF (Avg 9,538 SF)
Minimum Front Width (at front setback)	80 Ft	56 Ft
Minimum Side Yard Setback	10 Ft	7.5 Ft
On corner lot abutting street	30 Ft	25 Ft
Minimum Front Yard Setback	30 Ft	25 Ft
Minimum Rear Yard Setback	30 Ft	20 Ft
Minimum Garage Area	576 Sq Ft	440 Sq Ft

The following exceptions to the R-2 standards are requested as part of the PUD request:

Performance Standards	R-2	PUD Requested Standard
Minimum Front Width (at front setback)	55 Ft	53 Ft
Minimum Side Yard Setback	7.5 Ft	6 Ft

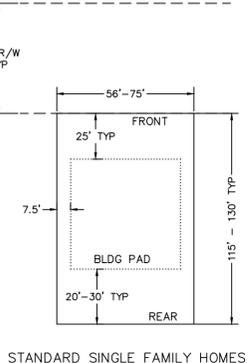
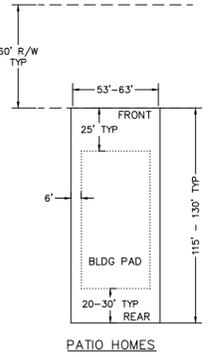
Thank you for your consideration of the River's Edge Of Hanover Preliminary Plat and PUD. We look forward to working with the City throughout its development.

Sincerely,

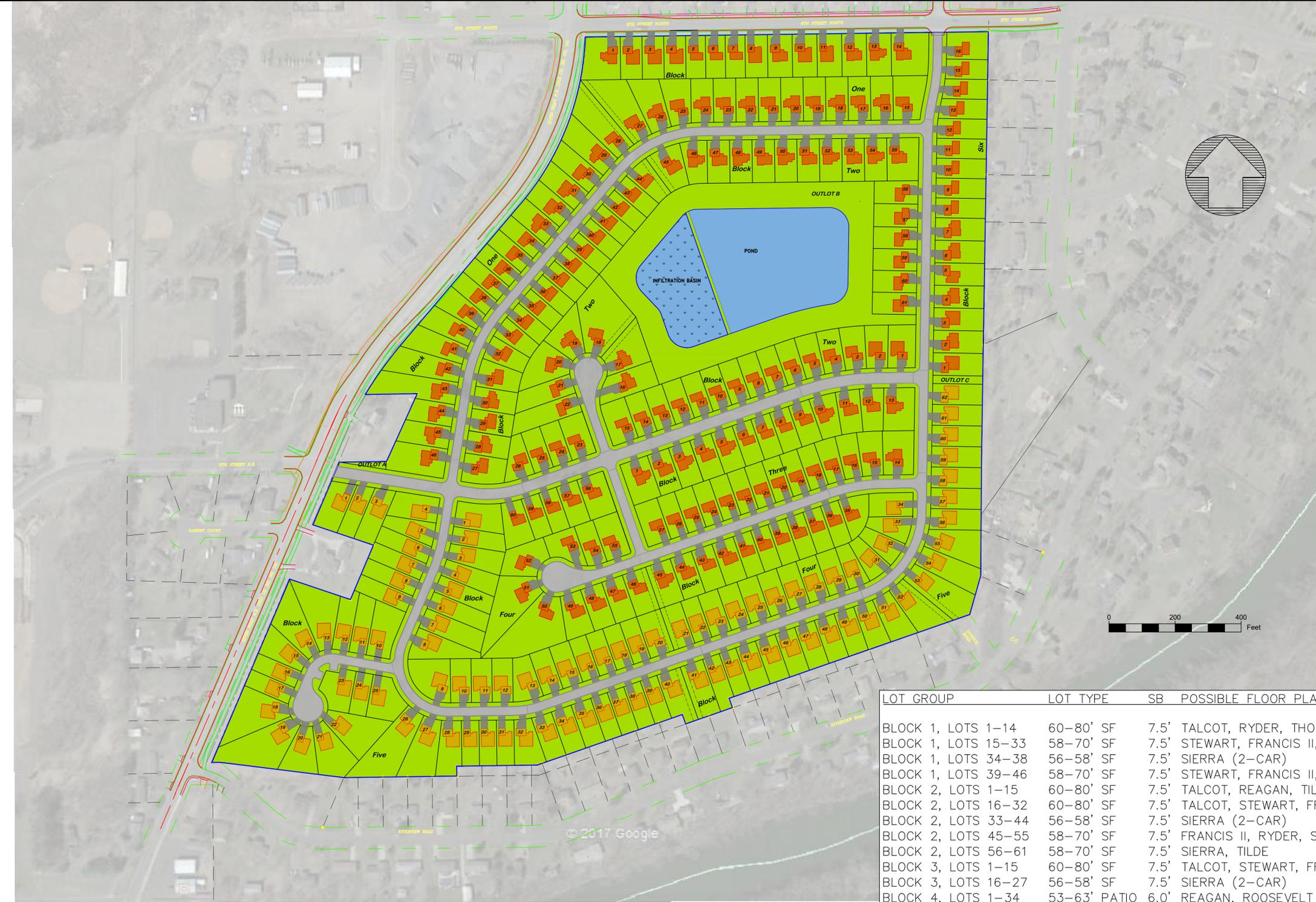


Josh Pomerleau
JP Brooks, Inc

PRELIMINARY LOT CONFIGURATIONS



DEVELOPER:
 JP BROOKS, INC.
 11314 86TH AVE N
 MAPLE GROVE, MN 55369



CONCEPT DATA
 GROSS SITE AREA: 82.6 ACRES
 LOT AREA: 61.03 ACRES
 R/W AREA: 12.90 ACRES
 PONDING/OPEN AREA: 8.67 ACRES

LOT LEGEND	# OF LOTS
56'-80' SINGLE FAMILY LOTS	176
53'-63' PATIO LOTS	96
TOTAL	272

LOT GROUP	LOT TYPE	SB	POSSIBLE FLOOR PLANS	# OF LOTS
BLOCK 1, LOTS 1-14	60-80' SF	7.5'	TALCOT, RYDER, THORNTON, FRANCIS II, TILDE II, ROOSEVELT, REAGAN	14
BLOCK 1, LOTS 15-33	58-70' SF	7.5'	STEWART, FRANCIS II, SIERRA, TALCOT, THORNTON, RYDER	19
BLOCK 1, LOTS 34-38	56-58' SF	7.5'	SIERRA (2-CAR)	5
BLOCK 1, LOTS 39-46	58-70' SF	7.5'	STEWART, FRANCIS II, SIERRA, TALCOT, THORNTON, RYDER	8
BLOCK 2, LOTS 1-15	60-80' SF	7.5'	TALCOT, REAGAN, TILDE	15
BLOCK 2, LOTS 16-32	60-80' SF	7.5'	TALCOT, STEWART, FRANCIS II, TILDE	17
BLOCK 2, LOTS 33-44	56-58' SF	7.5'	SIERRA (2-CAR)	12
BLOCK 2, LOTS 45-55	58-70' SF	7.5'	FRANCIS II, RYDER, STEWART	11
BLOCK 2, LOTS 56-61	58-70' SF	7.5'	SIERRA, TILDE	6
BLOCK 3, LOTS 1-15	60-80' SF	7.5'	TALCOT, STEWART, FRANCIS II, SIERRA	15
BLOCK 3, LOTS 16-27	56-58' SF	7.5'	SIERRA (2-CAR)	12
BLOCK 4, LOTS 1-34	53-63' PATIO	6.0'	REAGAN, ROOSEVELT	34
BLOCK 4, LOTS 35-41	56-58' SF	7.5'	SIERRA (2-CAR)	7
BLOCK 4, LOTS 42-57	60-80' SF	7.5'	TALCOT, STEWART, FRANCIS II, SIERRA	16
BLOCK 4, LOTS 58-60	56-58' SF	7.5'	SIERRA (2-CAR)	3
BLOCK 5, LOTS 1-62	53-63' PATIO	6.0'	REAGAN, ROOSEVELT	62
BLOCK 6, LOTS 1-16	70-80' SF	7.5'	TALCOT, REAGAN, THORNTON, RYDER, ROOSEVELT, TILDE	16
TOTAL				272

DATE	REVISIONS	NO.	BY

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 PRINSBURG, MN 56281
 PHONE: (320) 978-6011
 FAX: (320) 978-4978

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 DRAWN BY: LVE
 CHECKED BY: JVS
 SURVEYED BY: KVD

RIVER'S EDGE OF HANOVER
 CONCEPT PLAN
 HANOVER, MN
 DATE REVISIED: FEBRUARY 18, 2020
 SHEET 1 OF 1

359 65 1/2 St SW Shannon Finished Walk Out Basement

REVISIONS	BY
00111	R.M.
03188	J.R.
04062	B.M.
07023	N.F.
07025	N.F.

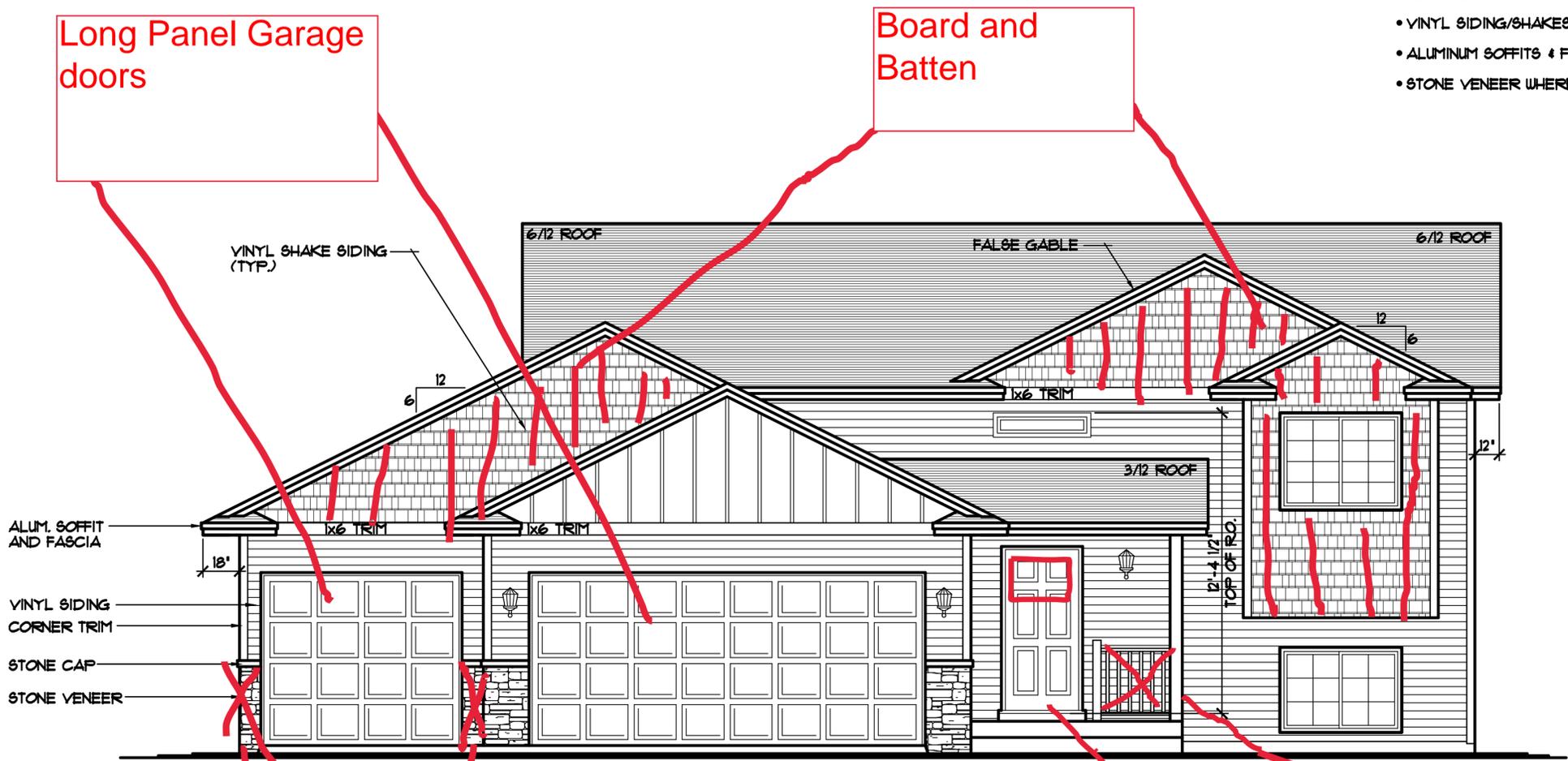
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NOTE!!!
ADJUST HEEL AT 3/12 ROOF TRUSSES w/18" O.H. TO MATCH 6/12 ROOF TRUSSES w/18" O.H.

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ MAIN LEVEL ROOF TRUSSES (TYP.)

- JELD WEN WINDOW SIZES SPEC'D.
- VINYL SIDING/SHAKES/CORNER TRIM
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN



Long Panel Garage doors

Board and Batten

No Stone on 3rd Stall

Thicker post, no Railing, window in front door and 3pnl style

FRONT ELEVATION 1/4" = 1'-0"
960 SQ.FT.

720 sq ft lower level

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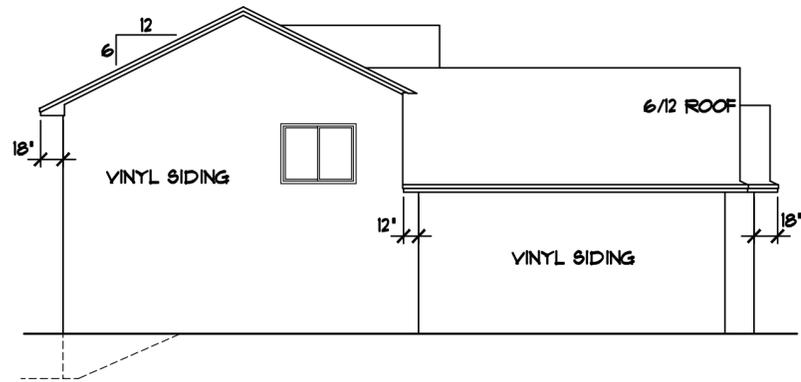
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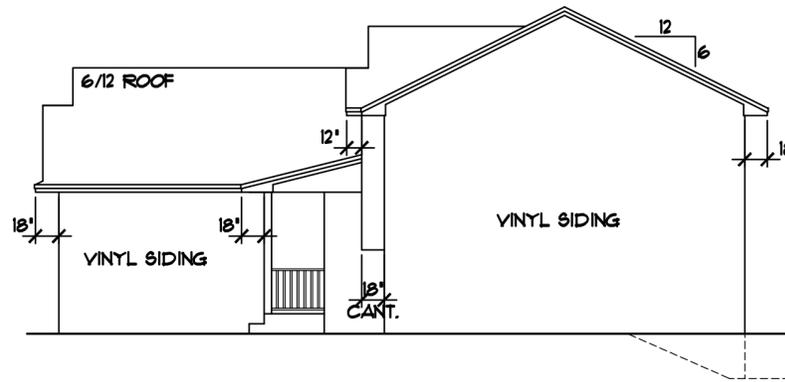
BUILT BY:

JP BROOKS

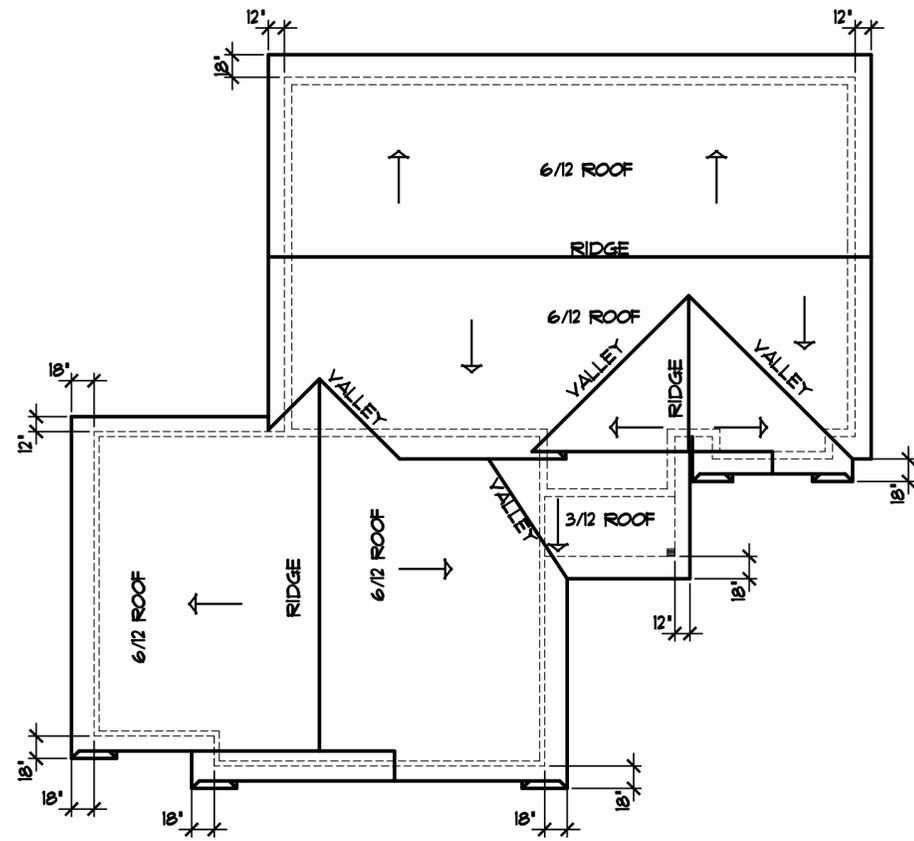
DRAWN	R.B.
CHECKED	J.C.
DATE:	05/28/2014
SCALE:	AS NOTED
CADD FILE #	14154



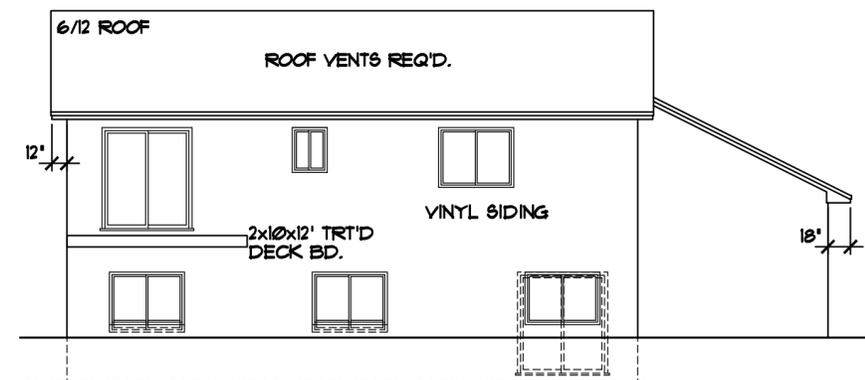
RIGHT ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"



BIRDS EYE ROOF PLAN 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"

Walk Out Option

REVISIONS
XXXXXX 0000 BY:XX
XXXXXX 0000 BY:XX

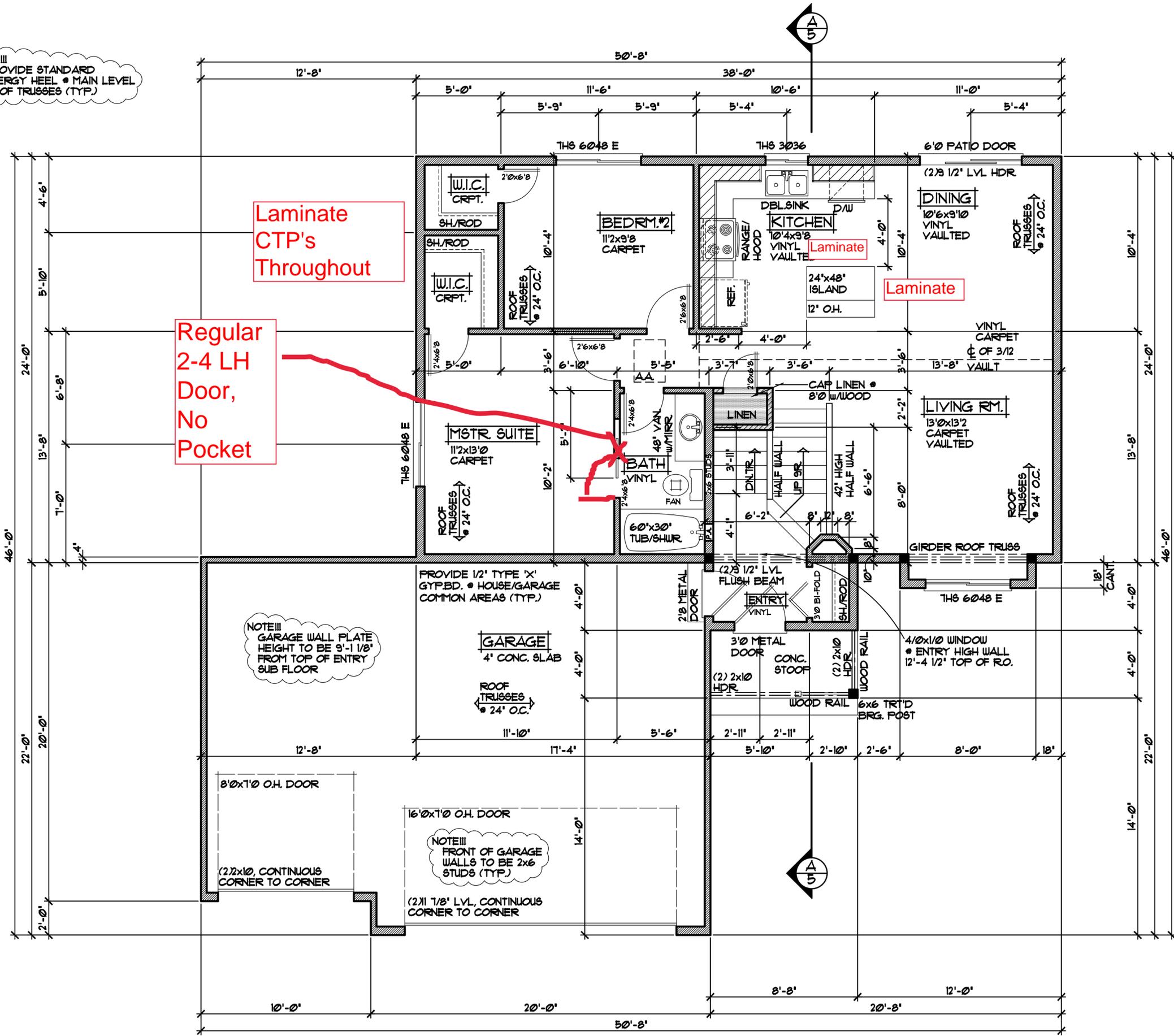
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BUILT BY:
JP BROOKS

SHEET
2
of 5
CADD FILE #
14154

NOTE III
 PROVIDE STANDARD
 ENERGY HEEL @ MAIN LEVEL
 ROOF TRUSSES (TYP.)



Laminate
 CTP's
 Throughout

Regular
 2-4 LH
 Door,
 No
 Pocket

NOTE III
 GARAGE WALL PLATE
 HEIGHT TO BE 9'-1 1/8"
 FROM TOP OF ENTRY
 SUB FLOOR

NOTE III
 FRONT OF GARAGE
 WALLS TO BE 2x6
 STUDS (TYP.)

NOTE III
 ALL WDW/DOOR OPENINGS
 TO HAVE (2)2x10 1/2 GRADE
 HDR or BETTER (U.N.O.)

NOTE III
 PROVIDE STANDARD
 ENERGY HEEL @ MAIN LEVEL
 ROOF TRUSSES (TYP.)

MAIN LEVEL FLOOR PLAN 1/4"=1'-0"
 960 SQ. FT.

NOTE III
 JELD WEN WINDOW SIZES SPEC'D.
 VERIFY ALL DOOR AND WINDOW
 ROUGH OPENINGS WITH SUPPLIER

REVISIONS
XXXXXX 0000 BY:XX
XXXXXX 0000 BY:XX

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BUILT BY:
JP BROOKS

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4
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 CADD FILE #
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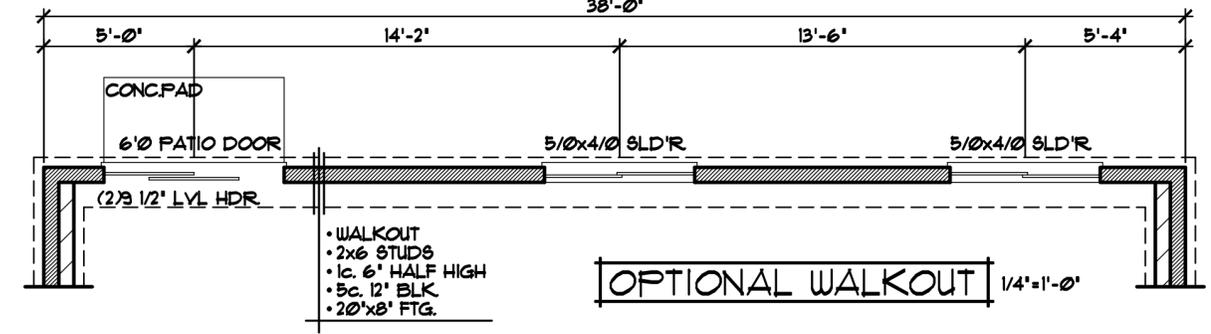
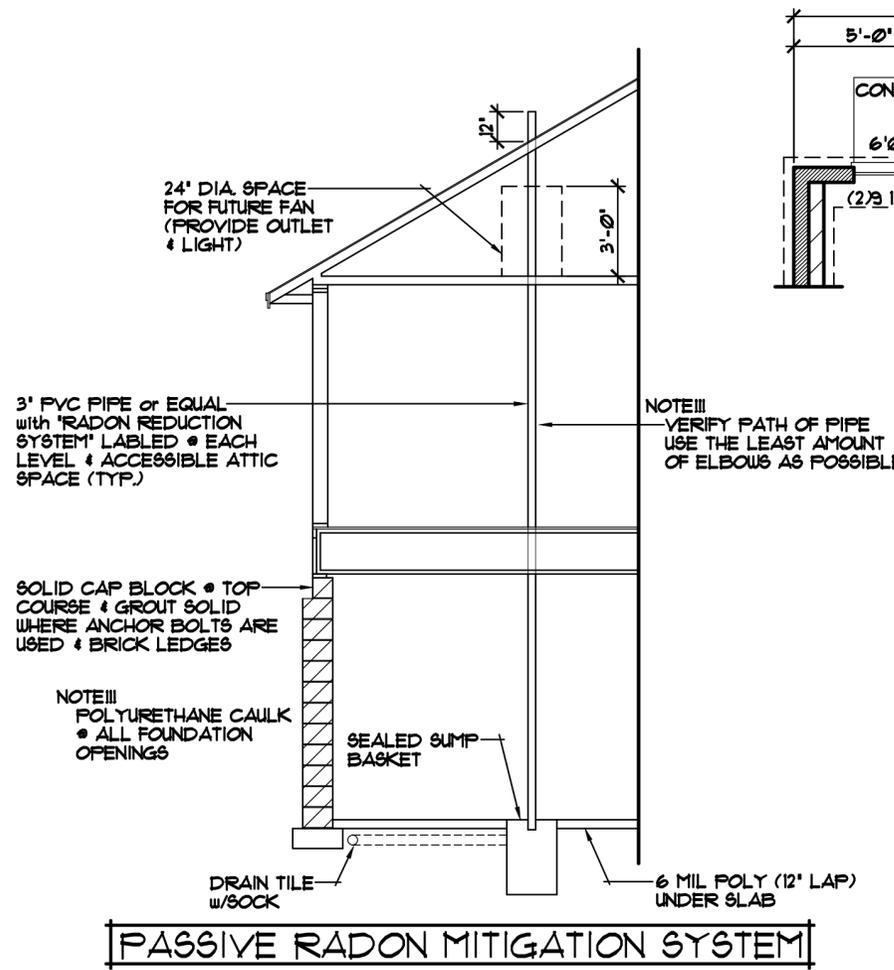
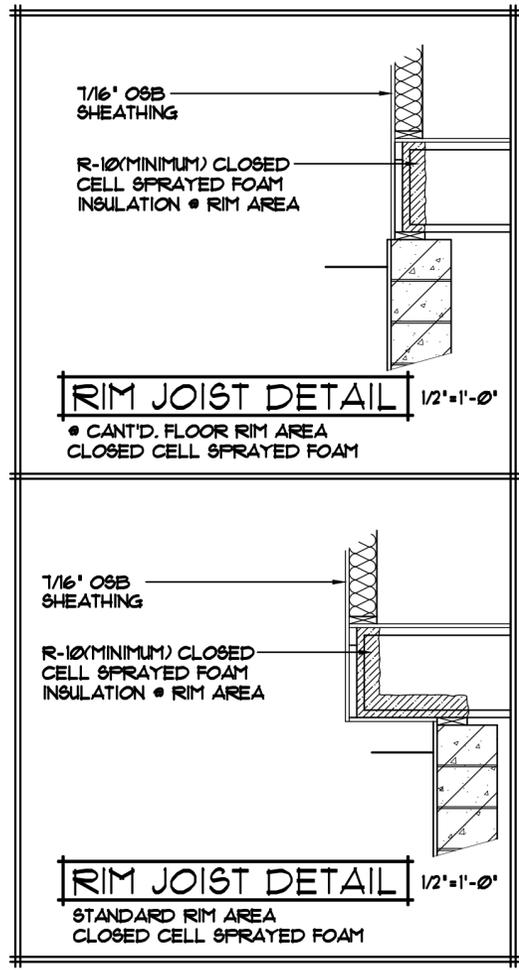
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XX/XX/XX	BY:XX
0000	BY:XX
XX/XX/XX	BY:XX
0000	BY:XX

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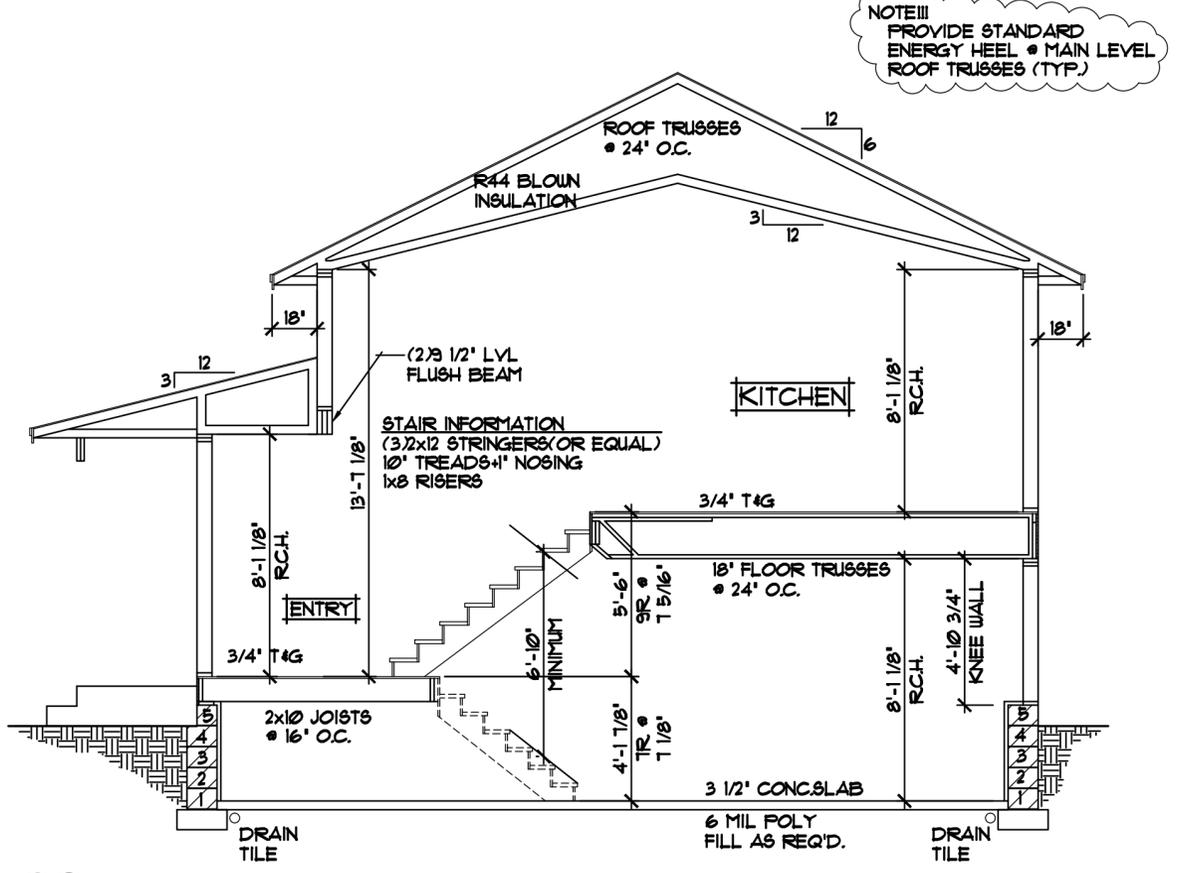
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SHEET
5
 of 5
 CADD FILE #
 14154



PASSIVE RADON MITIGATION SYSTEM



- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY-SEE PLAN
 - R44 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 7/16" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
 - 30 YEAR RAISED TAB SHINGLES
- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-19 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. (R10 MINIMUM) • RIM AREA AND CANTS.

- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-19 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER
 - 1/2" ANCHOR BOLTS • T2" O.C.

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

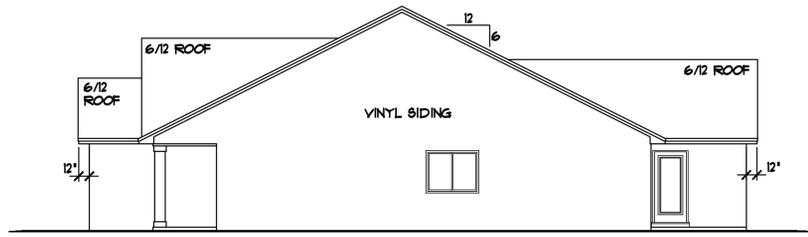
NOTE III
 SOLID CAP BLOCK • TOP COURSE & GROUT SOLID WHERE ANCHOR BOLTS ARE USED & BRICK LEDGES

CROSS SECTION "A" 1/4"=1'-0"

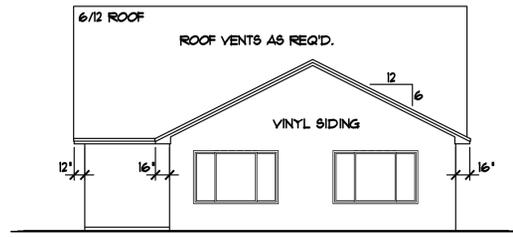
NOTE III
 DO NOT HOLD RIM JOIST IN RIM AREA TO BE INSULATED WITH CLOSED CELL SPRAYED FOAM INSULATION (TYP.)

4002 Iris Ct Rockford - Riley Plan - Slab On Grade

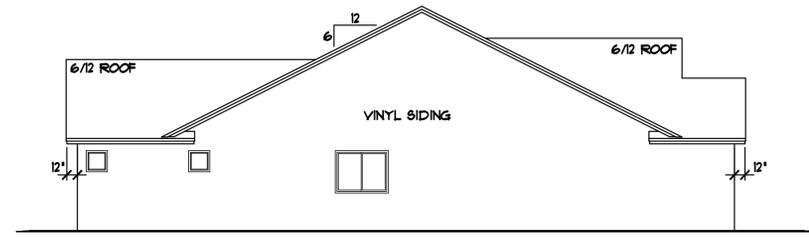
REVISIONS	BY
02052	R.M.
02025	R.M.
05091	B.M.
15317	R.B.



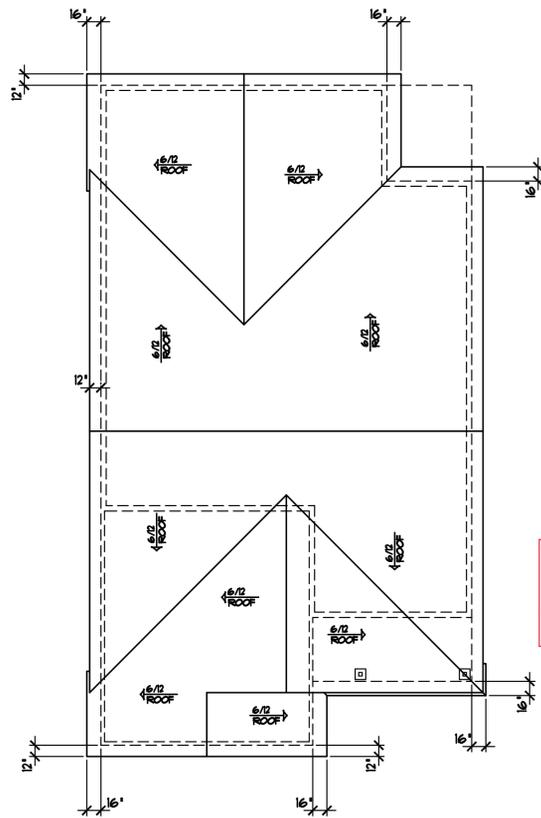
LEFT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



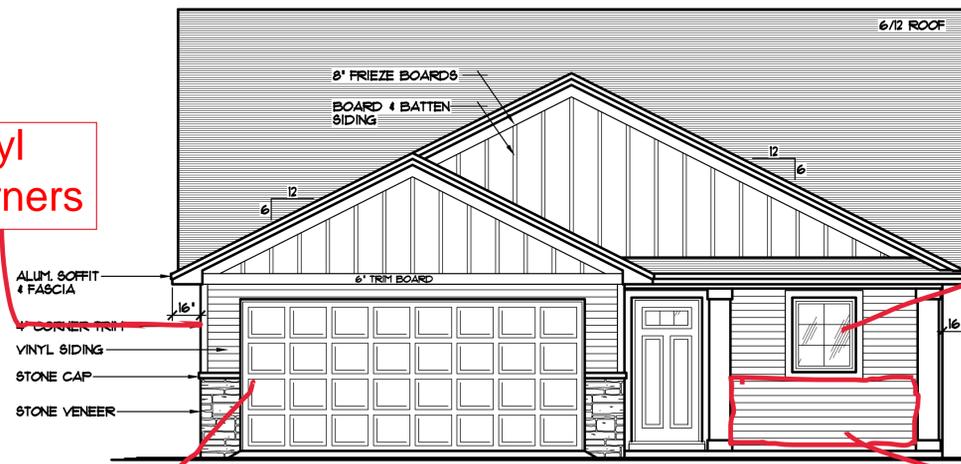
RIGHT ELEVATION 1/8"=1'-0"



BIRDS EYE ROOF PLAN 1/8"=1'-0"

Vinyl
Corners

Long Panel Garage
Door, Sandstone Color



Concrete
Apron

Stone Here

FRONT ELEVATION 1/4"=1'-0"
1481 SQFT. MAIN LEVEL

NOTE III
PROVIDE STANDARD
ENERGY HEEL • ALL
ROOF TRUSSES (TYP.)

NOTE III
WINDOWS w/ 1'-0" REQUIRE
SASH LIMITER (TYP.)

NOTE III
TOP OF R.O. FOR ALL
WINDOWS TO BE
6'-10 1/2" FROM
SUB FLOOR (UNO.)

NOTE III
8'-1 1/8" PLATE
HEIGHT • ENTIRE
MAIN LEVEL (UNO.)

- JELD WEN WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- BOARD & BATTEN SIDING WHERE SHOWN
- WINDOWS w/ OPTIONAL GRIDS AS SHOWN

JELD WEN

WINDOW and DOOR
PERFORMANCE DATA
U-VALUE / SHGC / STC

• SINGLE HUNG UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 21

• SLIDER UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 26

• FIXED UNIT
U-VALUE = 0.30
SHGC = 0.31
STC = 26

• DOUBLE HUNG UNIT
U-VALUE = 0.32
SHGC = 0.32
STC = 28

• SLIDING PATIO DOOR
U-VALUE = 0.29
SHGC = 0.35
STC = 28

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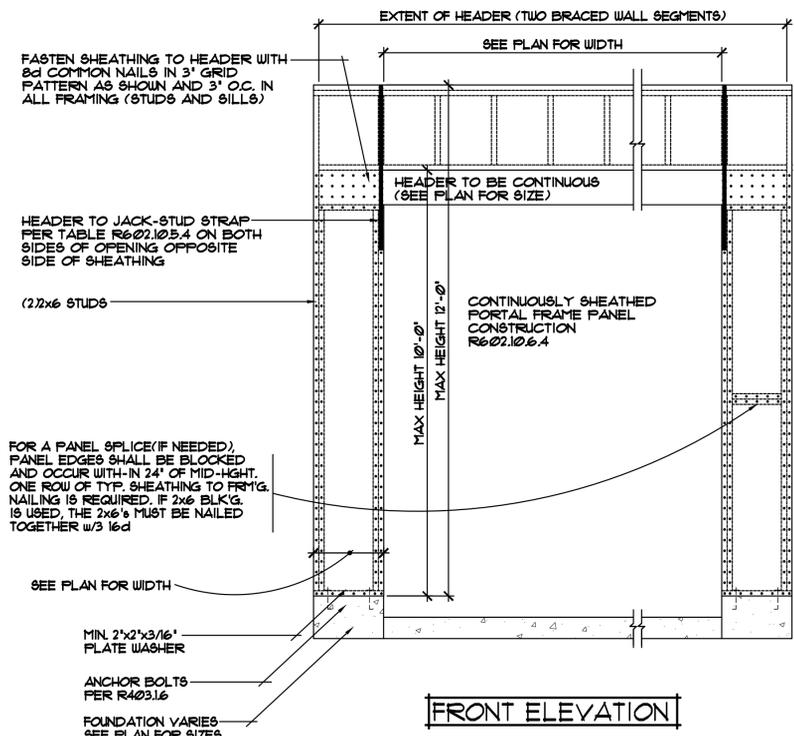
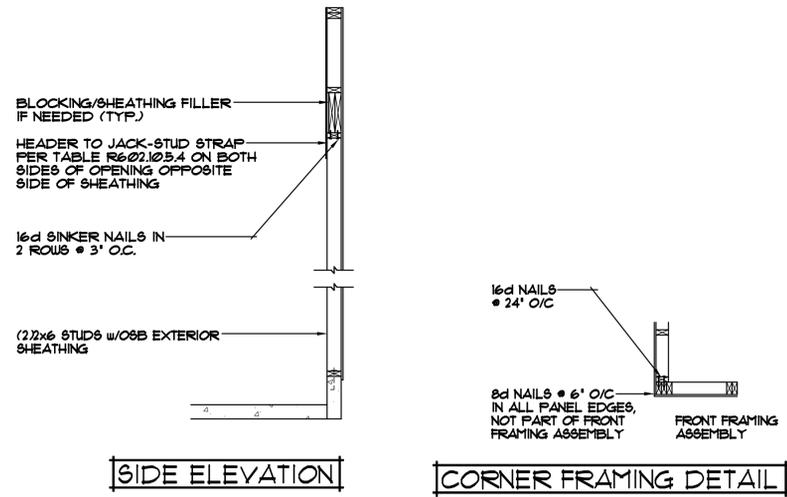
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WWW.CROIXDESIGN.COM

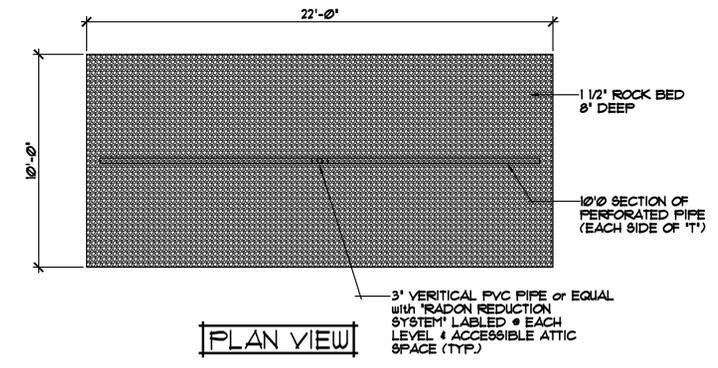
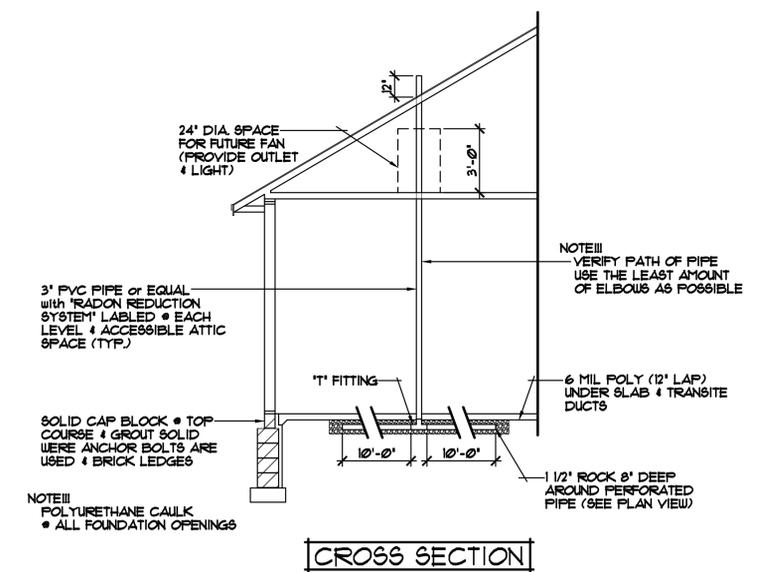
BUILT BY:

JP BROOKS

DRAWN	R.B.
CHECKED	XX
DATE:	05/09/2018
SCALE:	AS NOTED
CADD FILE #	18130
SHEET	1 OF 5



CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"x1'-0"

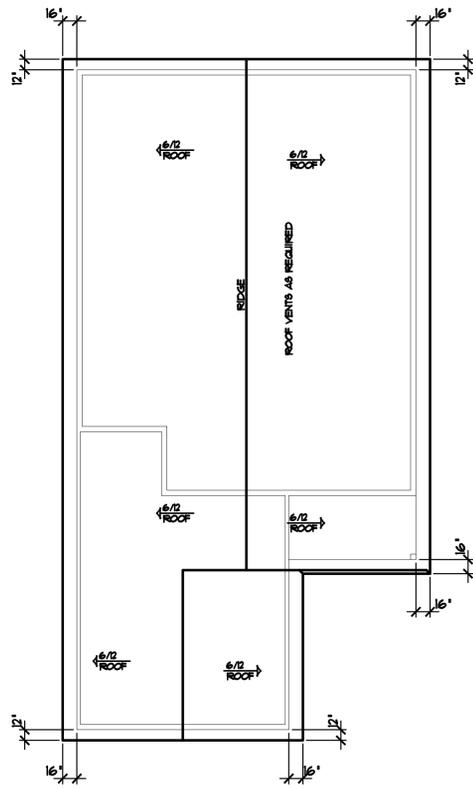
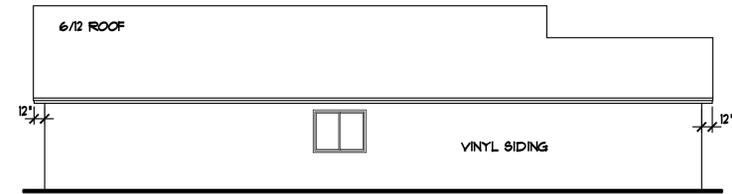
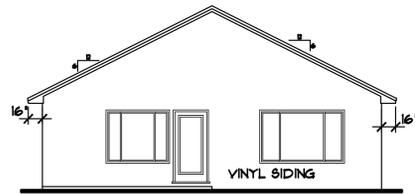
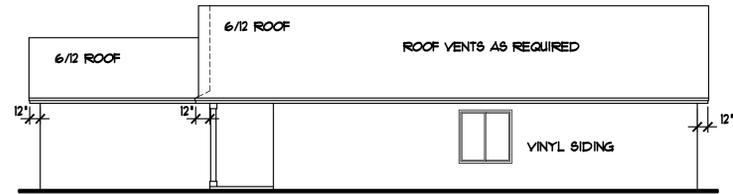


ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM

REVISIONS
XXXXXX 00000 BY:XX
XXXXXX 00000 BY:XX
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<p>CROIX DESIGN & DRAFTING, INC.</p>
<p>JP BROOKS</p>
<p>SHEET 5 OF 5 CADD FILE 18130</p>

4006 Iris Court - Ridley Slab On Grade - Fireplace W/ Ship Lap - Sandstone windows and garage doors

REVISIONS	BY
04302	C.C.

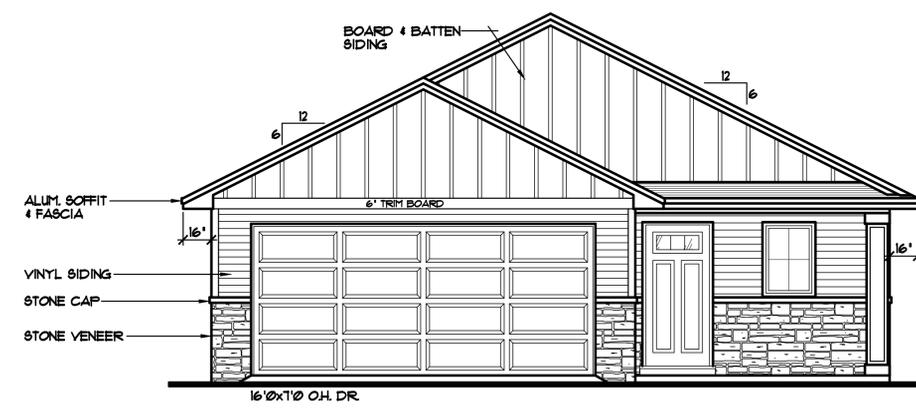


BIRDS EYE ROOF PLAN 1/8"=1'-0"

NOTE III
PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (TYP.)

LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	8'-1 1/8"	6'-10 1/2"

- GENERIC WINDOWS SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- VINYL SIDING/CORNER TRIM (TYP.)
- BOARD & BATTEN WHERE SHOWN
- STONE VENEER WHERE SHOWN



FRONT ELEVATION 1/4"=1'-0"
1184 SQFT. MAIN LEVEL
48 SQFT. MECH. NOT INCLUDED

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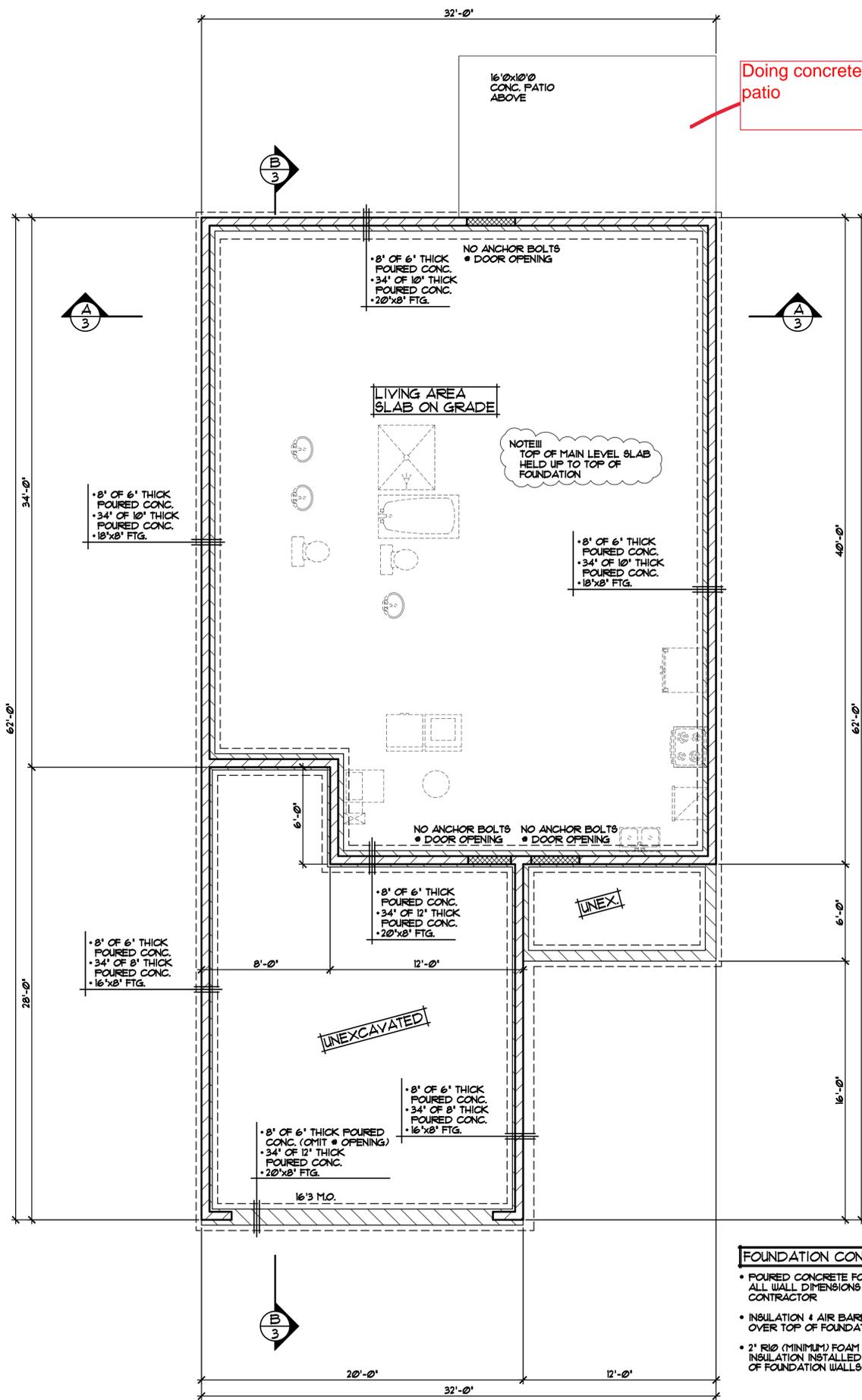
BUILT BY:
JP BROOKS

DRAWN	L.V.
CHECKED	XX
DATE	01/01/2019
SCALE	AS NOTED
CADD FILE #	191029

SHEET **1** OF 3

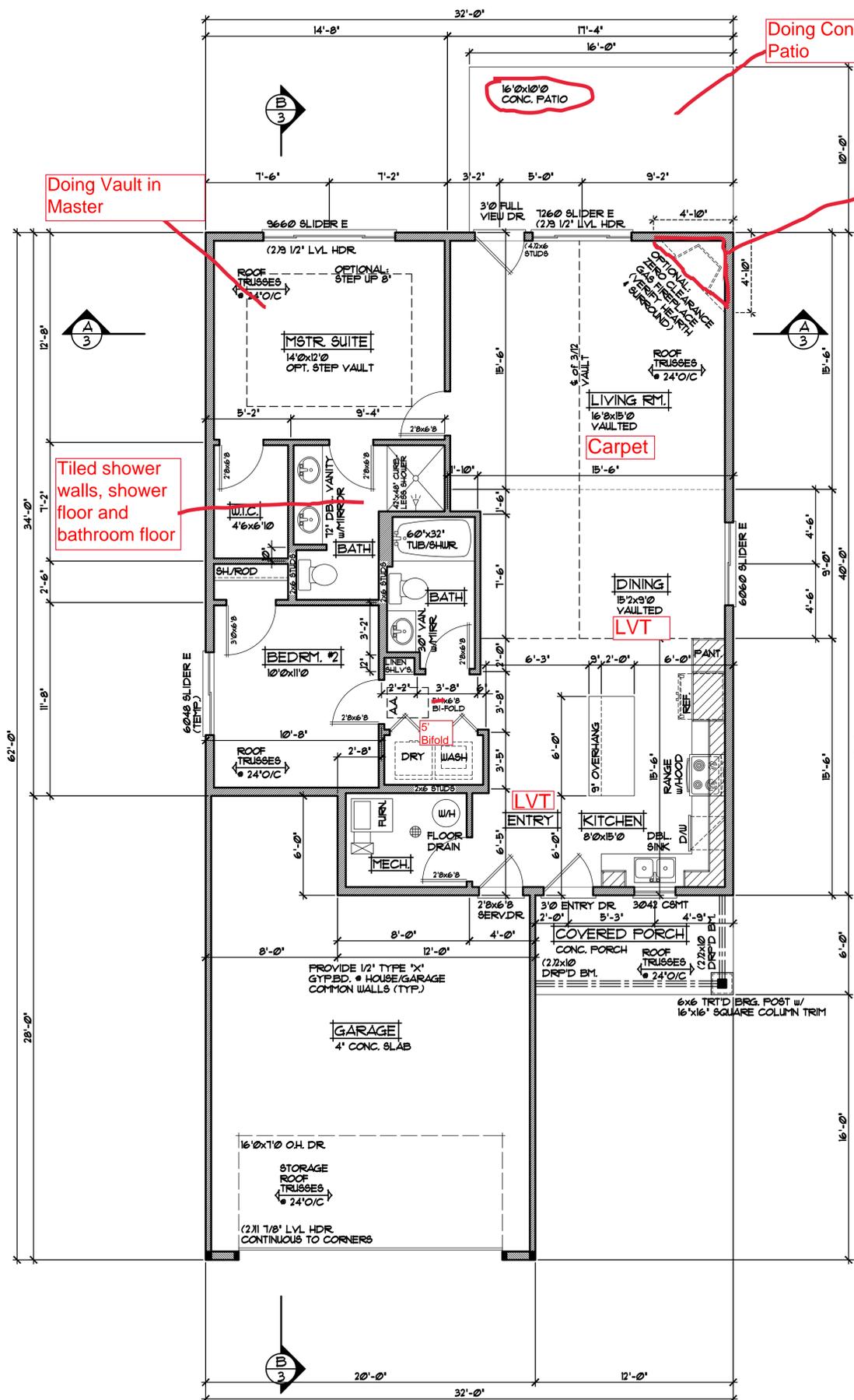
REVISION L.V. 1/08/2019

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FOUNDATION CONST. NOTES

- POURED CONCRETE FOUNDATION, VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)
- 2" R10 (MINIMUM) FOAM BOARD INSULATION INSTALLED TO INTERIOR OF FOUNDATION WALLS (TYP.)



NOTE!!! VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS, LOCATIONS ON PLAN ARE REPRESENTATION ONLY

FRAMING & CONSTRUCTION NOTES

- 8"-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE WALLS w/ 2x4 STUDS • 16" O.C. (UNLESS NOTED OTHERWISE)
- FRAME FRONT GARAGE WALLS w/ 2x6 STUDS • 16" O.C. (UNLESS NOTED OTHERWISE)

DOOR & WINDOW NOTES

- GENERIC WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2"x10" #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6"-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

<p>REVISIONS</p> <p>XX/XX/XX 00000 BY:XX</p> <p>XX/XX/XX 00000 BY:XX</p>	<p>SPECIAL NOTICE: THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS IN THESE DRAWINGS. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL CONDITIONS AND ADJUSTMENTS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL CONDITIONS AND ADJUSTMENTS REQUIRED DURING CONSTRUCTION.</p>	<p>OFFICE: 763.797.9997 1100 W. WASHINGTON ST., SUITE 100 ANDOVER, MINNESOTA 55002 WWW.CROIXDESIGN.COM</p> <p>CROIX DESIGN & DRAFTING, INC.</p>	<p>JP BROOKS</p>	<p>SHEET 2 OF 3</p> <p>CADD FILE # 19189</p>
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REVISIONS
XX/XX/XX 00000 BY:XX
XX/XX/XX 00000 BY:XX

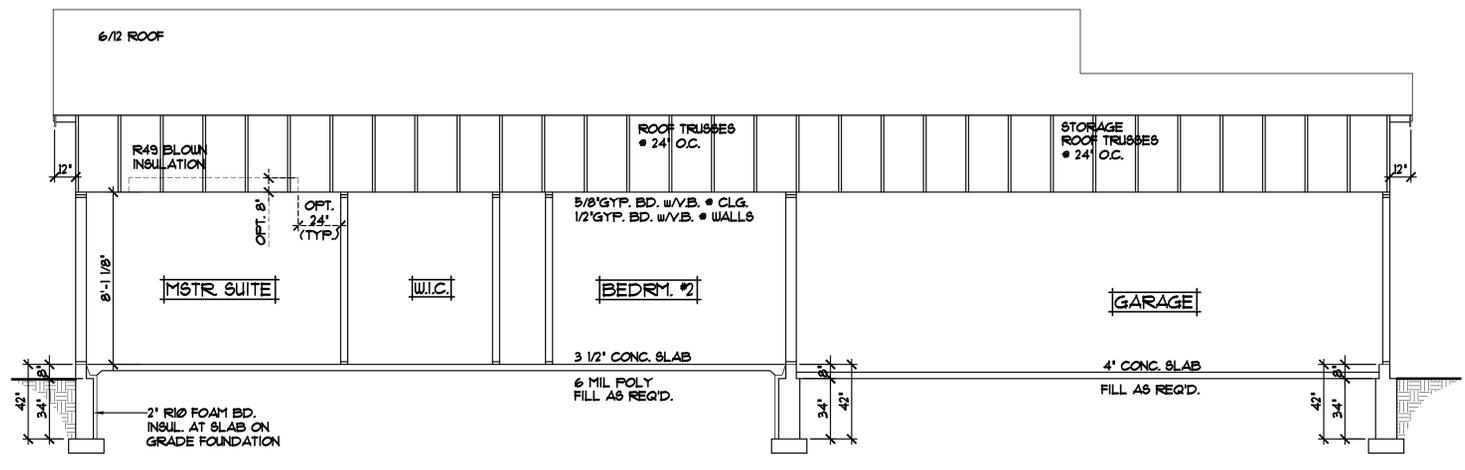
SPECIAL NOTICE: THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS IN THESE DRAWINGS. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE SHOWN HEREIN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES.

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JP BROOKS

SHEET
3
OF 3
CADD FILE #
19189



CROSS SECTION 'B' 1/4"=1'-0"

BLOCKING/SHEATHING FILLER IF NEEDED (TYP.)
HEADER TO JACK-STUD STRAP PER TABLE R602.10.3.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

16d SINKER NAILS IN 2 ROWS @ 3' O.C.

(2)2x6 STUDS W/OSS EXTERIOR SHEATHING

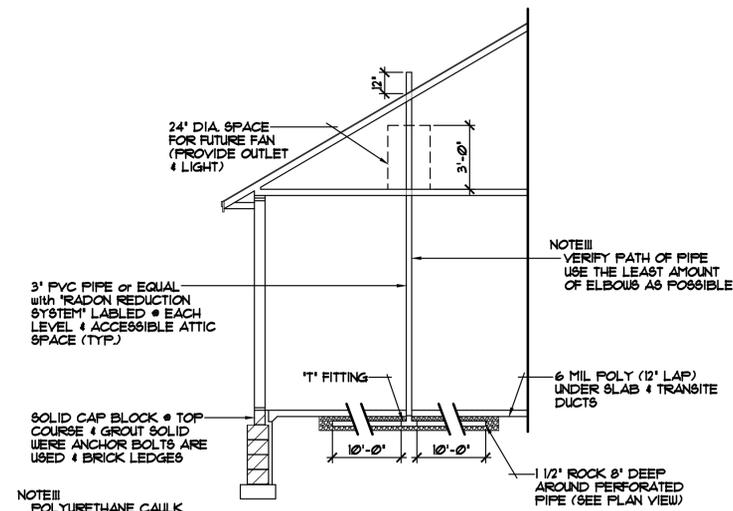
16d NAILS @ 24' O/C

8d NAILS @ 6' O/C IN ALL PANEL EDGES, NOT PART OF FRONT FRAMING ASSEMBLY

FRONT FRAMING ASSEMBLY

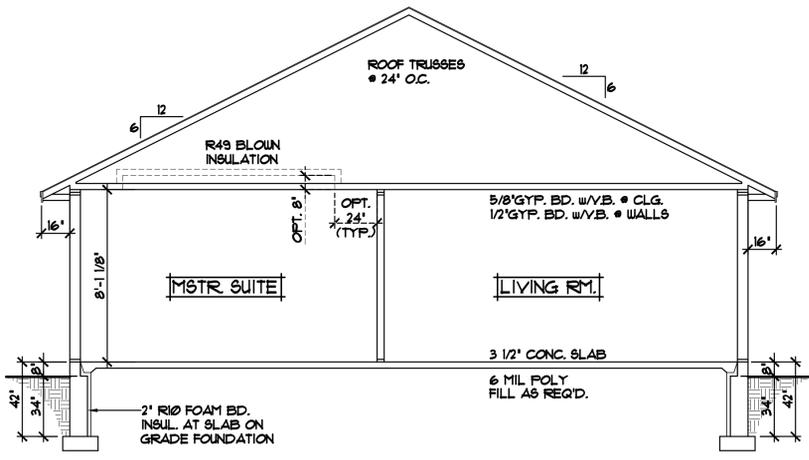
SIDE ELEVATION

CORNER FRAMING DETAIL

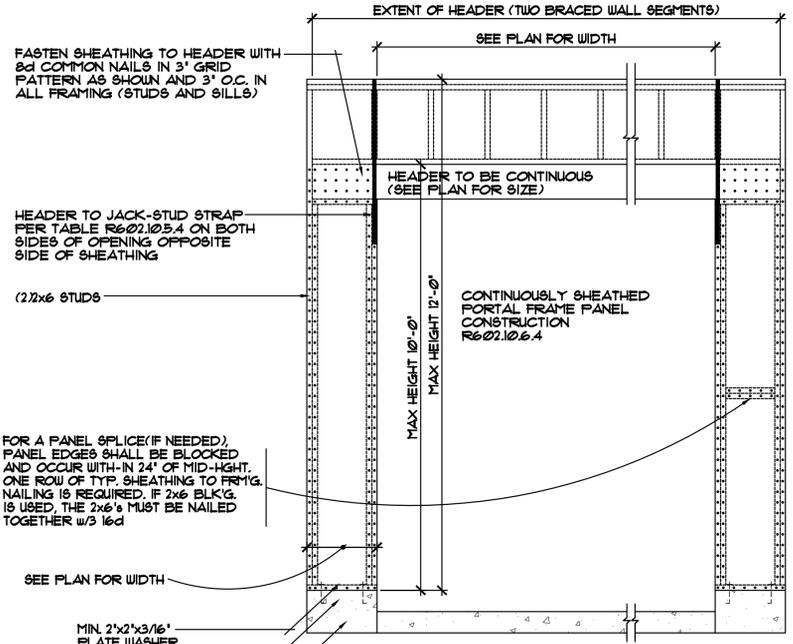


CROSS SECTION

ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



CROSS SECTION 'A' 1/4"=1'-0"



FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AS SHOWN AND 3' O.C. IN ALL FRAMING (STUDS AND SILLS)

HEADER TO JACK-STUD STRAP PER TABLE R602.10.3.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

(2)2x6 STUDS

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITH-IN 24" OF MID-HEIGHT. ONE ROW OF TYP. SHEATHING TO FRMG. NAILING IS REQUIRED. IF 2x6 BLK'G. IS USED, THE 2x6'S MUST BE NAILED TOGETHER W/3 16d

SEE PLAN FOR WIDTH

MIN. 2x2x3/16" PLATE WASHER

ANCHOR BOLTS PER R403.1.6

FOUNDATION VARIES SEE PLAN FOR SIZES

FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150" ROOF VENT AT SOFFITS, 1/150" VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
- ASPHALT SHINGLES.

SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- HOUSE WRAP
- 1/16" OSS SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 P.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

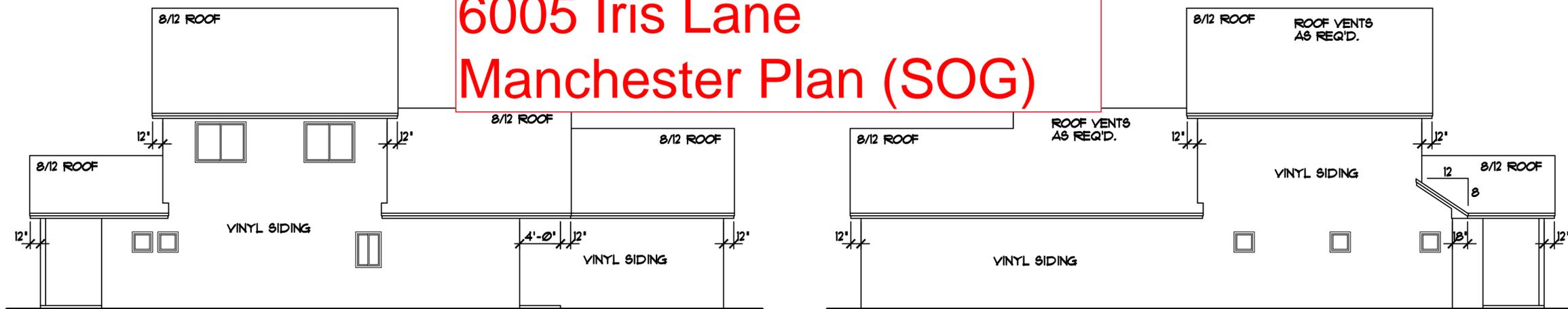
SILL CONSTRUCTION:

- 2x6 SILL FLATE & SEALER
- 1/2" ANCHOR BOLTS @ 12' O.C.

FOUNDATION INSULATION:

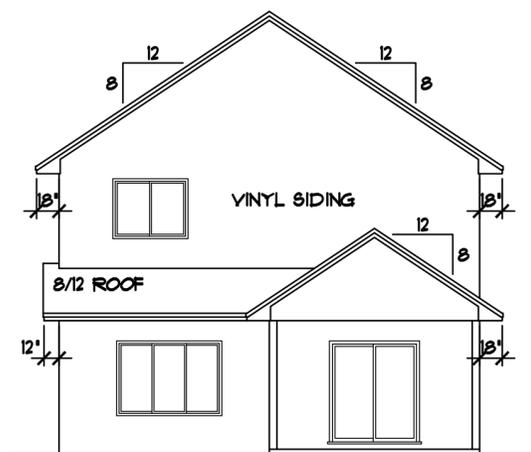
- 2" R10 (MINIMUM) FOAM BOARD INSULATION INSTALLED TO INTERIOR OF FOUNDATION WALLS (TYP.)

6005 Iris Lane Manchester Plan (SOG)

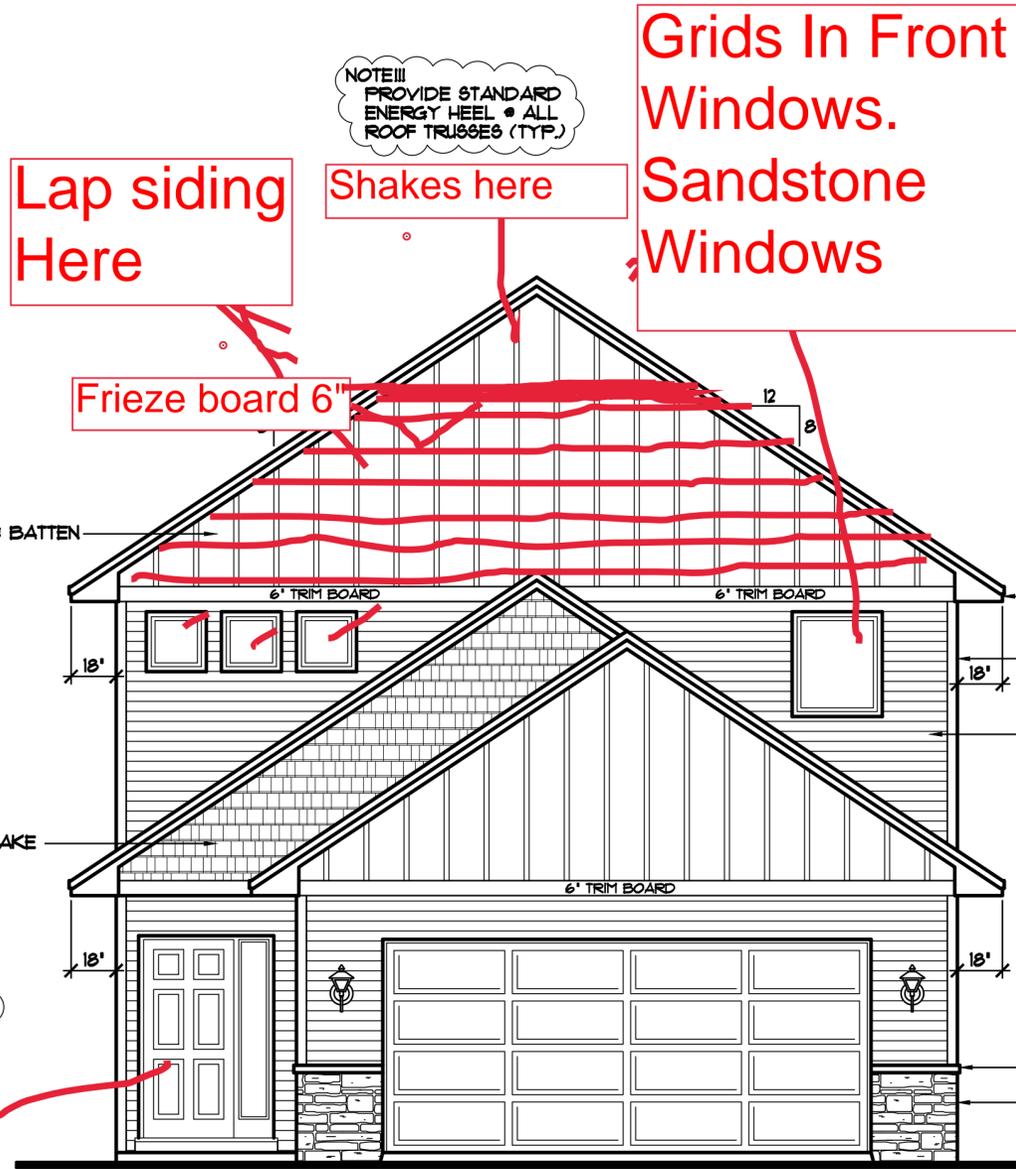


LEFT ELEVATION 1/8"=1'-0"

RIGHT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



FRONT ELEVATION OPTION "A" 1/4"=1'-0"

1042 SQFT. MAIN LEVEL
616 SQFT. UPPER LEVEL
1658 SQFT. ABOVE GRADE

NOTE III
PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (TYP.)

NOTE III
CANT. ROOF TRUSSES 6'-0" PLUS 18" OVER HANG • FRONT PORCH

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW RO.
MAIN LEVEL	9'-1 1/8"	6'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- SILVERLINE WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- VINYL SHAKE SIDING WHERE SHOWN
- BOARD & BATTEN SIDING WHERE SHOWN

Concrete Apron

REVISIONS	BY
XXXXX	XX

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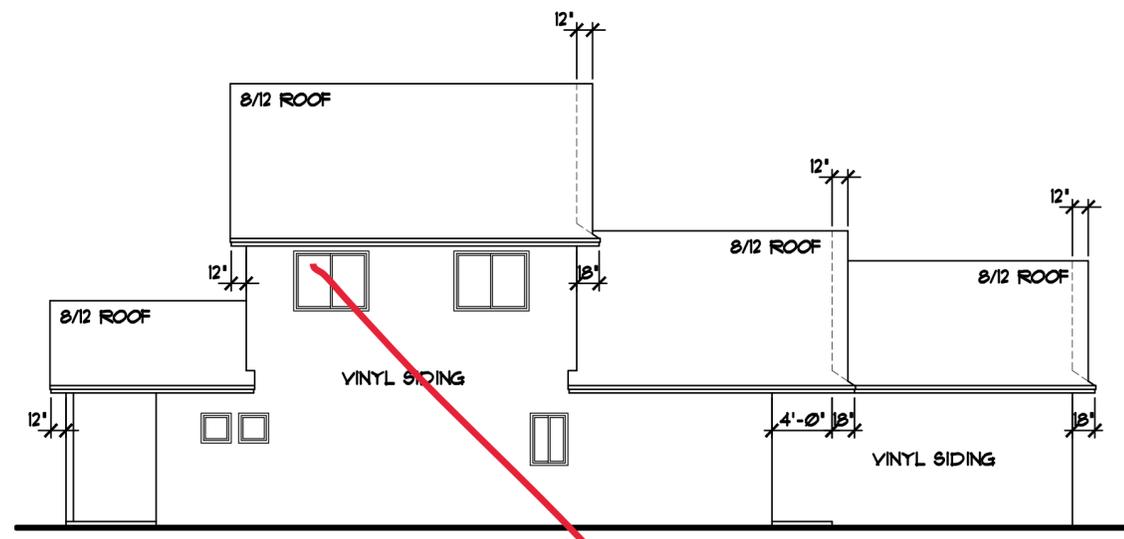
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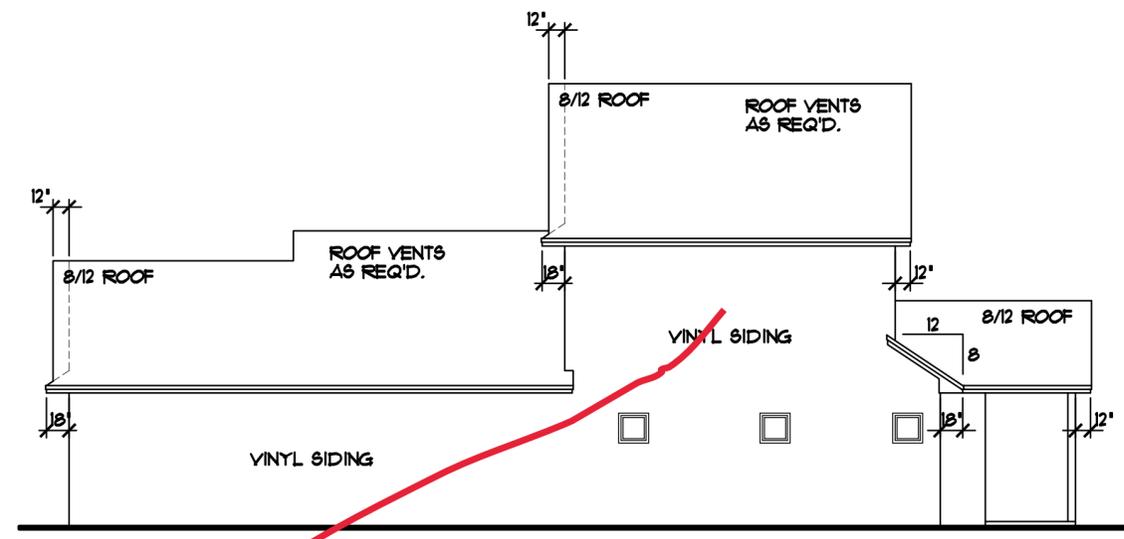
JP BROOKS

DRAWN	REB.L.Y.
CHECKED	XX
DATE:	10/31/2017
SCALE:	AS NOTED
CADD FILE #	11311

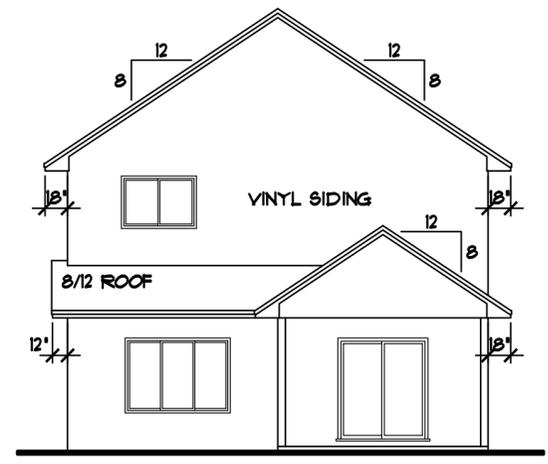
REVISIONS	BY
XXXXX	XX



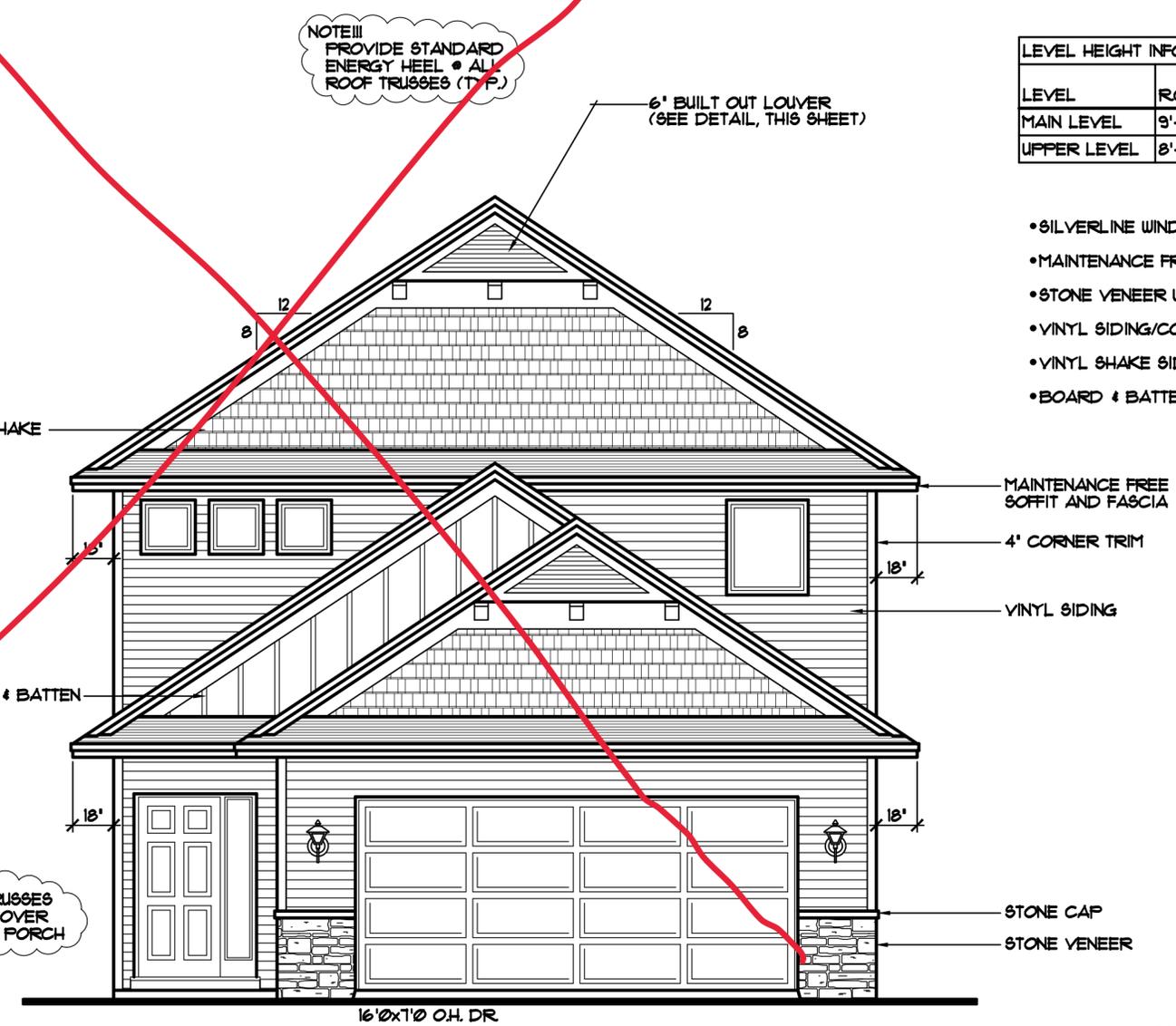
LEFT ELEVATION 1/8"=1'-0"



RIGHT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



FRONT ELEVATION OPTION "B" 1/4"=1'-0"

1042 SQFT. MAIN LEVEL
616 SQFT. UPPER LEVEL
1658 SQFT. ABOVE GRADE

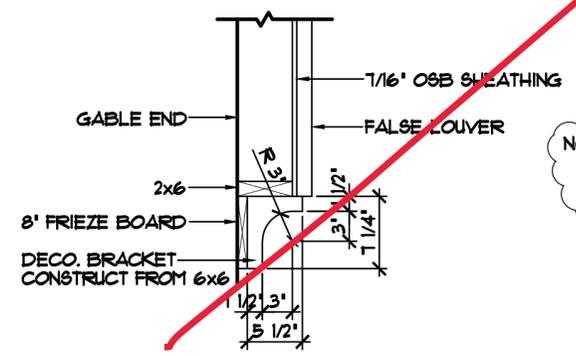
NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

6' BUILT OUT LOUVER (SEE DETAIL, THIS SHEET)

NOTE!!!
CANT. ROOF TRUSSES 6'-0" PLUS 18" OVER HANG @ FRONT PORCH

LEVEL HEIGHT INFORMATION TABLE		
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- STONE VENEER WHERE SHOWN
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- VINYL SHAKE SIDING WHERE SHOWN
- BOARD & BATTEN SIDING WHERE SHOWN



BUILT OUT LOUVER DETAIL 1"=1'-0"

NOTE!!!
PLANS DO NOT REPRESENT ALTERNATE ELEVATION OPTIONS

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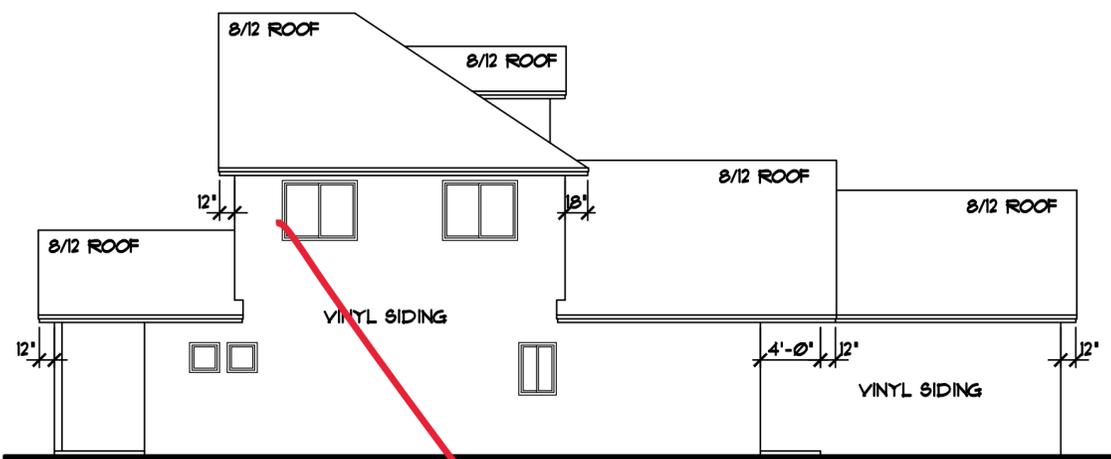
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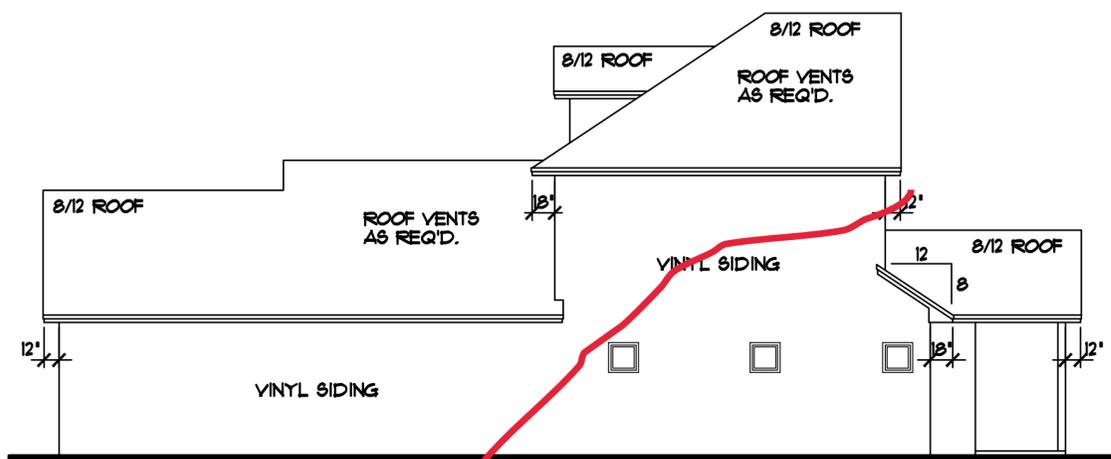
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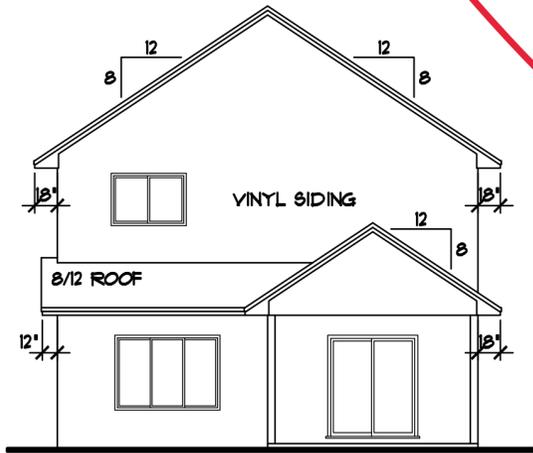
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CHECKED	XX
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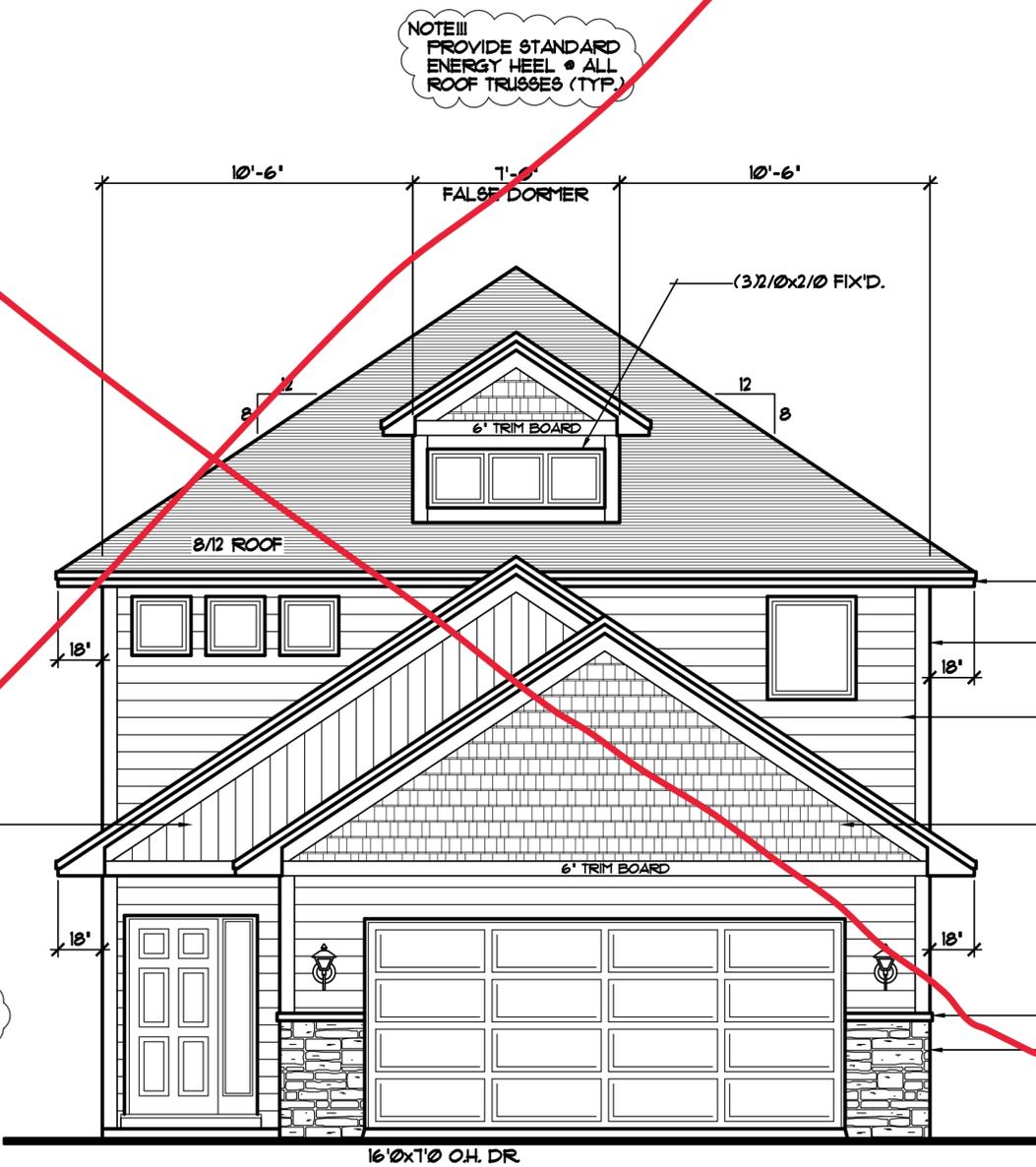
LEFT ELEVATION 1/8"=1'-0"



RIGHT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



FRONT ELEVATION OPTION "C" 1/4"=1'-0"

1042 SQFT. MAIN LEVEL
616 SQFT. UPPER LEVEL
1658 SQFT. ABOVE GRADE

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)

NOTE!!!
CANT. ROOF TRUSSES
6'-0" PLUS 18" OVER
HANG @ FRONT PORCH

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	9'-1 1/8"	6'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- SILVERLINE WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- VINYL SHAKE SIDING WHERE SHOWN
- VERTICAL VINYL SIDING WHERE SHOWN

- MAINTENANCE FREE SOFFIT AND FASCIA
- 6' CORNER TRIM
- VINYL SIDING
- VINYL SHAKE SIDING
- STONE CAP
- STONE VENEER

NOTE!!!
PLANS DO NOT
REPRESENT ALTERNATE
ELEVATION OPTIONS

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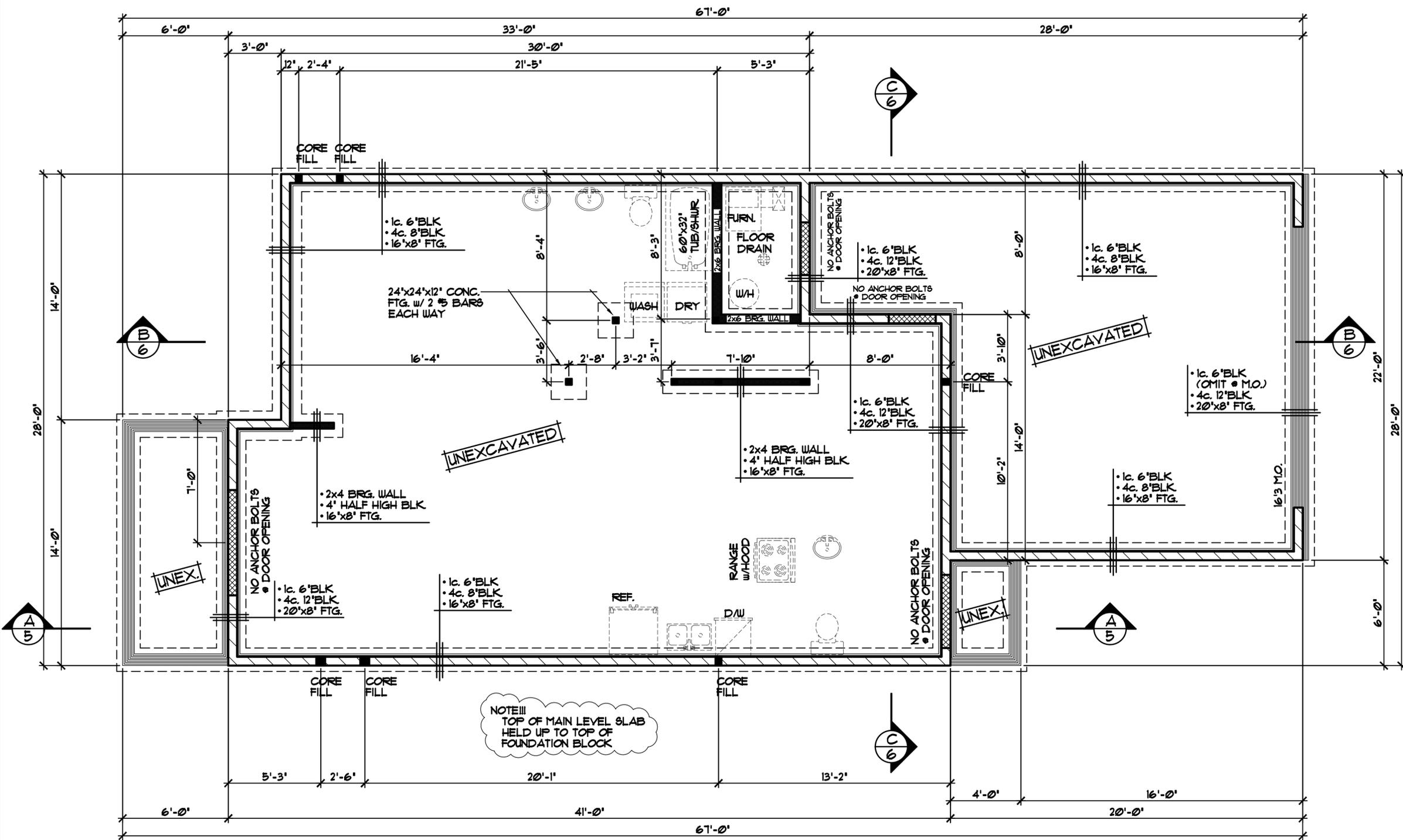
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NOTE!!!
TOP OF MAIN LEVEL SLAB
HELD UP TO TOP OF
FOUNDATION BLOCK

FOUNDATION PLAN 1/4"=1'-0"
SLAB-ON-GRADE FOUNDATION

FOUNDATION CONST. NOTES

- SOLID CAP BLOCK at TOP COURSE & GROUT SOLID WHERE ANCHOR BOLTS ARE USED & BRICK LEDGES
- PROVIDE 2" RIG FOAM BOARD INSULATION & INTERIOR FOUNDATION WALLS (TYP.)
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

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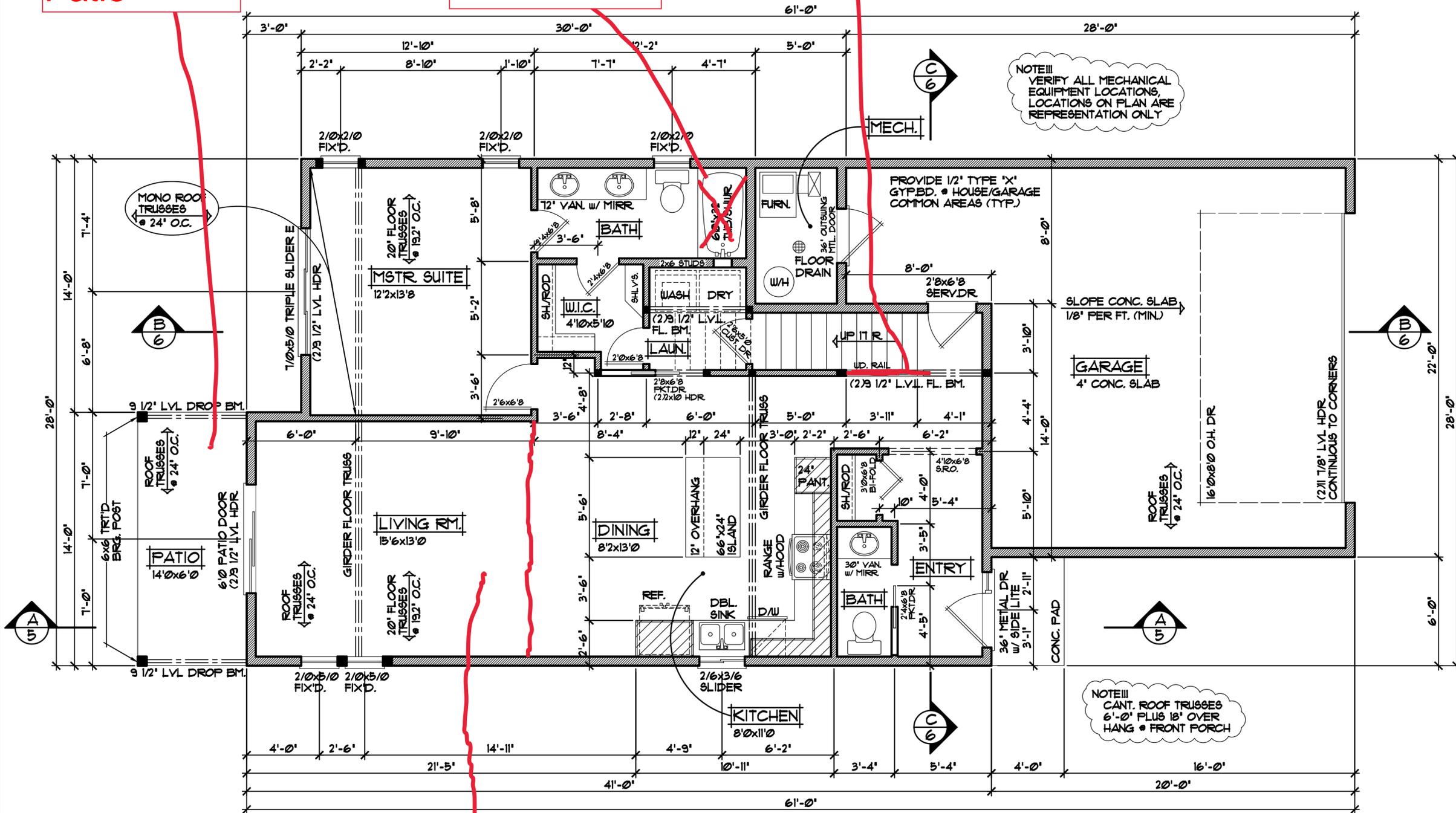
FRONT

Concrete
Patio

One Piece
Shower
Surround 48" x
36" (NO TUB)

Half Wall,
No Railing

Carpet In Living
Room



MAIN LEVEL PLAN 1/4"=1'-0"
1042 SQFT. MAIN LEVEL

FRAMING NOTES

- 9'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE STUDS w/ 2x6 STUDS • 16" O.C. (TYP.)

DOOR & WINDOW NOTES

- SILVERLINE WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "x" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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FRONT

ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/16" ROOF VENT AT SOFFITS, 1/16" VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
- ASPHALT SHINGLES,

SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

WALL CONSTRUCTION:

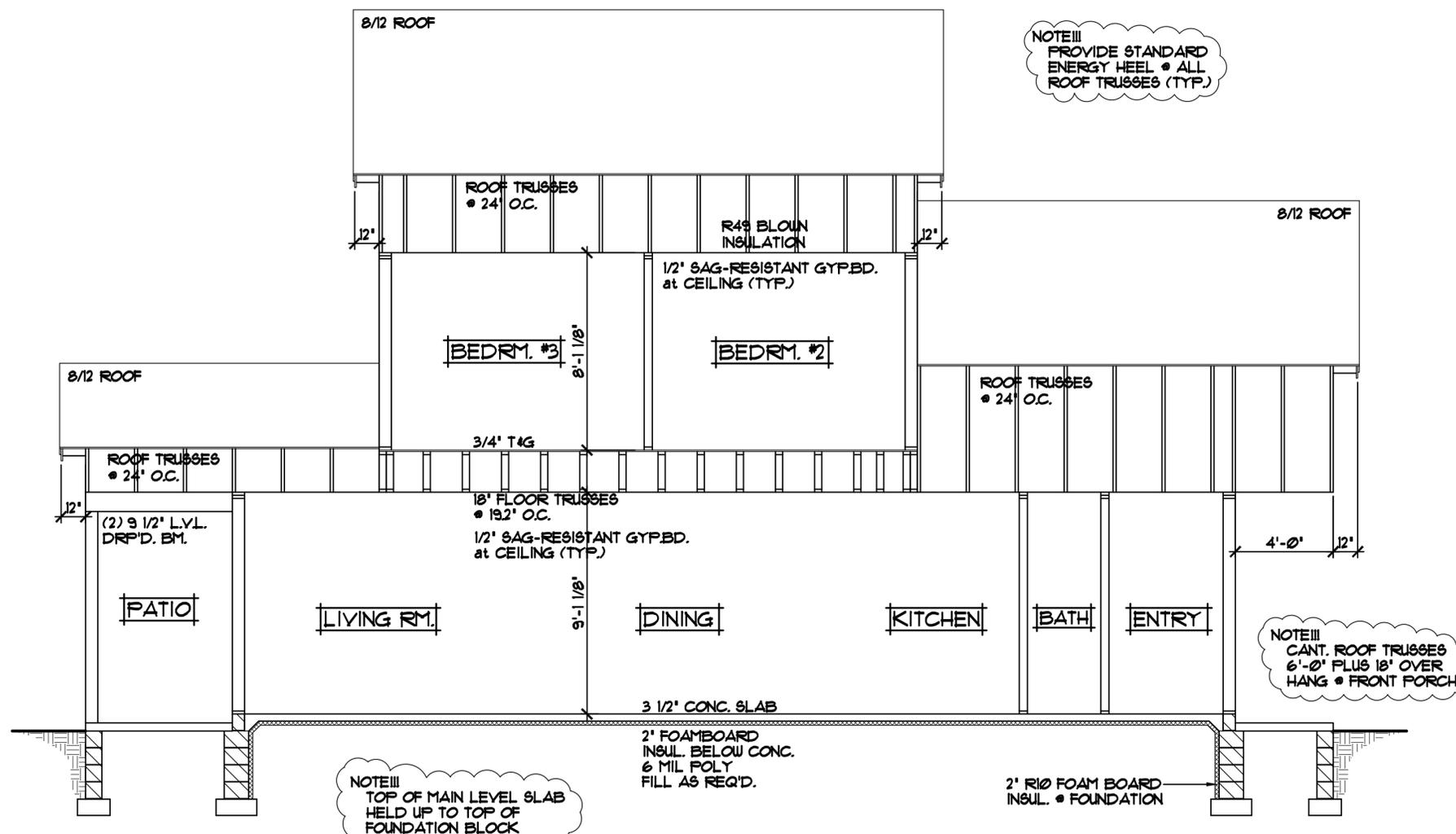
- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

SILL CONSTRUCTION:

- 2x6 SILL PLATE & SEALER
- 1/2" ANCHOR BOLTS @ 12" O.C.

FOUNDATION CONSTRUCTION:

- BLOCK WALL FOUNDATION (SEE FOUNDATION PLAN FOR COURSING)



NOTE III
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

NOTE III
CANT. ROOF TRUSSES 6'-0" PLUS 18" OVER HANG @ FRONT PORCH

NOTE III
TOP OF MAIN LEVEL SLAB HELD UP TO TOP OF FOUNDATION BLOCK

CROSS SECTION "A" 1/4"=1'-0"

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

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ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" ROOF SHEATHING
- 15# ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
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- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

WALL CONSTRUCTION:

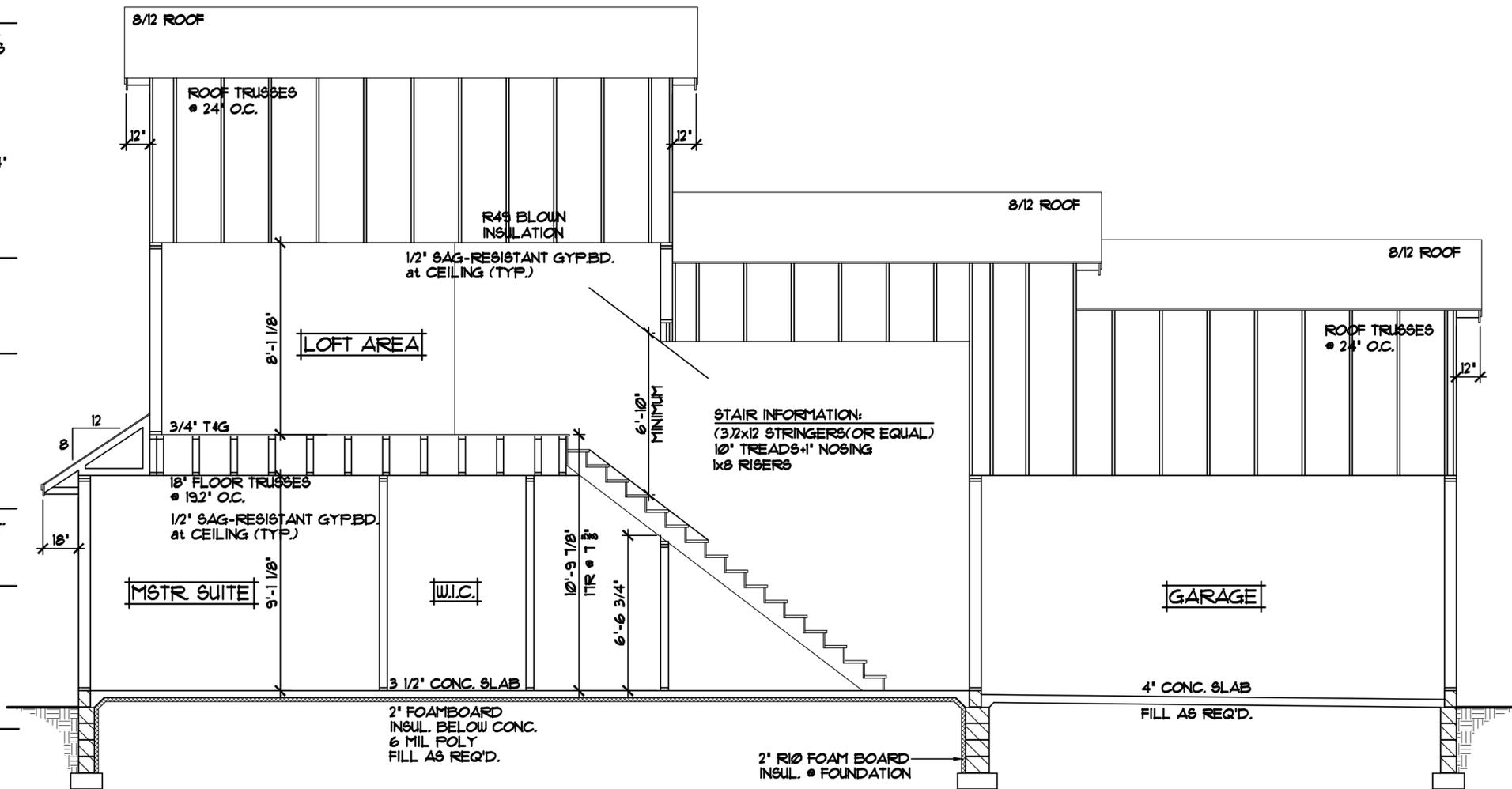
- HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

SILL CONSTRUCTION:

- 2x6 SILL PLATE & SEALER
- 1/2" ANCHOR BOLTS @ T2' O.C.

FOUNDATION CONSTRUCTION:

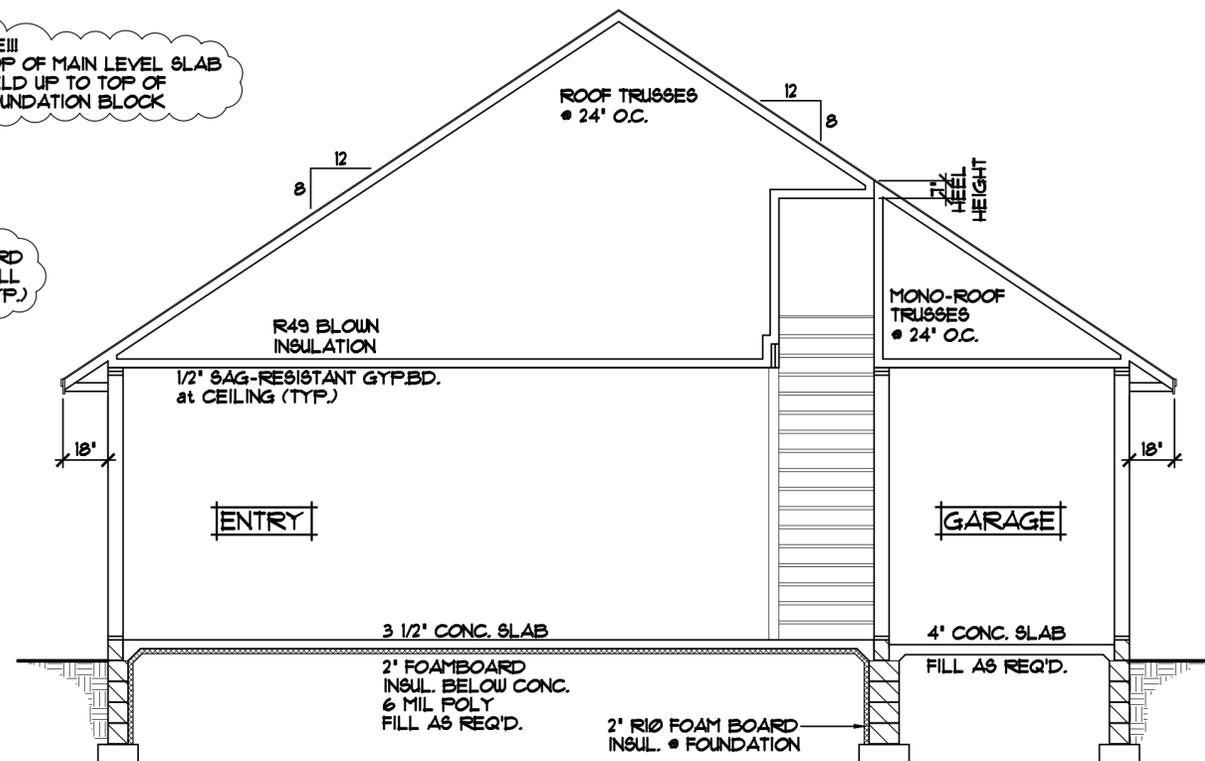
- BLOCK WALL FOUNDATION (SEE FOUNDATION PLAN FOR COURSING)



CROSS SECTION "B" 1/4"=1'-0"

NOTE III
TOP OF MAIN LEVEL SLAB HELD UP TO TOP OF FOUNDATION BLOCK

NOTE III
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)



CROSS SECTION "C" 1/4"=1'-0"

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8' HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

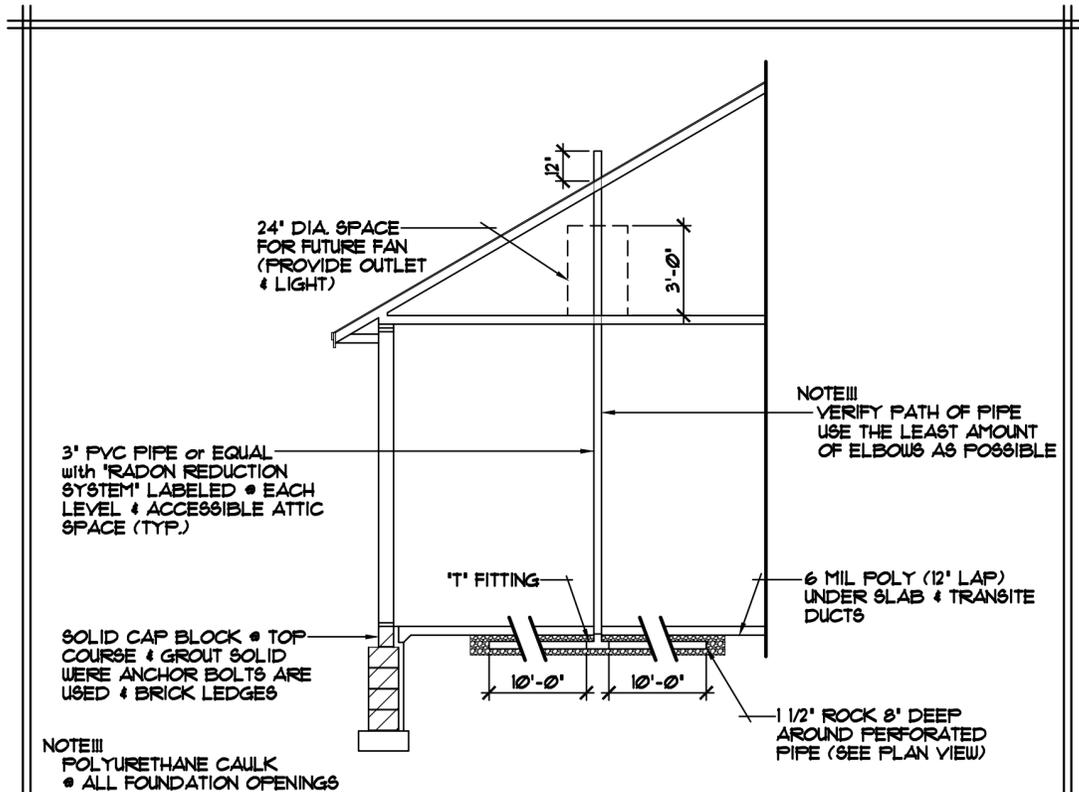
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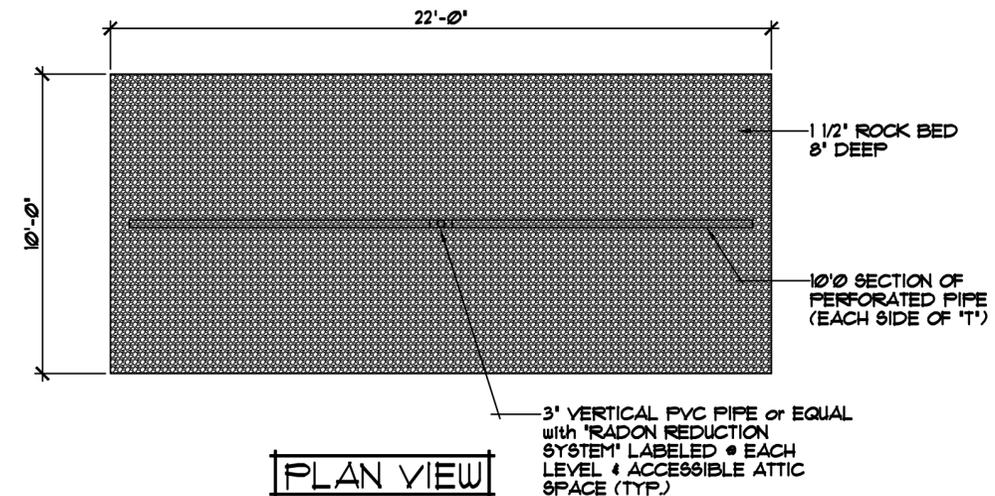


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JP BROOKS

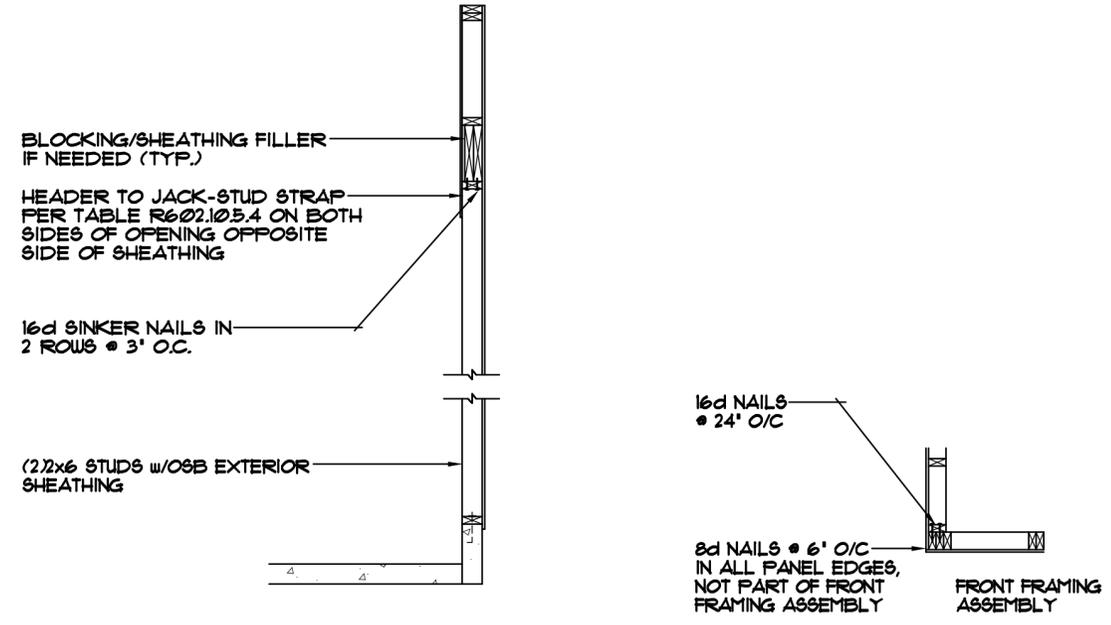
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CROSS SECTION

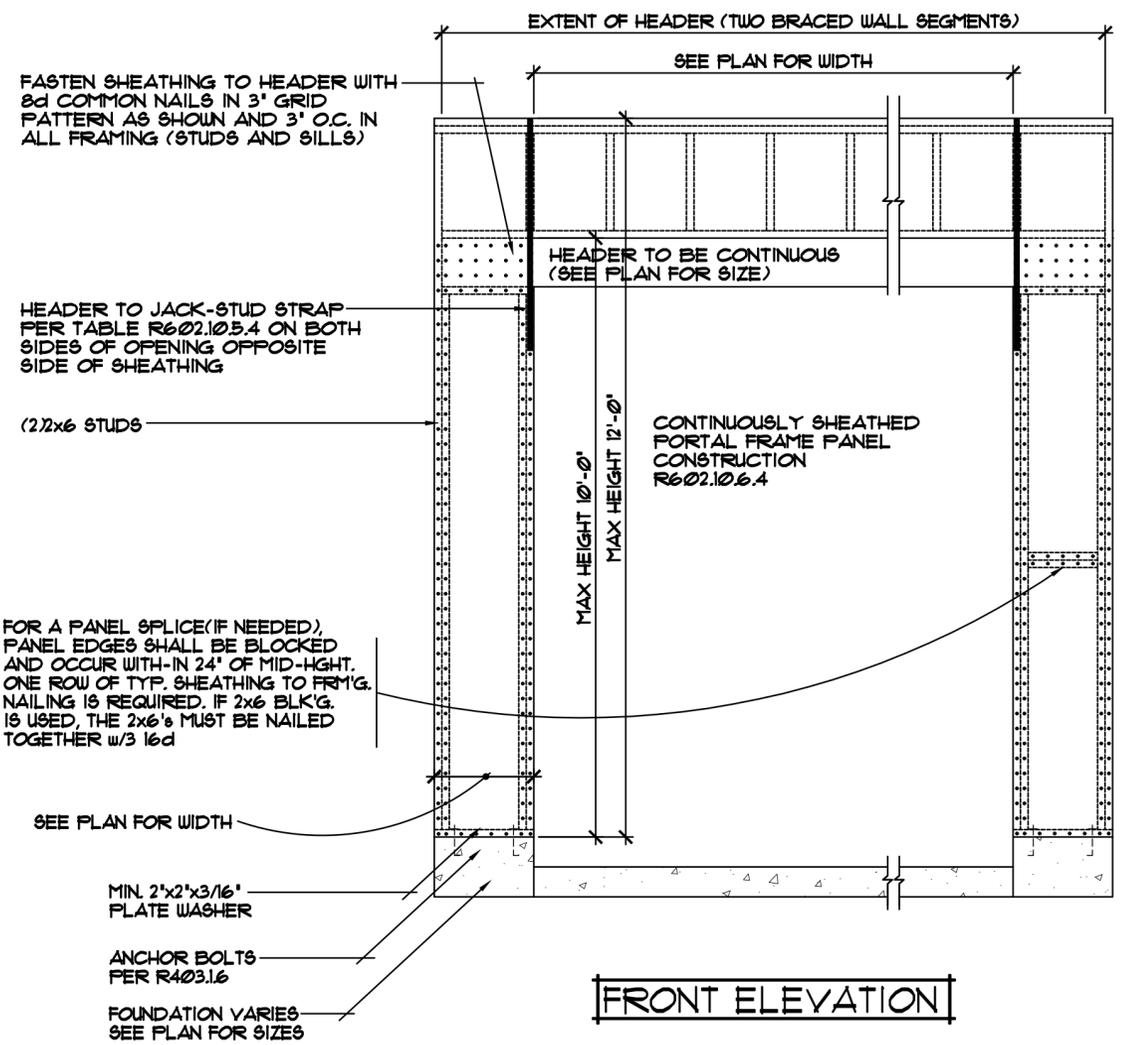


PLAN VIEW



SIDE ELEVATION

CORNER FRAMING DETAIL



FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

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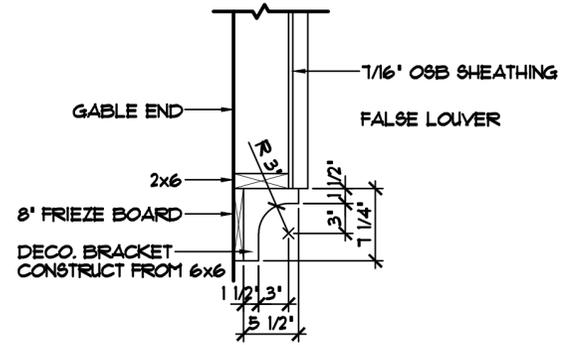
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7
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REVISIONS	BY
07184	J.M.
14165	J.C.
14241	J.C.
15110	R.B.
16356	W.L.C.



BUILT OUT LOUVER DETAIL 1"=1'-0"

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC	
•SLIDER UNIT	U-VALUE = 0.30 SHGC = 0.23 STC = 26
•FIXED UNIT	U-VALUE = 0.29 SHGC = 0.24 STC = 26
•SLIDING PATIO DOOR	U-VALUE = 0.28 SHGC = 0.23 STC = 28

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ SECOND FLR ROOF TRUSSES (TYP.)

NOTE!!!
ADJUST HEEL HEIGHT @
8/12 ROOF w/16' OVERHANG
& 6/12 ROOF w/18' OVERHANG
TO MATCH FASCIA WITH 4/12 ROOF w/24' OVERHANG

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LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW RO.
BASEMENT	8'-2 1/2'	6'-10 1/2'
MAIN LEVEL	9'-1 1/8'	6'-10 1/2'
UPPER LEVEL	8'-1 1/8'	6'-10 1/2'

- JELD-WEN WINDOW SIZES SPEC'D.
- VINYL SIDING/CORNER TRIM
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- BOARD & BATTEN WHERE SHOWN

NOTE!!!
WINDOWS w/ '*' REQUIRE SASH LIMITER (TYP.)

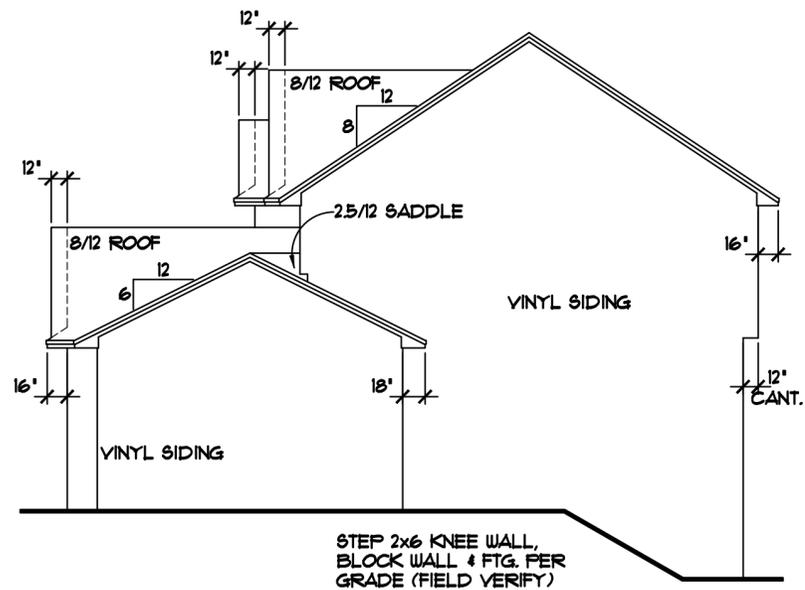
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FRONT ELEVATION 1/4"=1'-0"
966 SQFT. FIRST FLOOR
1141 SQFT. SECOND FLOOR
2113 SQFT. TOTAL

DRAIN R.B.	
CHECKED	XX
DATE:	11/02/2017
SCALE:	AS NOTED
CADD FILE #	11392
SHEET	1 OF 9

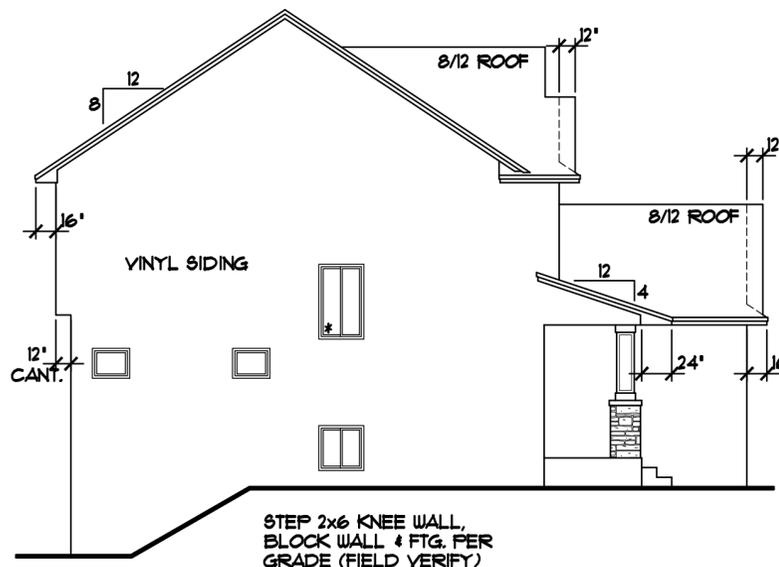


RIGHT ELEVATION 1/8"=1'-0"

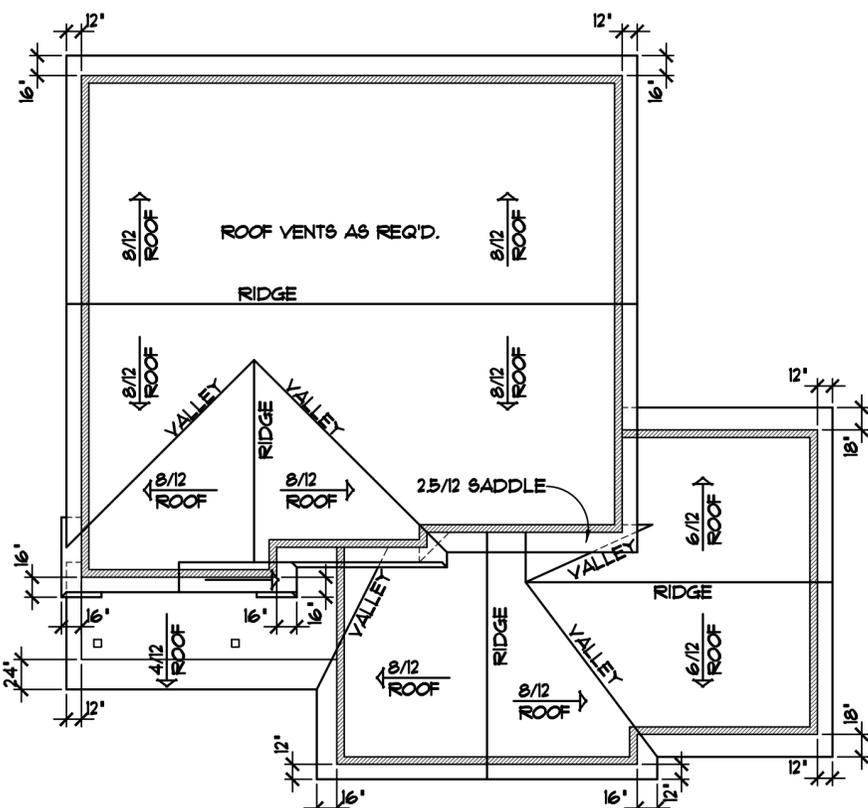
NOTE III
WINDOWS w/ '*' REQUIRE
SASH LIMITER (TYP.)

NOTE III
PROVIDE STANDARD
ENERGY HEEL @ SECOND FLR.
ROOF TRUSSES (TYP.)

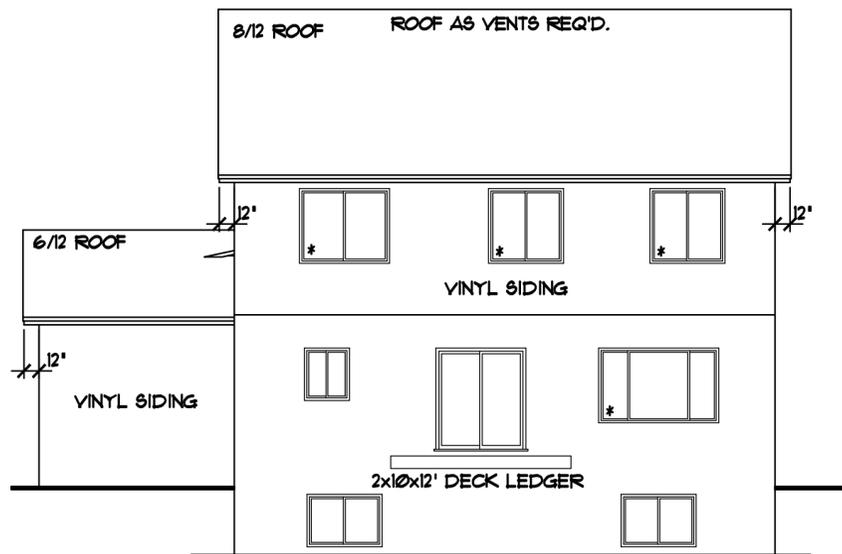
NOTE III
3'-1 1/8" PLATE
HEIGHT @ ENTIRE
FIRST FLOOR (U.N.O.)



LEFT ELEVATION 1/8"=1'-0"



BIRD'S EYE ROOF PLAN 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"

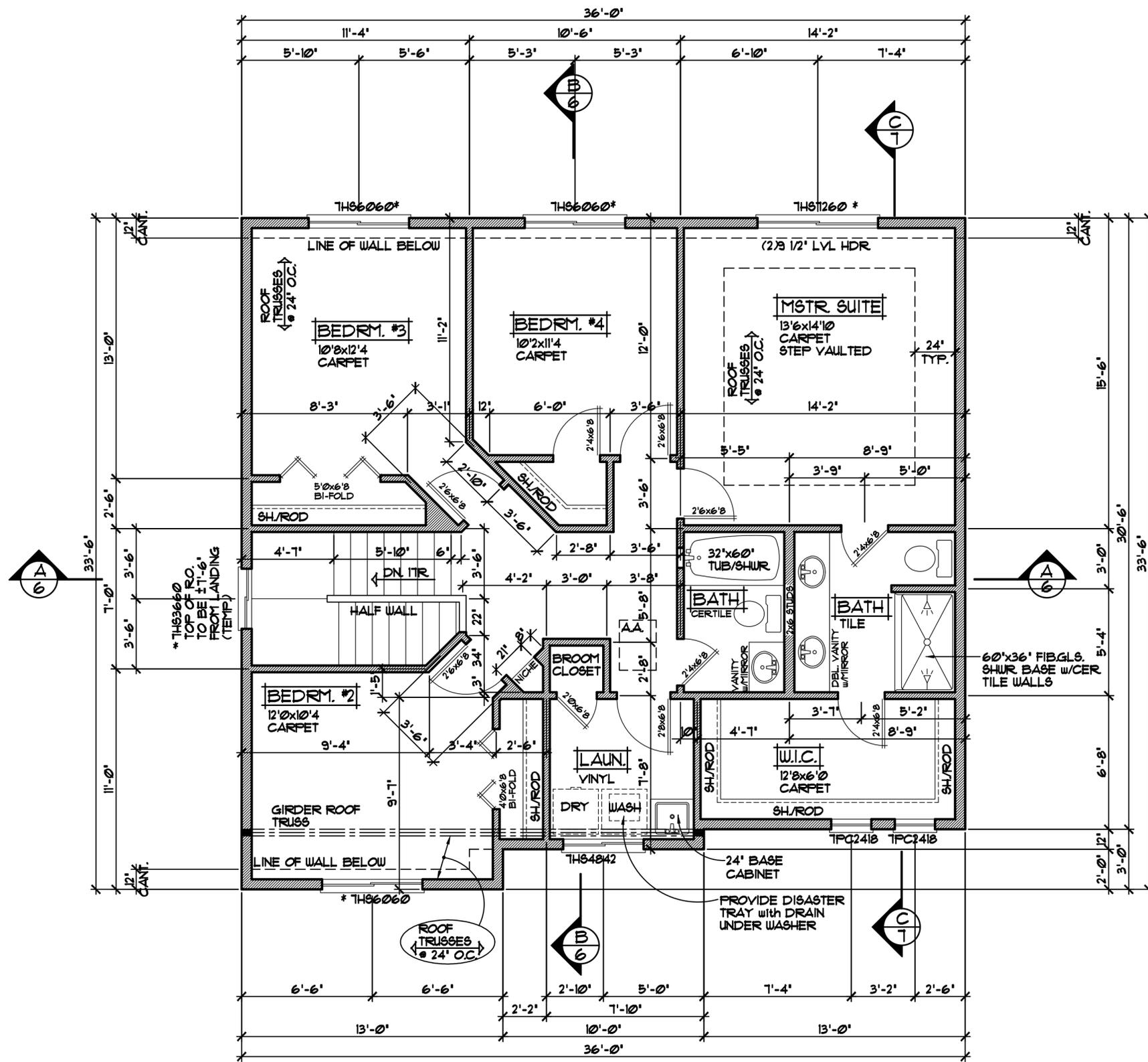
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SECOND FLOOR PLAN 1/4"=1'-0"
1147 SQFT. SECOND FLOOR

WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
• SLIDER UNIT	U-VALUE = 0.30 SHGC = 0.23 STC = 26
• FIXED UNIT	U-VALUE = 0.29 SHGC = 0.24 STC = 26
• SLIDING PATIO DOOR	U-VALUE = 0.28 SHGC = 0.23 STC = 28

FRAMING NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE UPPER LEVEL (UNLESS NOTED OTHERWISE)

DOOR & WINDOW NOTES

- JELDWEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "x" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON UPPER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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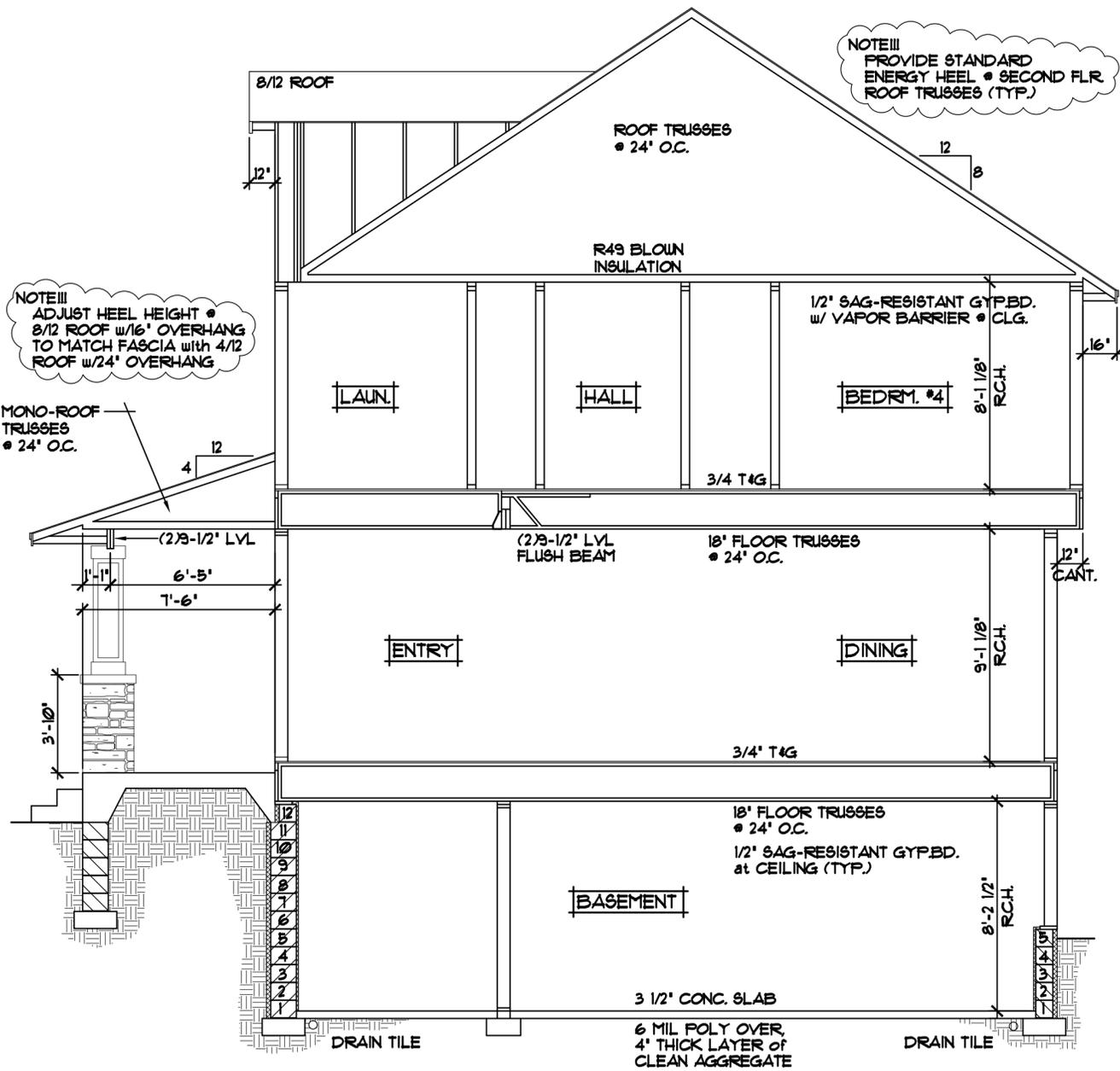
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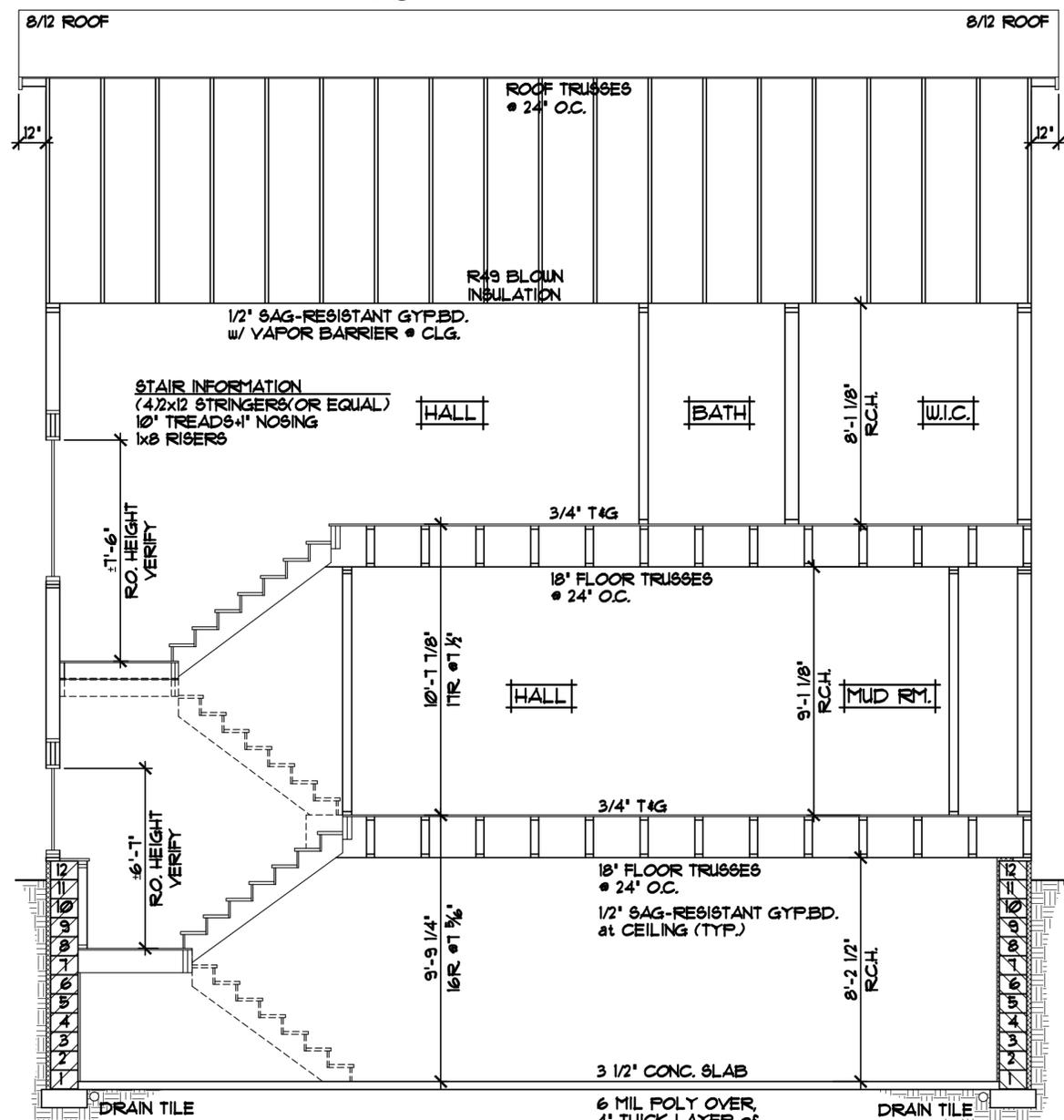


CROSS SECTION 'B' 1/4"=1'-0"

NOTE III
ADJUST HEEL HEIGHT @
8/12 ROOF w/16" OVERHANG
TO MATCH FASCIA with 4/12
ROOF w/24" OVERHANG

NOTE III
PROVIDE STANDARD
ENERGY HEEL @ SECOND FLR.
ROOF TRUSSES (TYP.)

NOTE III
PROVIDE STANDARD
ENERGY HEEL @ SECOND FLR.
ROOF TRUSSES (TYP.)



CROSS SECTION 'A' 1/4"=1'-0"

ALL HEIGHT CALCULATIONS FOR
FOUNDATIONS ARE BASED ON THE
USE OF FULL 8" HIGH BLOCK w/
3/8" JOINTS. IF MODULAR BLOCK
IS USED, CONTRACTORS SHOULD
ADJUST HEIGHTS ACCORDINGLY.

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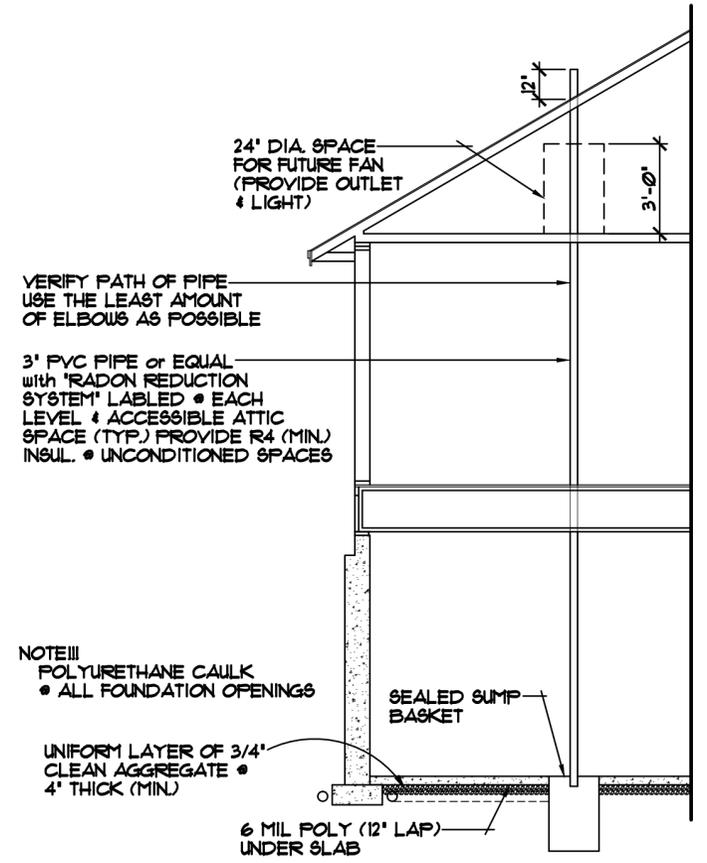
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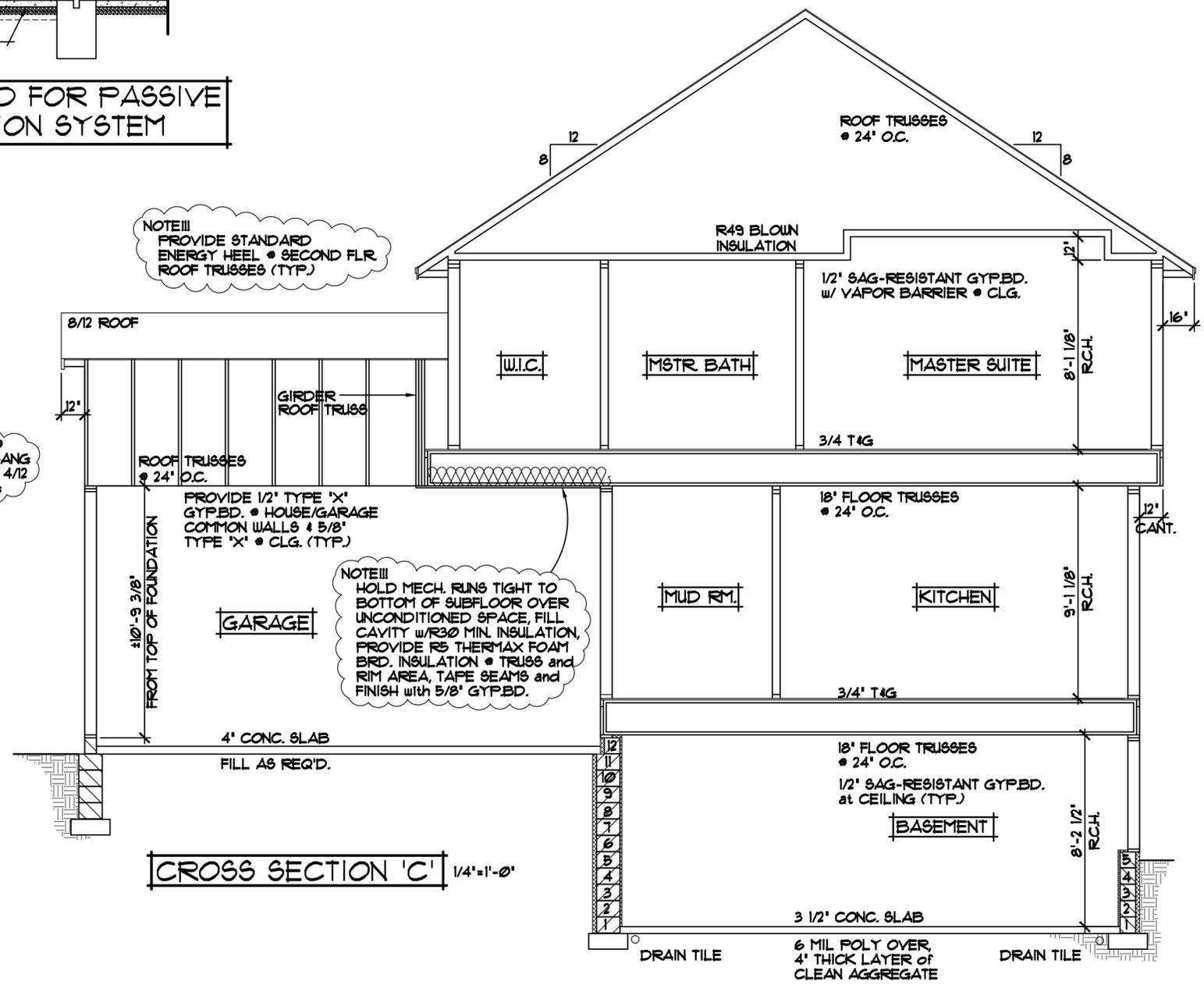


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ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY-SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 7/16" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" FAST EXTERIOR WALL
 - 30 YEAR RAISED TAB SHINGLES

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

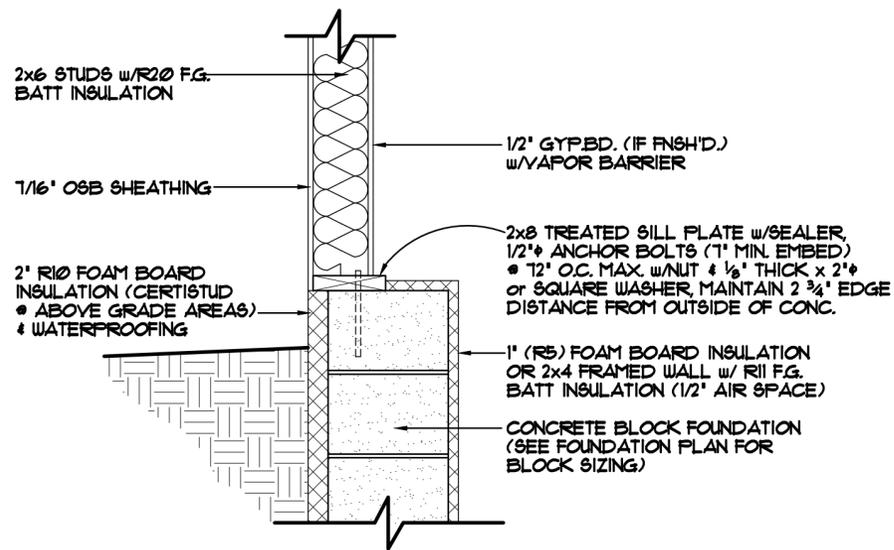
- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

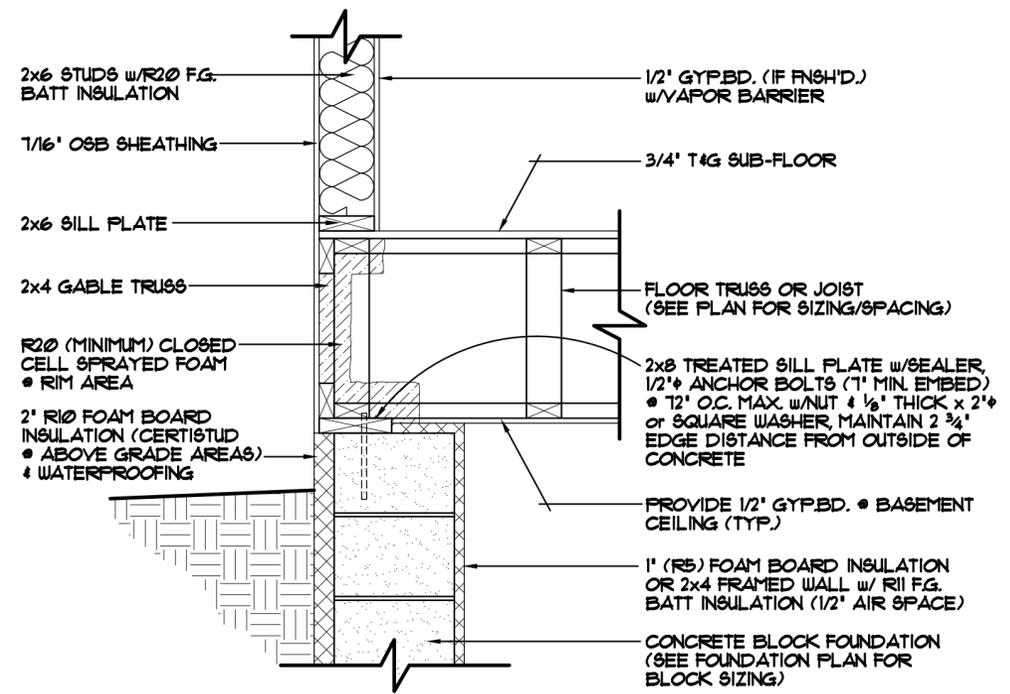
- WALL CONSTRUCTION:**
- SIMILAR TO ABOVE

- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER
 - 1/2" ANCHOR BOLTS • 12" O.C.

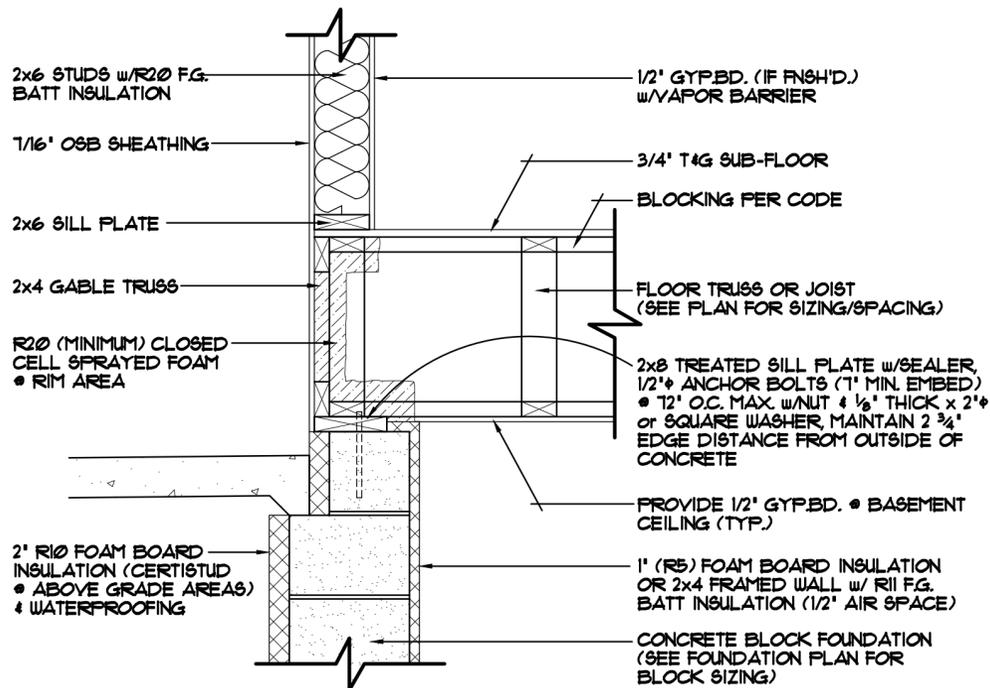
- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
 - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION



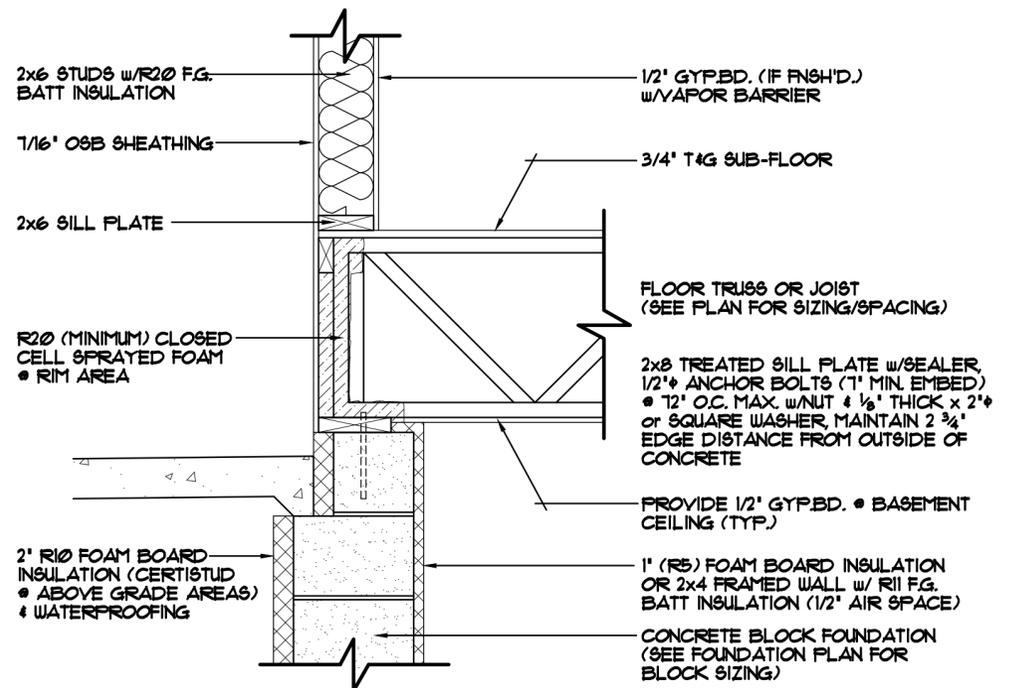
FOUNDATION/RIM AREA DETAIL "A-1" 1'-1'-0"
 STANDARD DAYLIGHT SILL/FOUNDATION AREA
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-2" 1'-1'-0"
 STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-3" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-4" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2"

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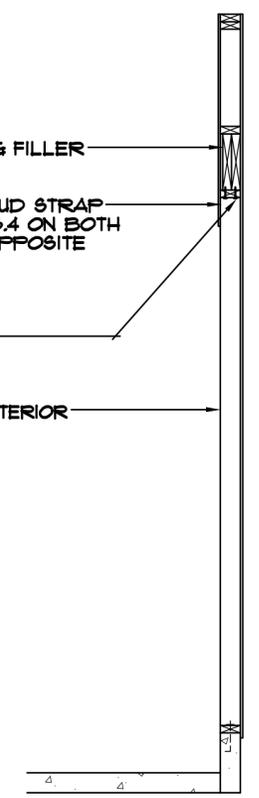
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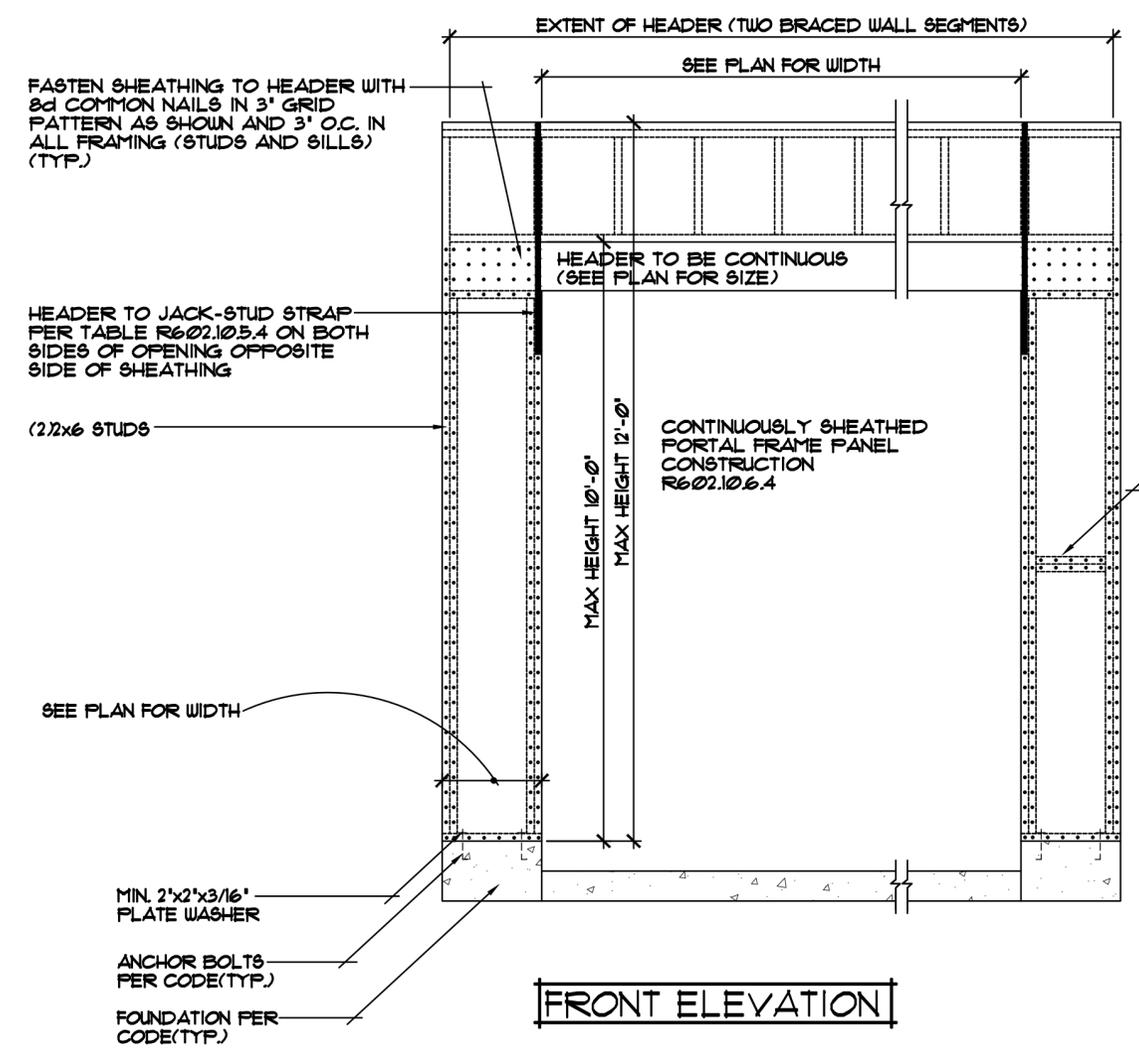
BLOCKING/SHEATHING FILLER
 IF NEEDED (TYP.)

HEADER TO JACK-STUD STRAP
 PER TABLE R602.10.5.4 ON BOTH
 SIDES OF OPENING OPPOSITE
 SIDE OF SHEATHING

16d SINKER NAILS IN
 2 ROWS @ 3' O.C.

(2)2x6 STUDS w/OBS EXTERIOR
 SHEATHING

SIDE ELEVATION



FASTEN SHEATHING TO HEADER WITH
 8d COMMON NAILS IN 3' GRID
 PATTERN AS SHOWN AND 3' O.C. IN
 ALL FRAMING (STUDS AND SILLS)
 (TYP.)

HEADER TO JACK-STUD STRAP
 PER TABLE R602.10.5.4 ON BOTH
 SIDES OF OPENING OPPOSITE
 SIDE OF SHEATHING

(2)2x6 STUDS

EXTENT OF HEADER (TWO BRACED WALL SEGMENTS)

SEE PLAN FOR WIDTH

HEADER TO BE CONTINUOUS
 (SEE PLAN FOR SIZE)

MAX HEIGHT 10'-0"
 MAX HEIGHT 12'-0"

CONTINUOUSLY SHEATHED
 PORTAL FRAME PANEL
 CONSTRUCTION
 R602.10.6.4

SEE PLAN FOR WIDTH

MIN. 2"x2"x3/16"
 PLATE WASHER

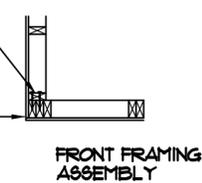
ANCHOR BOLTS
 PER CODE(TYP.)

FOUNDATION PER
 CODE(TYP.)

FOR A PANEL SPLICE(IF NEEDED), PANEL
 EDGES SHALL BE BLOCKED, AND OCCUR
 WITH-IN 24' OF MID-HEIGHT. ONE ROW OF
 TYP. SHEATHING-TO-FRAMING NAILING IS
 REQUIRED. IF 2x6 BLOCKING IS USED, THE
 2x6's MUST BE NAILED TOGETHER w/3 16d

16d NAILS
 @ 24' O/C

8d NAILS @ 6' O/C
 IN ALL PANEL EDGES,
 NOT PART OF FRONT
 FRAMING ASSEMBLY



CORNER FRAMING DETAIL

FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

REVISIONS	BY
14173	J.C.
14242	J.C.
17388	L.V.

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC
• SINGLE HUNG UNIT U-VALUE = 0.31 SHGC = 0.35 STC = 21
• SLIDER UNIT U-VALUE = 0.31 SHGC = 0.35 STC = 26
• FIXED UNIT U-VALUE = 0.30 SHGC = 0.31 STC = 26
• DOUBLE HUNG UNIT U-VALUE = 0.32 SHGC = 0.32 STC = 28
• SLIDING PATIO DOOR U-VALUE = 0.29 SHGC = 0.35 STC = 28

JELD WEN BUILDER SERIES VINYL SLIDING WINDOWS with LOW-E ARGON

NOTE III
PROVIDE PAN FLASHING AT ALL WINDOWS. GENERAL CONTRACTOR TO PROVIDE FLASHING METHOD.

NOTE III
PROVIDE 12" HEEL @ 8/12 ROOF TRUSSES UNLESS NOTED OTHERWISE

NOTE III
PROVIDE STANDARD ENERGY HEEL @ 1/12 ROOF TRUSSES (TYP.)

NOTE III
WINDOWS w/ " * " REQUIRE SASH LIMITER (TYP.)

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW R.O.
BASEMENT	8'-1 1/8"	6'-10 1/2"
MAIN LEVEL	8'-1 1/8"	6'-10 1/2"

- JELD WEN VINYL WINDOW SIZES SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- VINYL SIDING/CORNER TRIM
- STONE VENEER WHERE SHOWN
- BOARD & BATTEN WHERE SHOWN
- 4' DOOR & CORNER TRIM
- WINDOW GRIDS WHERE SHOWN



FRONT ELEVATION 1/4" = 1'-0"
1317 SQFT. MAIN LEVEL

THE: **RYDER MODEL**

REVISIONS L.V. 10/24/2019

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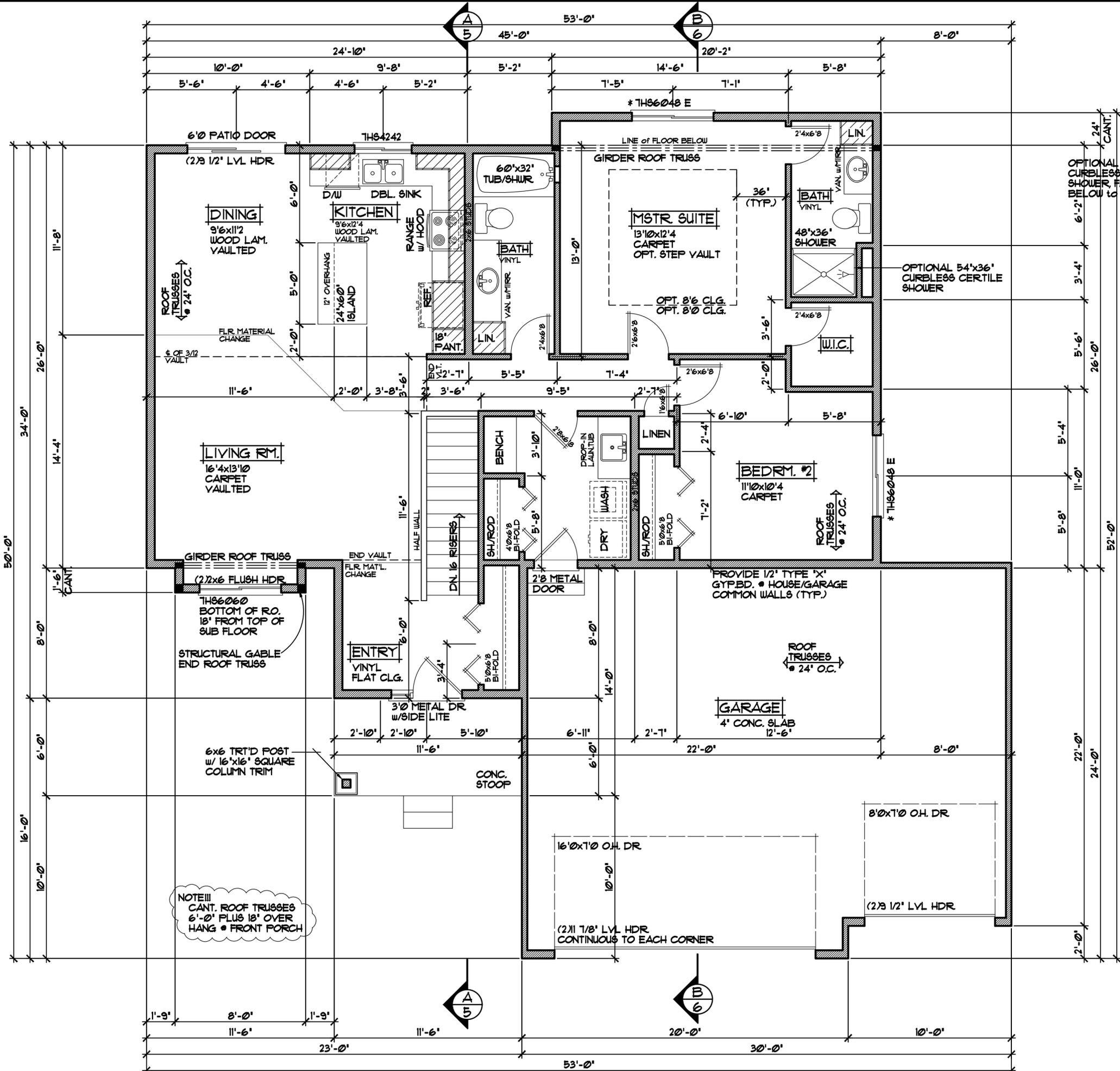
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JP BROOKS

DRAWN	L.V.
CHECKED	XX
DATE:	10/16/2019
SCALE:	A6 NOTED
CADD FILE #	19294

SHEET **1** OF 7



NOTE III
CANT. ROOF TRUSSES
6'-0" PLUS 18" OVER
HANG • FRONT PORCH

MAIN LEVEL FLOOR PLAN 1/4" = 1'-0"
UPPER LAUNDRY ROOM
1317 SQFT. MAIN LEVEL

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BY:N.F.
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BY:N.F.

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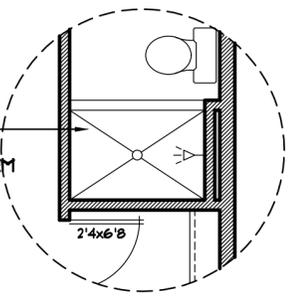
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FRAMING & CONST. NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • GARAGE FROM FIRST FLOOR SUB FLOOR
- FRAME GARAGE WALLS w/ 2x4 • 16' O.C. (TYP.)
- FRAME FRONT OF GARAGE WALLS w/ 2x6 • 16' O.C. (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with '*' REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER OR BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)



OPTIONAL 54"x36" CURBLESS CERITILE SHOWER, FLOOR SYSTEM BELOW TO RECESS 4"

OPTIONAL 54"x36" CURBLESS CERITILE SHOWER

PROVIDE 1/2" TYPE 'X' GYP.BD. • HOUSE/GARAGE COMMON WALLS (TYP.)

6'0" PATIO DOOR
(2) 3/4" LVL HDR

DINING
9'6"x11'2"
WOOD LAM.
VAULTED

KITCHEN
9'6"x12'4"
WOOD LAM.
VAULTED

MSTR SUITE
13'10"x12'4"
CARPET
OPT. STEP VAULT

BEDRM. #2
11'10"x10'4"
CARPET

LIVING RM.
16'4"x13'10"
CARPET
VAULTED

ENTRY
VINYL
FLAT CLG.

GARAGE
4" CONC. SLAB
12'-6"

6'0"x3'2"
TUB/SHWR

BATH
VINYL

BENCH

WASH

DIRY

6x6 TRT'D POST
w/ 16"x16" SQUARE
COLUMN TRIM

ROOF TRUSSES
@ 24" O.C.

ROOF TRUSSES
@ 24" O.C.

6'0" PATIO DOOR
(2) 3/4" LVL HDR

DW DBL. SINK

RANGE w/ HOOD

BATH

GIRDER ROOF TRUSS

BATH

BENCH

WASH

DIRY

6x6 TRT'D POST
w/ 16"x16" SQUARE
COLUMN TRIM

ROOF TRUSSES
@ 24" O.C.

ROOF TRUSSES
@ 24" O.C.

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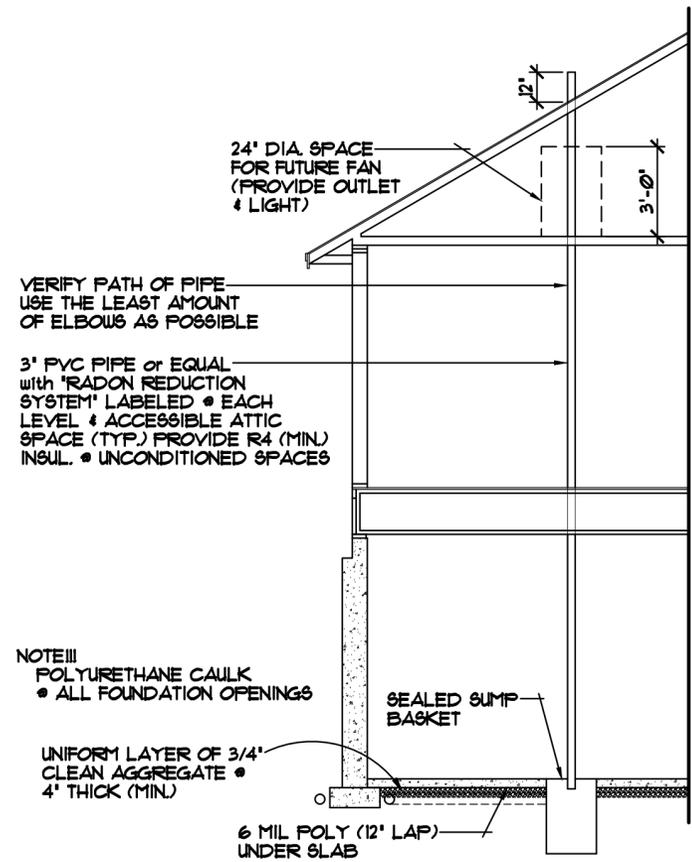
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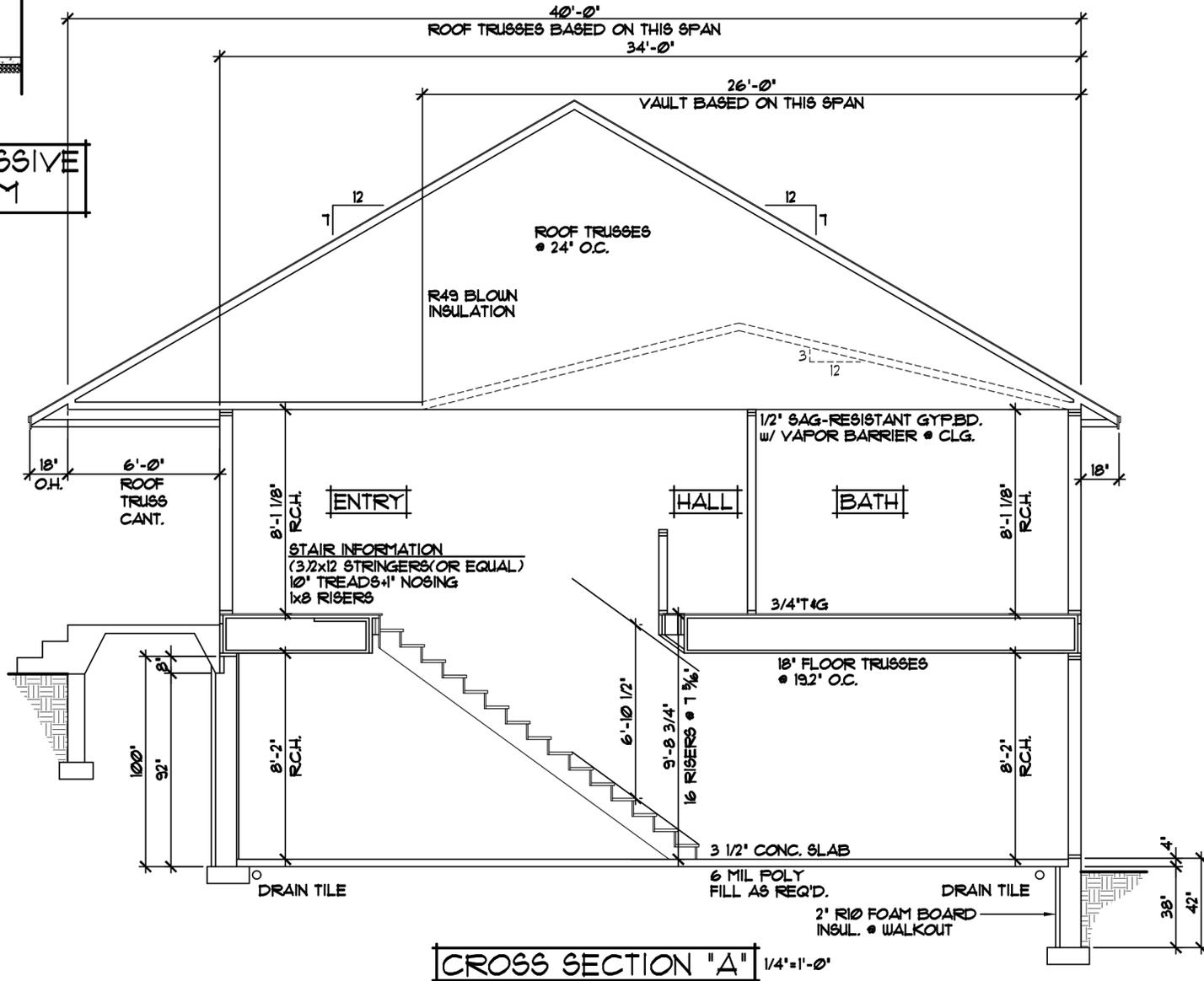
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NOTE III PROVIDE 12" HEEL • 8/12 ROOF TRUSSES UNLESS NOTED OTHERWISE

NOTE III PROVIDE STANDARD ENERGY HEEL • 1/12 ROOF TRUSSES (TYP.)

ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" ROOF SHEATHING
 - 15" ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
 - 30 YEAR RAISED TAB SHINGLES
- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

- WALL CONSTRUCTION:**
- TYVEK HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE • WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS • 48" O.C.

- FOUNDATION CONSTRUCTION:**
- CONC. BLOCK WALL FOUNDATION (SEE FND. PLAN FOR COURSING)

CROSS SECTION "A" 1/4" = 1'-0"

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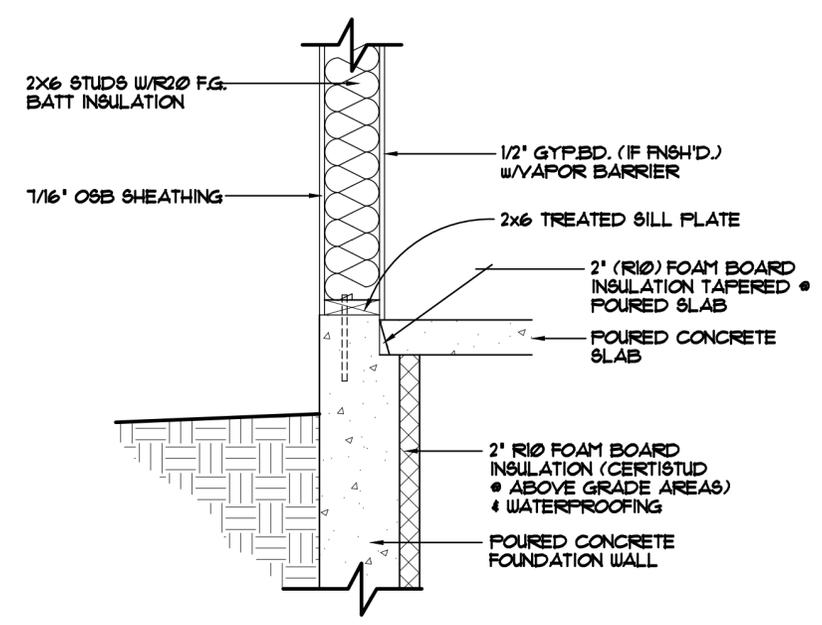
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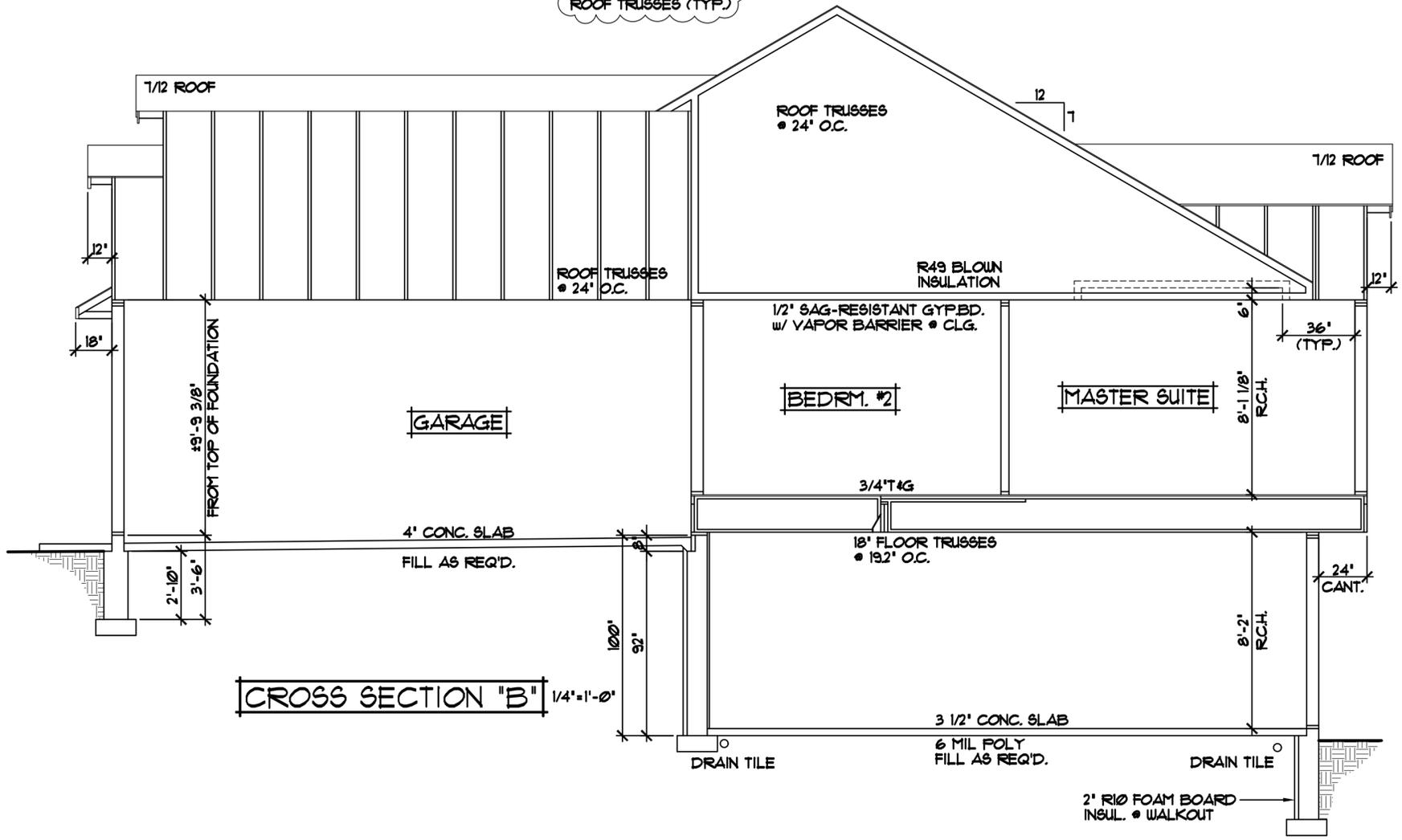
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FOUNDATION/RIM AREA DETAIL "A-1" 1/4"=1'-0"
STANDARD WALKOUT SILL/FOUNDATION AREA
FOUNDATION NOT HELD IN

NOTE!!!
PROVIDE 12' HEEL
• 8/12 ROOF TRUSSES
UNLESS NOTED OTHERWISE

NOTE!!!
PROVIDE STANDARD ENERGY HEEL • 7/12 ROOF TRUSSES (TYP.)



CROSS SECTION "B" 1/4"=1'-0"

CROSS SECTION "B" 1/4"=1'-0"

ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY-SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" ROOF SHEATHING
- 15° ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24' PAST EXTERIOR WALL
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SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

SILL CONSTRUCTION:

- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
- 1/2" ANCHOR BOLTS • 48" O.C.

FOUNDATION CONSTRUCTION:

- CONC. BLOCK WALL FOUNDATION (SEE FND. PLAN FOR COURSING)

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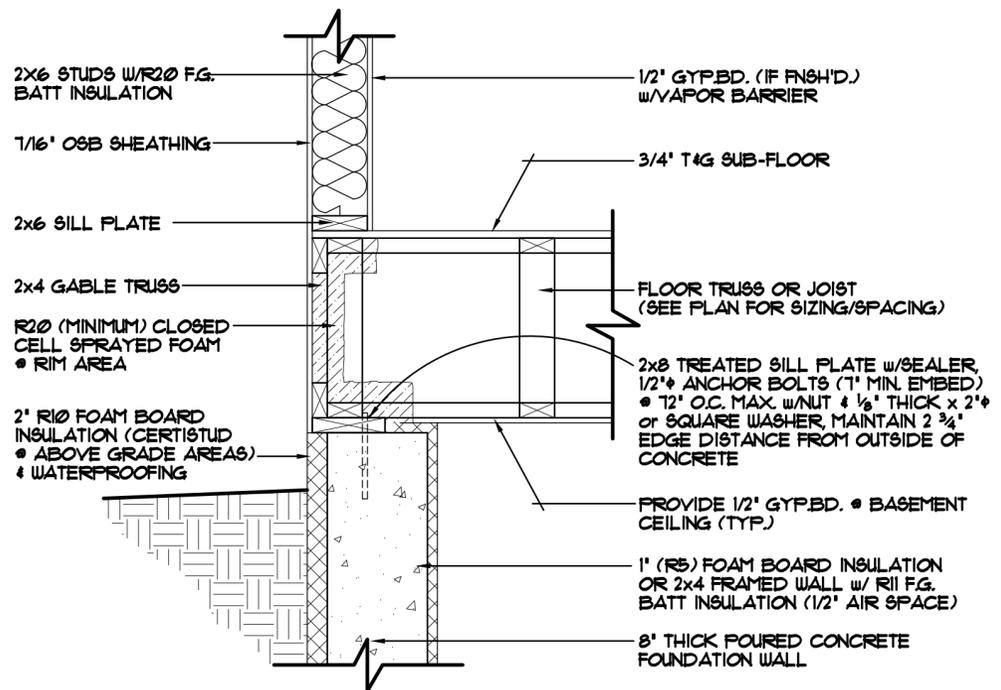
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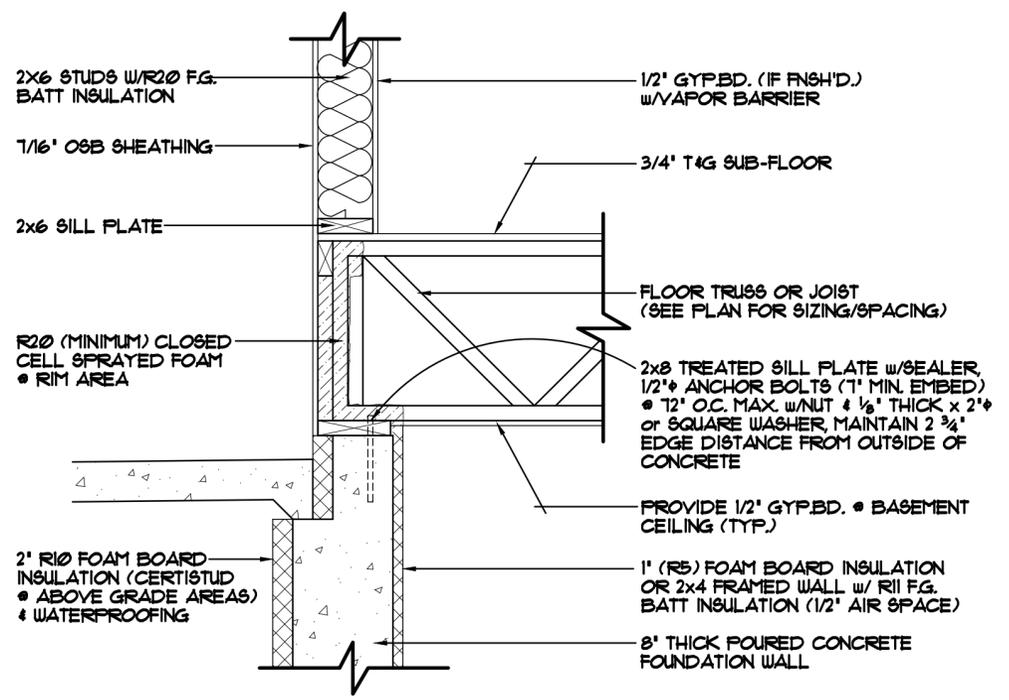


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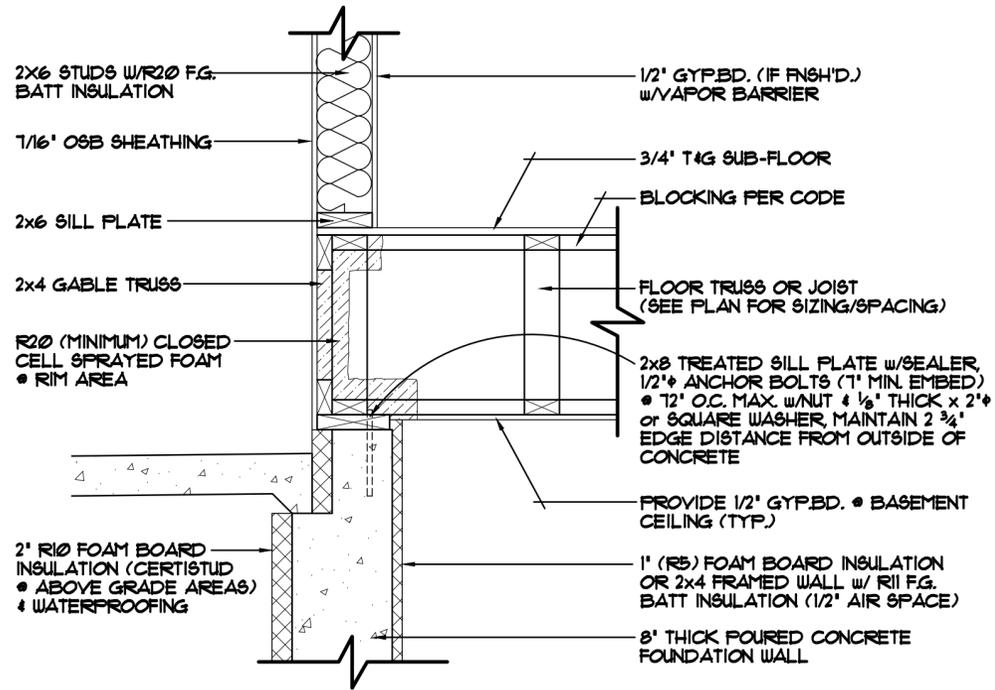
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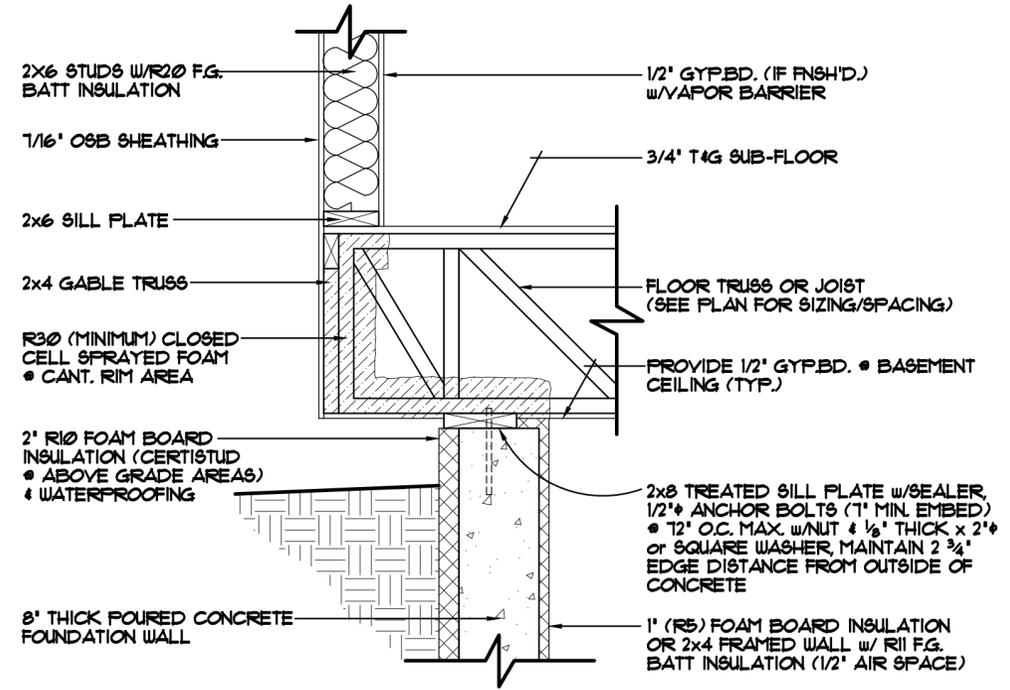
FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"
 STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2'

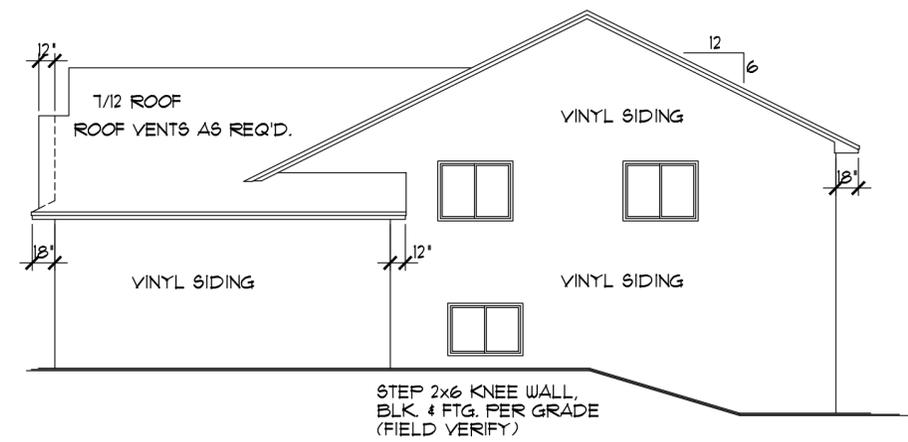


FOUNDATION/RIM AREA DETAIL "A-4" 1"=1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



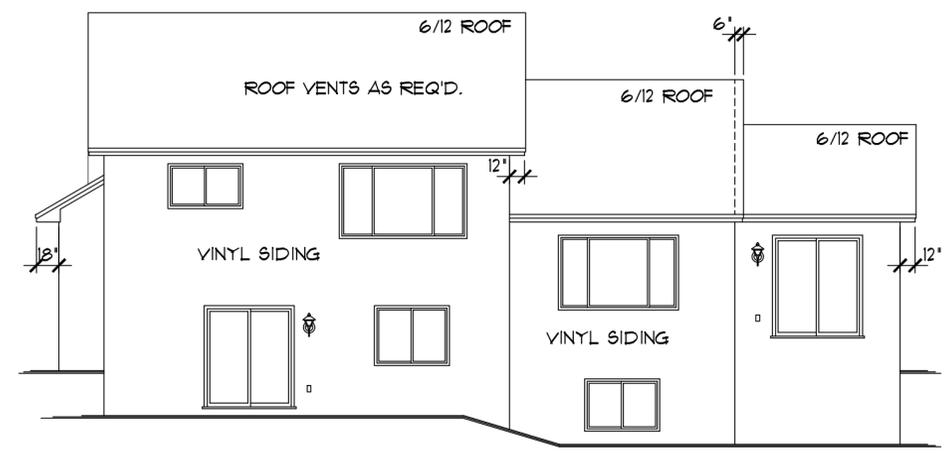
FOUNDATION/RIM AREA DETAIL "A-5" 1"=1'-0"
 CANTILEVERED TRUSSES/JOISTS
 FOUNDATION HELD IN 2'

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16320	WLC
16426	L.V.
17429	L.V.
18031	L.V.
18353	L.V.



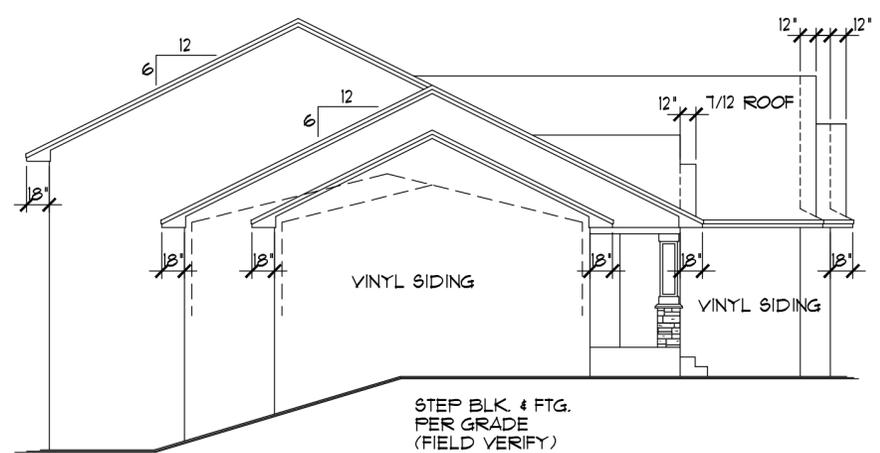
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



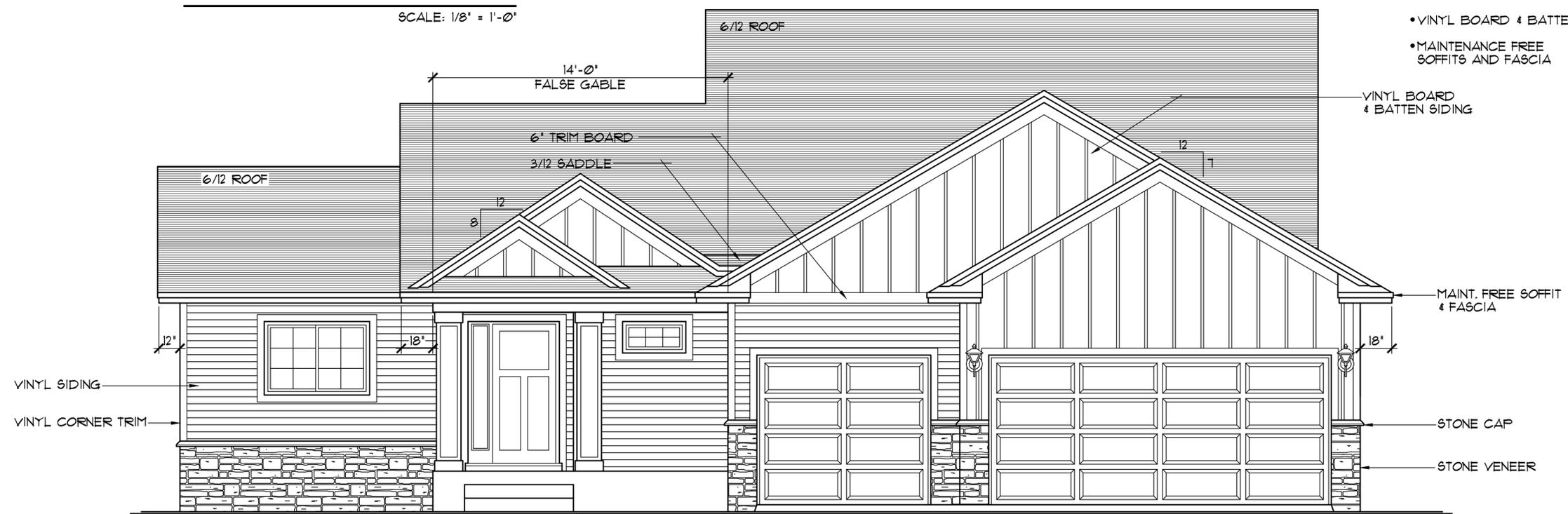
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE!!!
ADJUST HEEL HEIGHT @ ENTRY LEVEL
& GARAGE ROOF TRUSSES TO MATCH
SAME PLANE AS BEDROOM LEVEL
ROOF TRUSSES (±12' 7/16" HEEL HEIGHT @
7/12, ±13' 15/16" HEEL HEIGHT @ 8/12 ROOF)

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)

- JELD WEN WINDOWS SPEC'D.
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- VINYL SHAKE SIDING
- VINYL BOARD & BATTEN SIDING
- MAINTENANCE FREE SOFFITS AND FASCIA



FRONT ELEVATION "A" 1/4" = 1'-0"

1452 SQFT. MAIN LEVEL
712 SQFT. FINISHED ON 3RD LEVEL
2164 SQFT. TOTAL

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CHECKED	X.X.
DATE:	09/05/2019
SCALE:	AS NOTED
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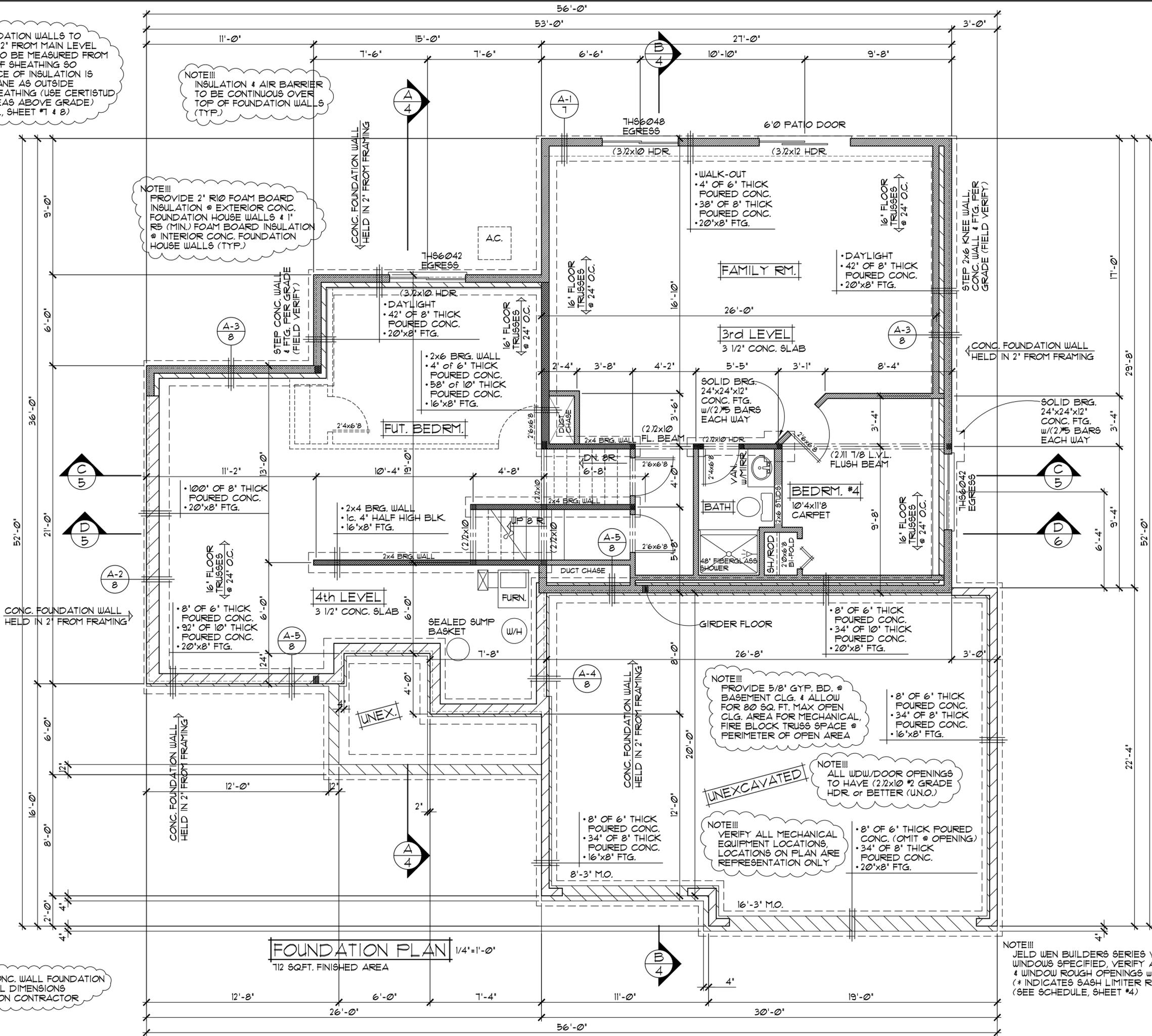
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NOTE!!!
 CONC. FOUNDATION WALLS TO BE HELD IN 2" FROM MAIN LEVEL FRAMING & TO BE MEASURED FROM EXTERIOR OF SHEATHING SO OUTSIDE FACE OF INSULATION IS IN SAME PLANE AS OUTSIDE FACE OF SHEATHING (USE CERTISTUD INSUL. @ AREAS ABOVE GRADE) (SEE DETAIL, SHEET #1 & 8)

NOTE!!!
 INSULATION & AIR BARRIER TO BE CONTINUOUS OVER TOP OF FOUNDATION WALLS (TYP.)

NOTE!!!
 PROVIDE 2" R10 FOAM BOARD INSULATION @ EXTERIOR CONC. FOUNDATION HOUSE WALLS & 1" R5 (MIN.) FOAM BOARD INSULATION @ INTERIOR CONC. FOUNDATION HOUSE WALLS (TYP.)

NOTE!!!
 POURED CONC. WALL FOUNDATION VERIFY WALL DIMENSIONS w/FOUNDATION CONTRACTOR



FOUNDATION PLAN 1/4"=1'-0"
 712 SQ.FT. FINISHED AREA

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NOTE!!!
 JELD WEN BUILDERS SERIES VINYL WINDOWS SPECIFIED, VERIFY ALL DOOR & WINDOW ROUGH OPENINGS w/SUPPLIER (* INDICATES SASH LIMITER REQUIRED) (SEE SCHEDULE, SHEET #4)

JELD WEN

WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

• SINGLE HUNG UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 27

• SLIDER UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 26

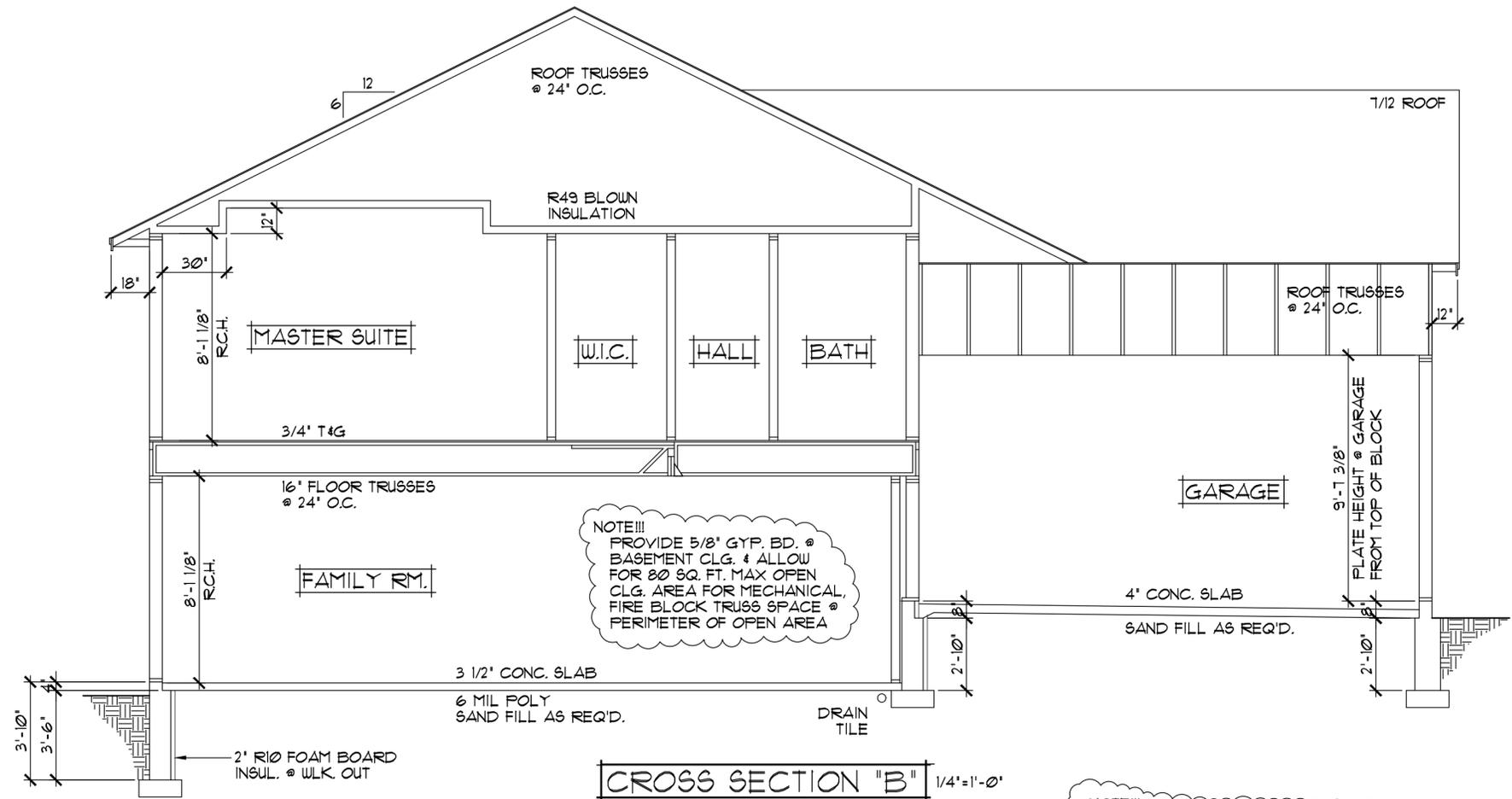
• FIXED UNIT
U-VALUE = 0.30
SHGC = 0.31
STC = 26

• DOUBLE HUNG UNIT
U-VALUE = 0.32
SHGC = 0.32
STC = 28

• SLIDING PATIO DOOR
U-VALUE = 0.29
SHGC = 0.35
STC = 28

JELD WEN BUILDER SERIES VINYL SLIDING WINDOWS with LOW-E ARGON

NOTE!!!
PROVIDE PAN FLASHING AT ALL WINDOWS.
GENERAL CONTRACTOR TO PROVIDE FLASHING METHOD.



CROSS SECTION "B" 1/4"=1'-0"

NOTE!!!
PROVIDE 5/8" GYP. BD. @ BASEMENT CLG. & ALLOW FOR 80 SQ. FT. MAX OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE @ PERIMETER OF OPEN AREA

NOTE!!!
ADJUST HEEL HEIGHT @ ENTRY LEVEL & GARAGE ROOF TRUSSES TO MATCH SAME PLANE AS BEDROOM LEVEL ROOF TRUSSES (±12 7/16" HEEL HEIGHT @ 7/12, ±13 15/16" HEEL HEIGHT @ 8/12 ROOF)

- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 1/2" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" FAST EXTERIOR WALL
 - ASPHALT SHINGLES

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

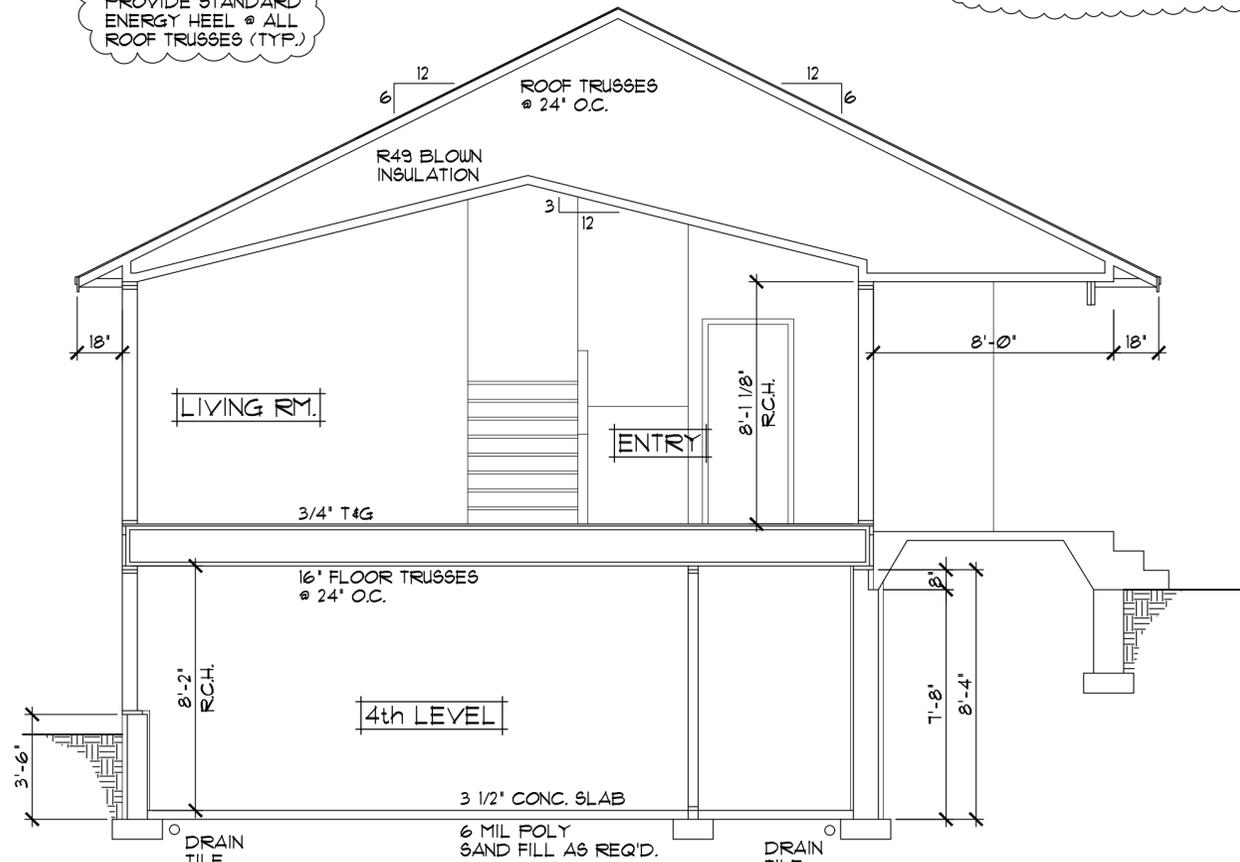
- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS @ 48" O.C.

- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
 - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION



CROSS SECTION "A" 1/4"=1'-0"

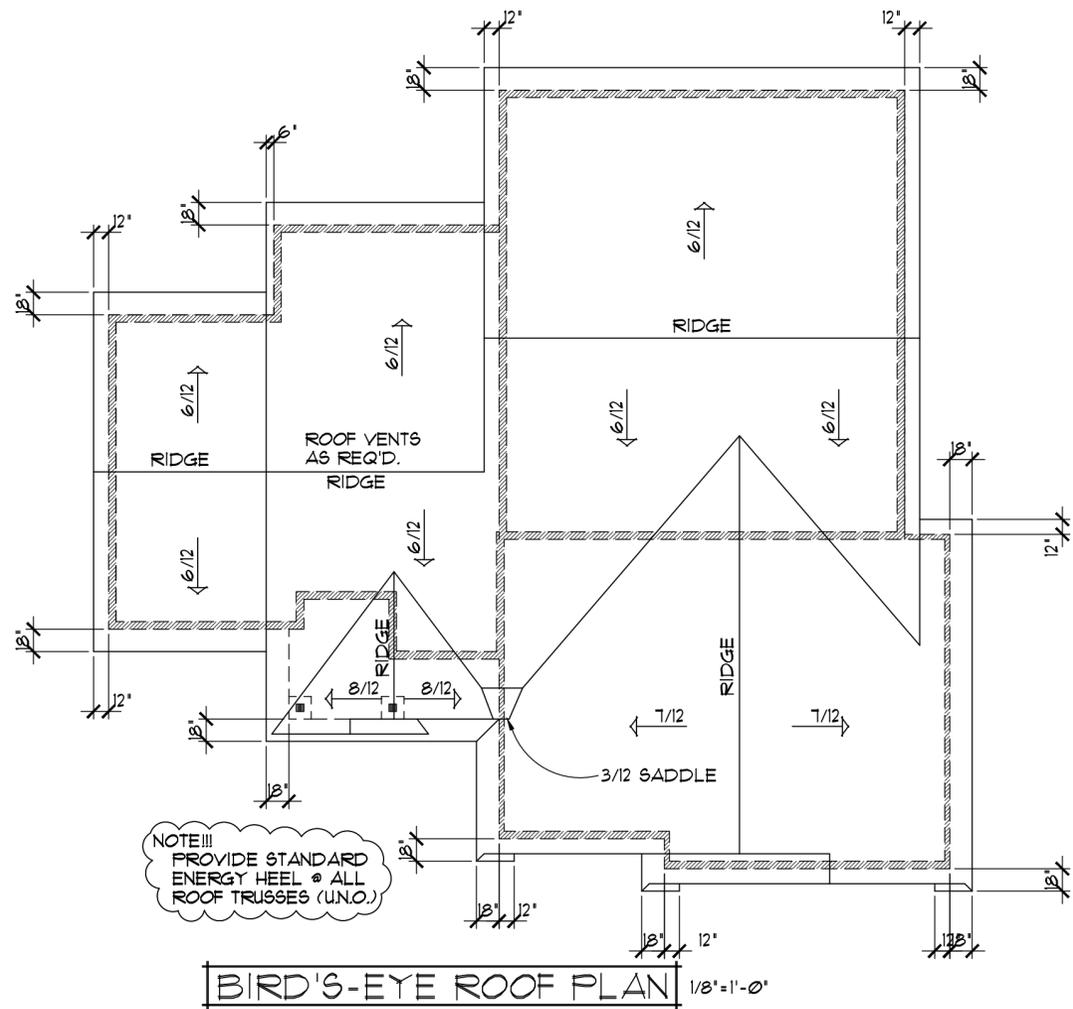
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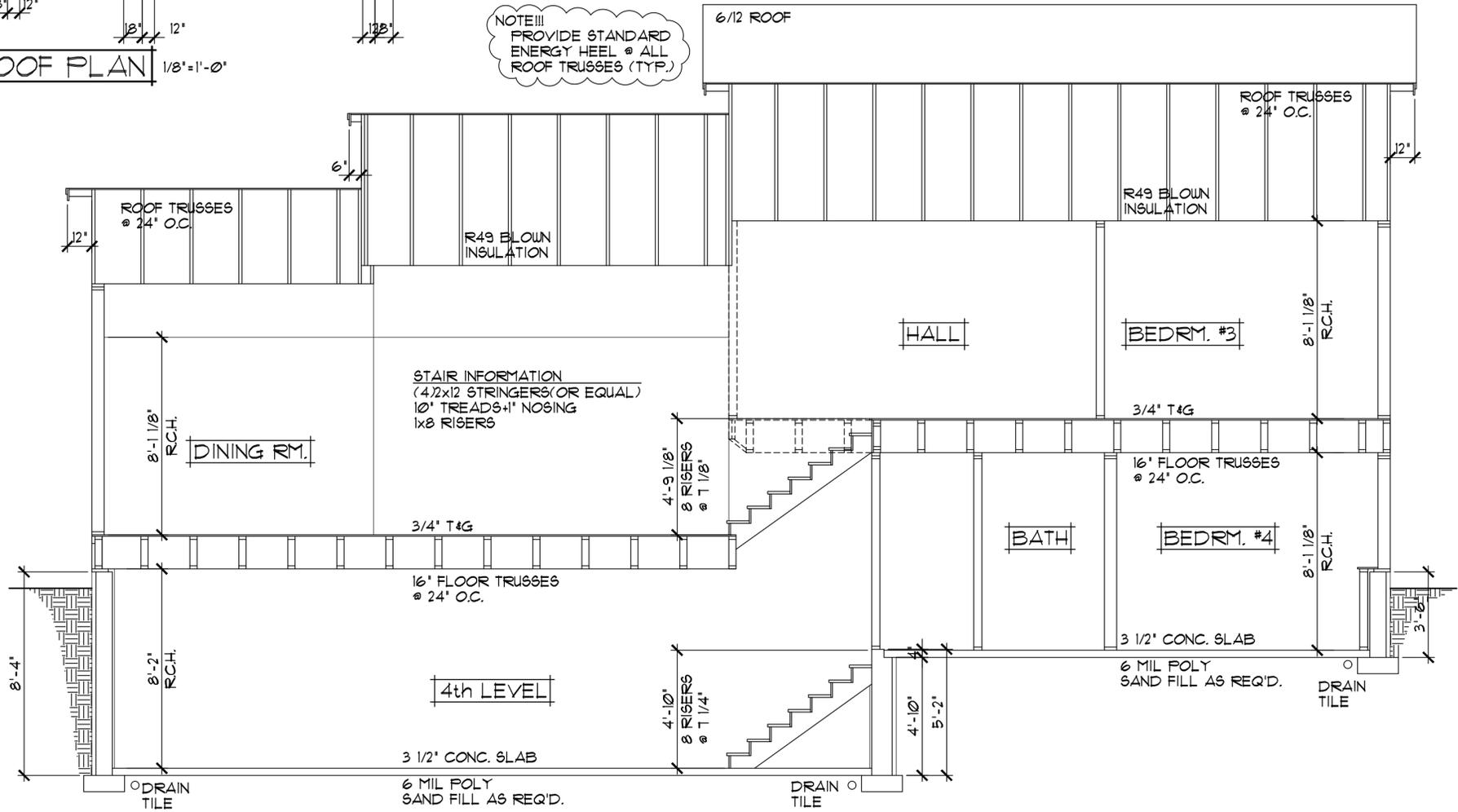


NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (U.N.O.)

BIRD'S-EYE ROOF PLAN 1/8"=1'-0"

NOTE!!!
ADJUST HEEL HEIGHT @ ENTRY LEVEL & GARAGE ROOF TRUSSES TO MATCH SAME PLANE AS BEDROOM LEVEL ROOF TRUSSES (±12 7/16" HEEL HEIGHT @ 7/12, ±13 15/16" HEEL HEIGHT @ 8/12 ROOF)

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)



CROSS SECTION "C" 1/4"=1'-0"

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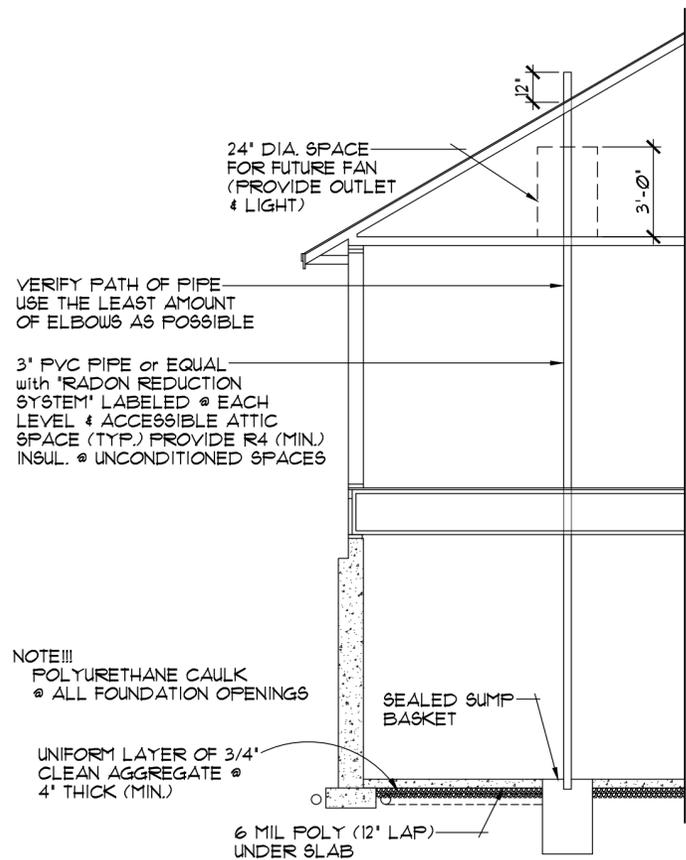
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JP BROOKS

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8

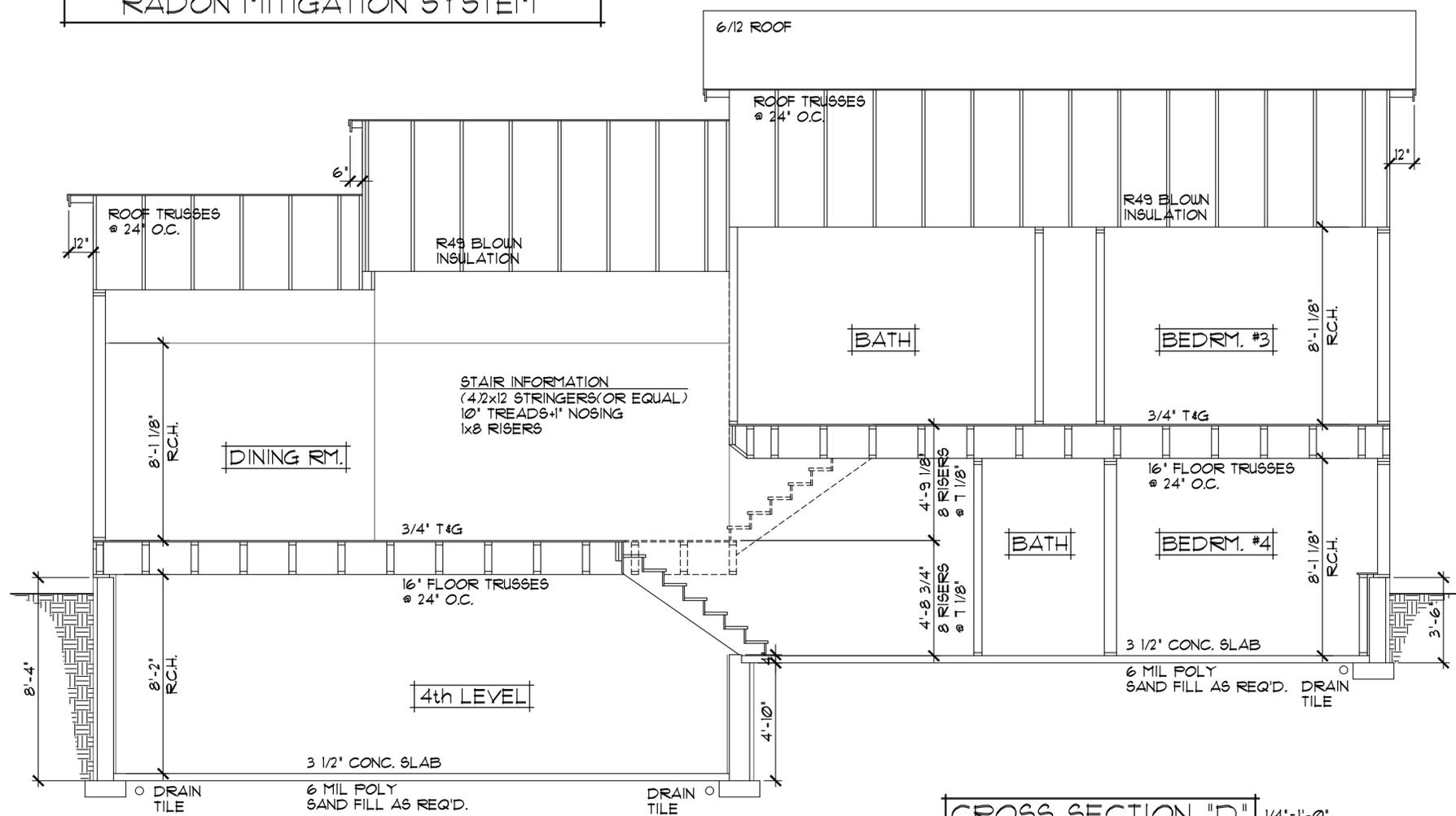
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ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM

NOTE!!!
ADJUST HEEL HEIGHT @ ENTRY LEVEL & GARAGE ROOF TRUSSES TO MATCH SAME PLANE AS BEDROOM LEVEL ROOF TRUSSES (+12 7/16" HEEL HEIGHT @ 7/12, +13 15/16" HEEL HEIGHT @ 8/12 ROOF)

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)



- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 1/2" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
 - ASPHALT SHINGLES,

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

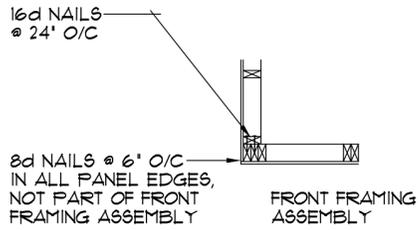
- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAVED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 7/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

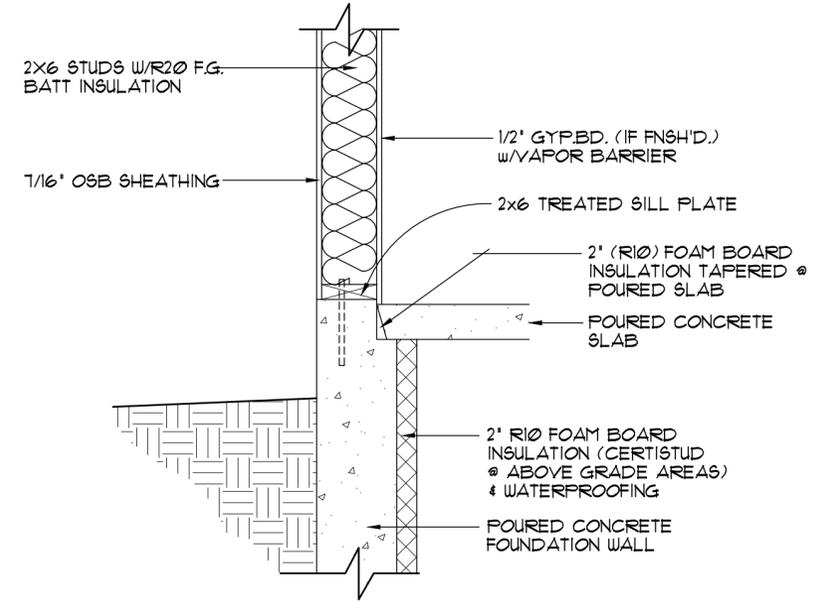
- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS @ 48" O.C.

- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
 - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

CROSS SECTION "D" 1/4"=1'-0"

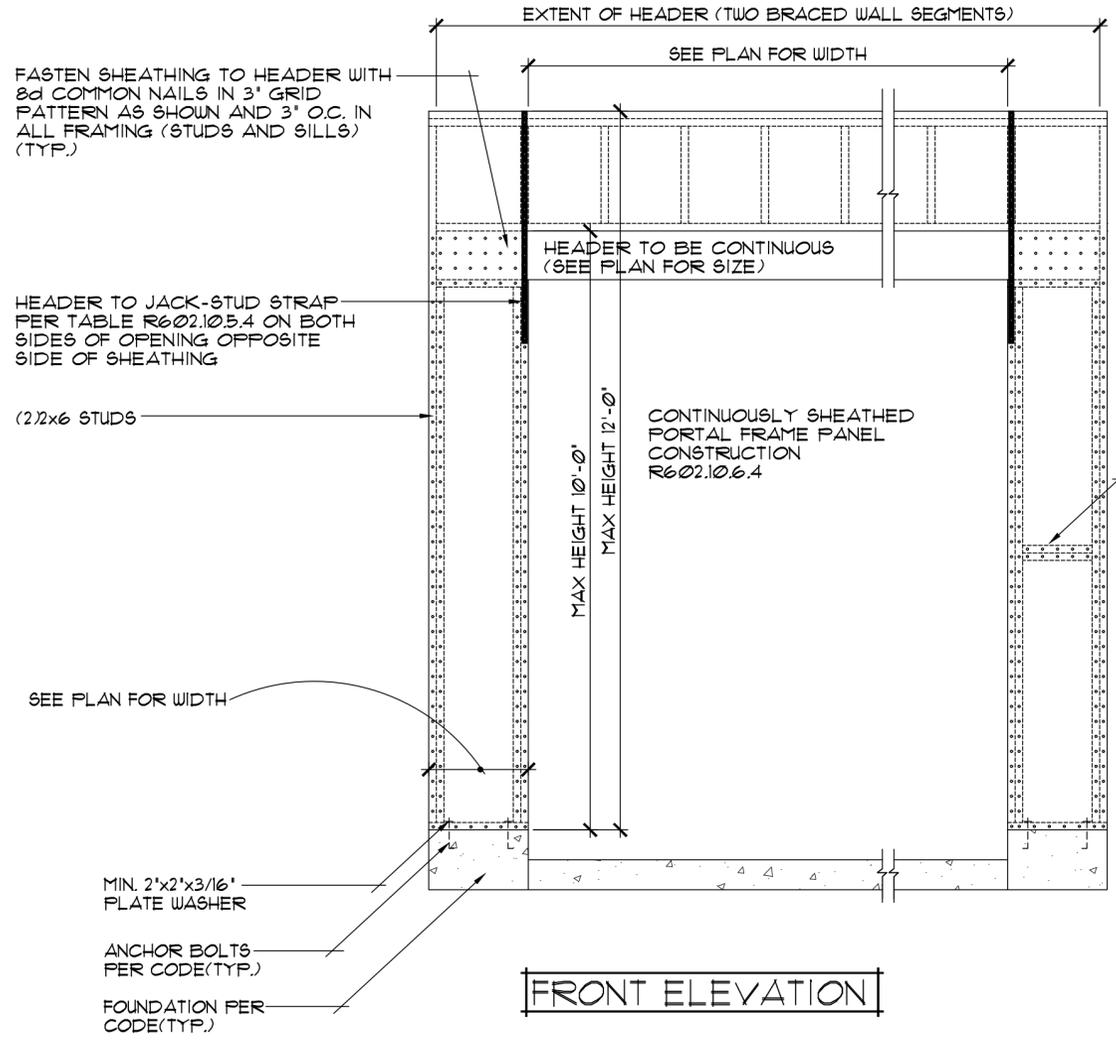


CORNER FRAMING DETAIL



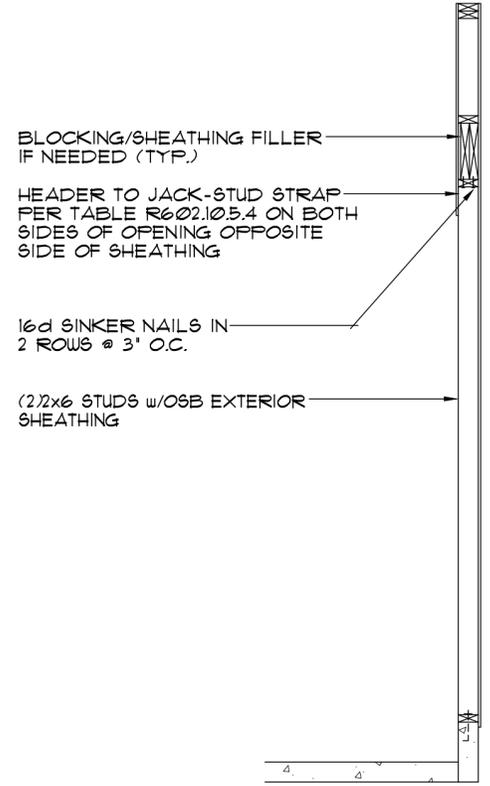
FOUNDATION/RIM AREA DETAIL "A-1" 1/2"=1'-0"

STANDARD WALKOUT SILL/FOUNDATION AREA
FOUNDATION NOT HELD IN



FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"



SIDE ELEVATION

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XX/XX/XX 0000 BY: X.X.

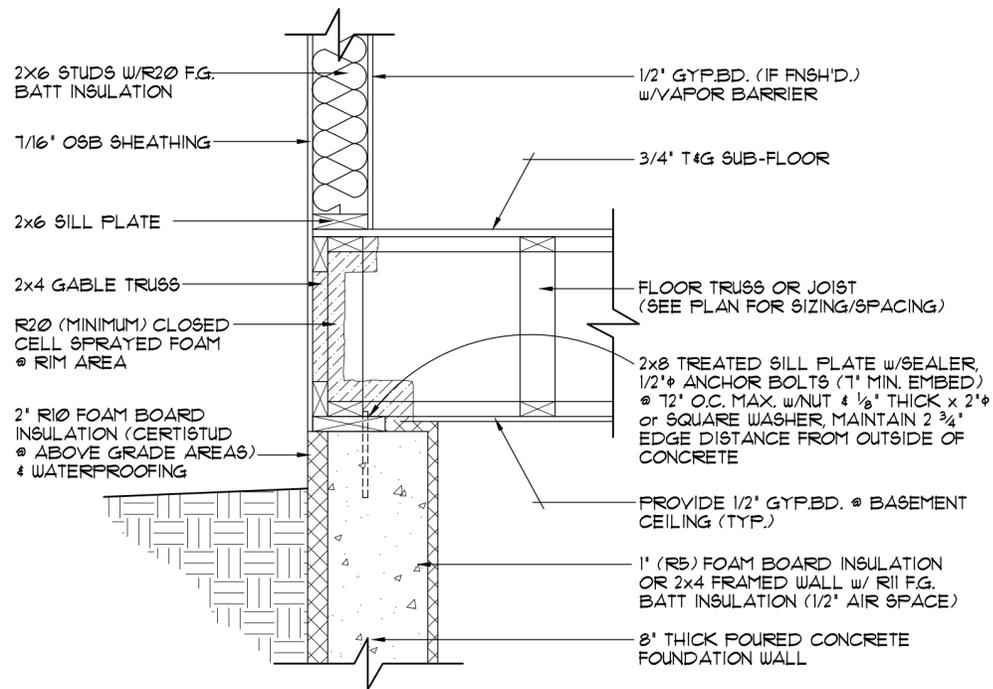
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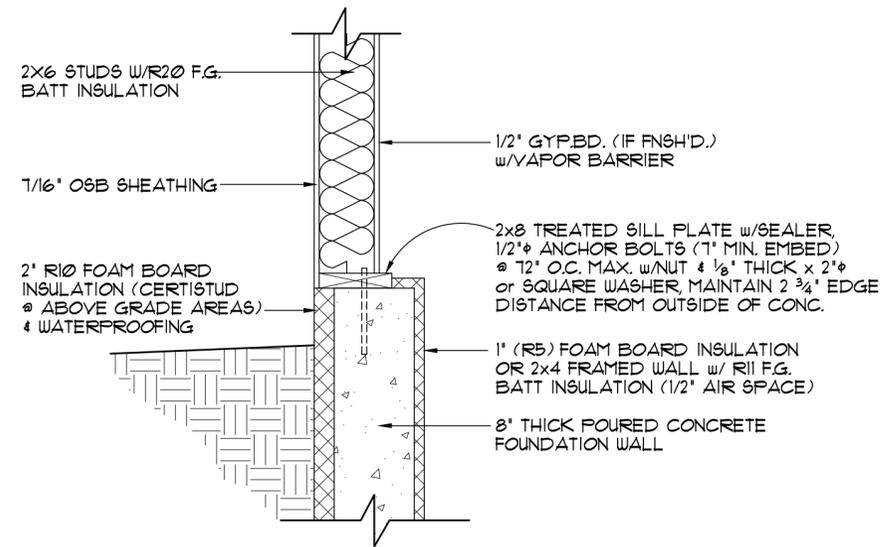


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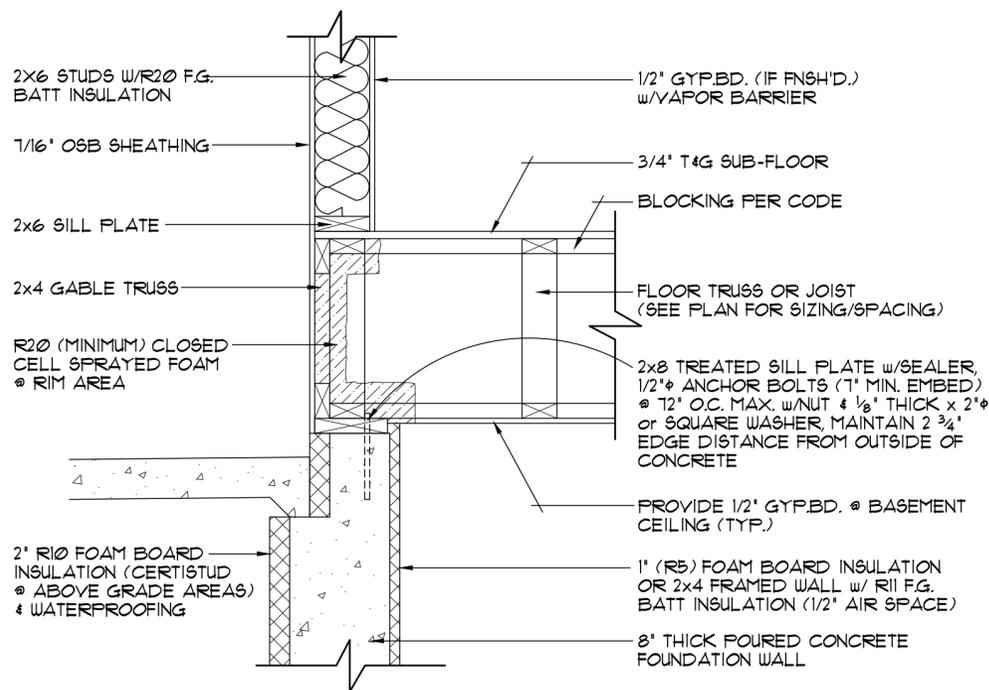
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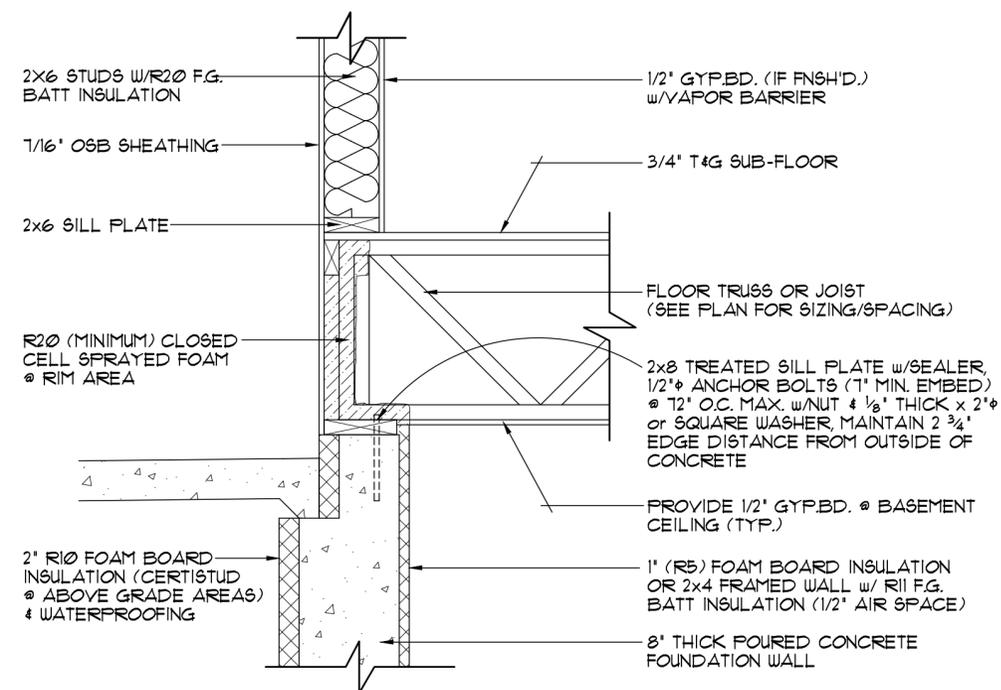
FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"
 STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"
 STANDARD DAYLIGHT SILL/FOUNDATION AREA
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-4" 1"=1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-5" 1"=1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2"

REVISIONS
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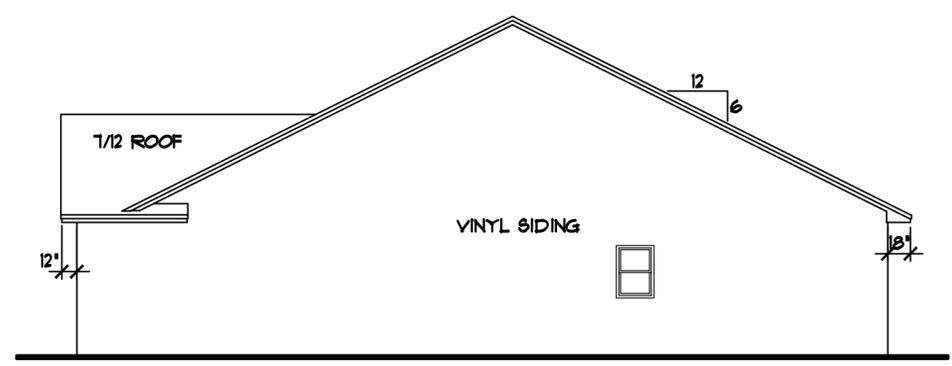
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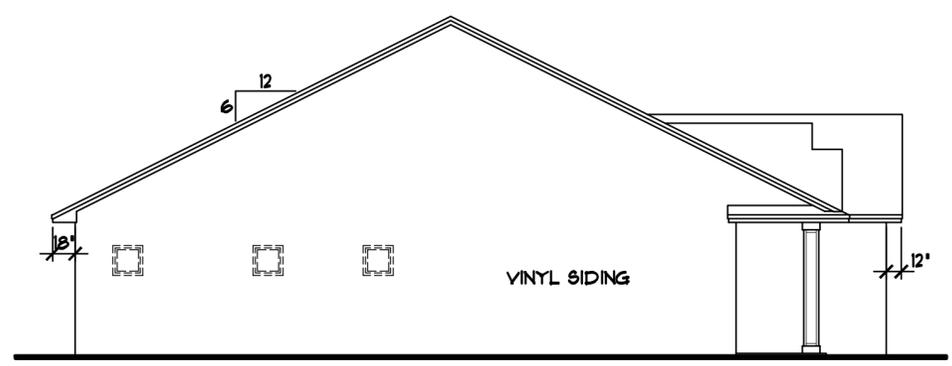


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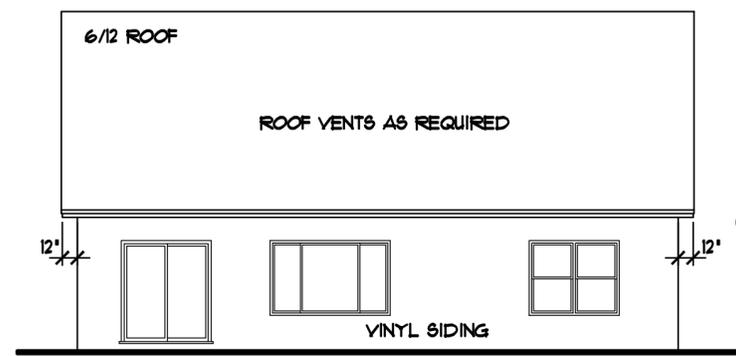


RIGHT ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC	
•SINGLE HUNG UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 21
•SLIDER UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 26
•FIXED UNIT	U-VALUE = 0.30 SHGC = 0.31 STC = 26
•DOUBLE HUNG UNIT	U-VALUE = 0.32 SHGC = 0.32 STC = 28
•SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28



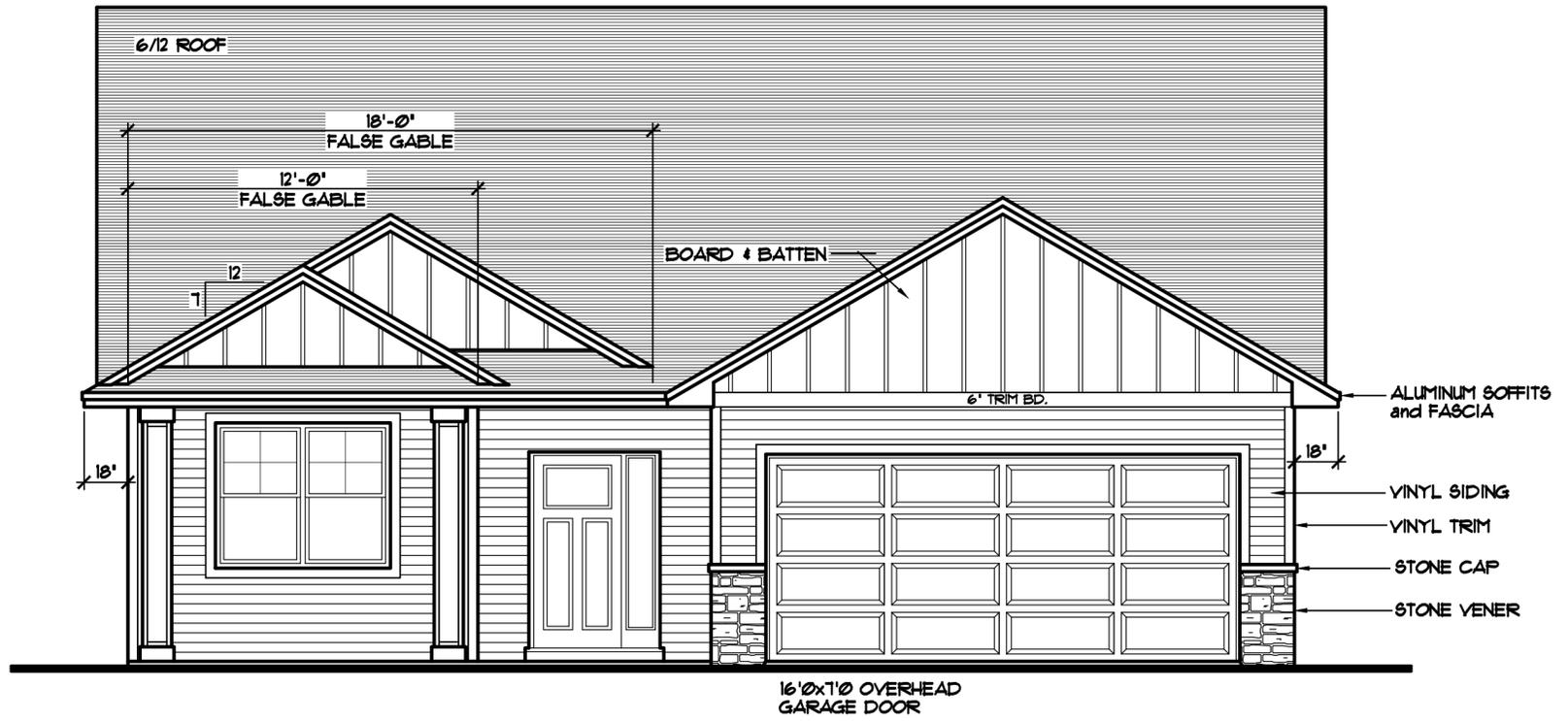
REAR ELEVATION 1/8"=1'-0"

NOTE III
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

NOTE III
ADJUST HEEL HEIGHT @ 1/2 ROOF w/18' OVERHANG TO MATCH 6/12 ROOF w/18' OVERHANG (TYP.)

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	9'-1 1/8"	6'-10 1/2"

- JELD WEN WINDOWS SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- VINYL SIDING/VINYL CORNER TRIM (TYP.)
- BOARD & BATTEN WHERE SHOWN
- STONE VENEER WHERE SHOWN



FRONT ELEVATION 1/4"=1'-0"
1492 SQFT. MAIN LEVEL

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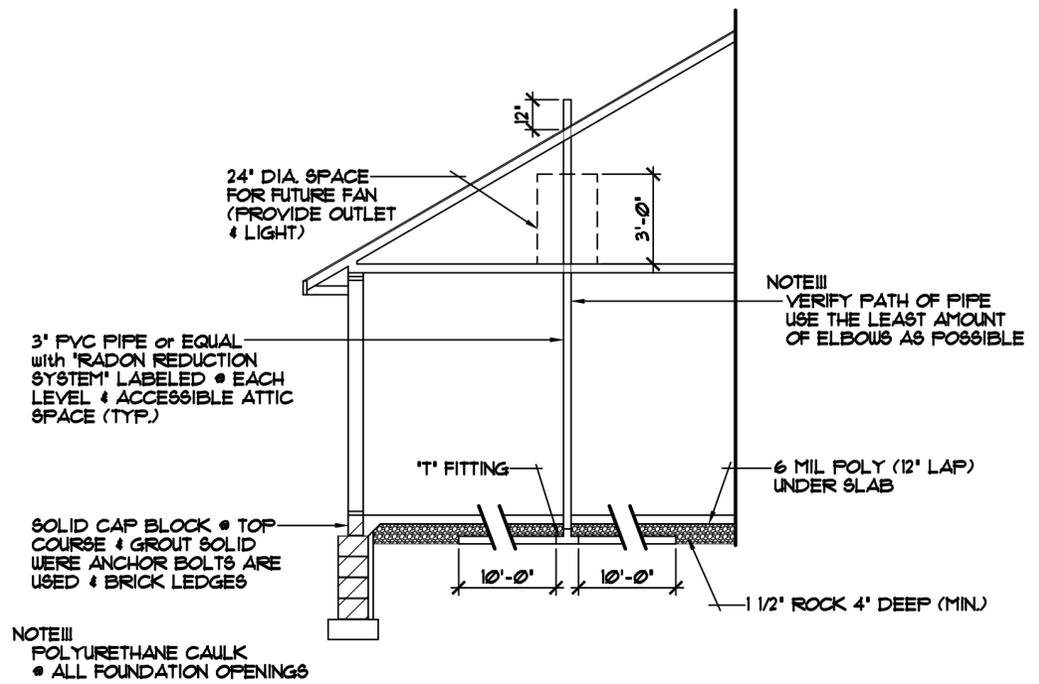
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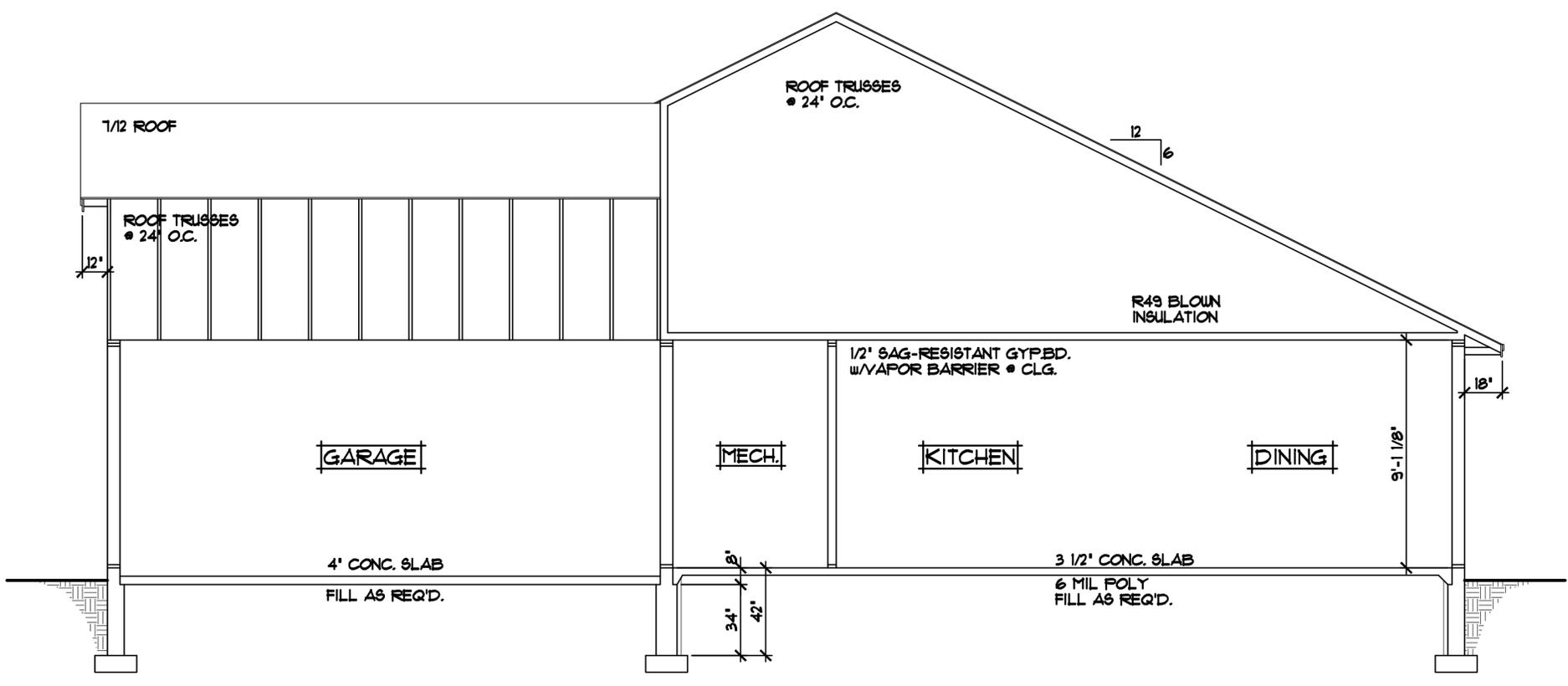
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QUALITY HOME BUILDERS

DRAIN L.V.	
CHECKED	XX
DATE:	05/31/2019
SCALE:	AS NOTED
CADD FILE #	19145-2R
SHEET	1 OF 4



ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



CROSS SECTION "A" 1/4"=1'-0"

- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
 - ASPHALT SHINGLES,
- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - ALUMINUM FASCIA COVER
 - ALUMINUM VENTED SOFFIT
- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD
- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER
 - 1/2" ANCHOR BOLTS @ 12" O.C.
- FOUNDATION INSULATION:**
- 2" R10 (MINIMUM) FOAM BOARD INSULATION INSTALLED TO INTERIOR OF FOUNDATION WALLS (TYP.)

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REVISIONS	BY
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14194	J.C.
15059	R.B.
16015	R.B.
17393	L.Y.

WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

- SLIDER UNIT
 U-VALUE = 0.30
 SHGC = 0.23
 STC = 26
- FIXED UNIT
 U-VALUE = 0.29
 SHGC = 0.24
 STC = 26
- SLIDING PATIO DOOR
 U-VALUE = 0.28
 SHGC = 0.23
 STC = 28

NOTE!!!
 TOP OF RO. FOR ALL WINDOWS @ MAIN LEVEL TO BE 6'-10 1/2" FROM SUB FLOOR (UNO.)

NOTE!!!
 9'-1 1/8' PLATE HEIGHT @ ENTIRE ENTRY LEVEL (TYP.)

NOTE!!!
 WINDOWS w/ "x" REQUIRE SASH LIMITER (TYP.)

NOTE!!!
 PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

- JELD WEN WINDOWS SPEC'D.
- VINYL SIDING/BOARD & BATTEN CORNER TRIM WHERE SHOWN
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN

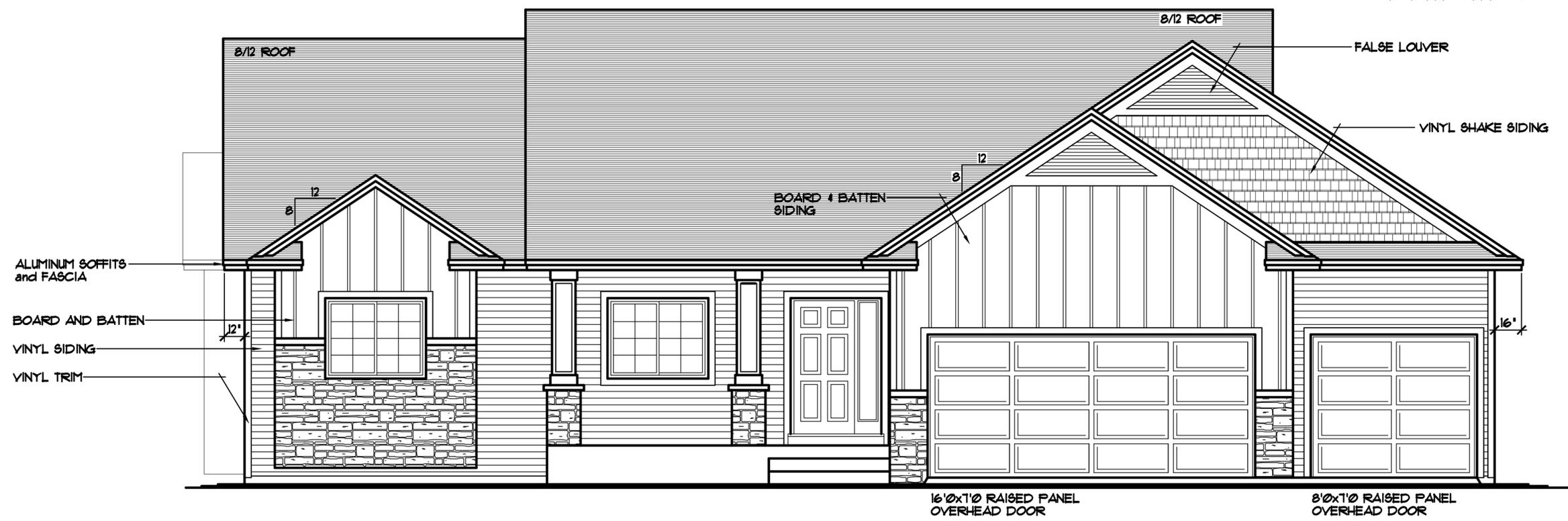
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FRONT ELEVATION "B" 1/4"=1'-0"
 1530 SQFT. MAIN LEVEL
 982 SQFT. OPTIONAL FINISHED BASEMENT
 101 SQFT. GARAGE AREA
 1450 SQFT. FOUNDATION (TO EXTERIOR BLOCK WALLS)

THE:
ROCHESTER PLAN
 GARAGE RIGHT

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SCALE	AS NOTED
CADD FILE #	18146
SHEET	1 of 10

REVISIONS	BY
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14194	J.C.
15059	R.B.
16015	R.B.
17393	L.Y.

WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

- SLIDER UNIT
 U-VALUE = 0.30
 SHGC = 0.23
 STC = 26
- FIXED UNIT
 U-VALUE = 0.29
 SHGC = 0.24
 STC = 26
- SLIDING PATIO DOOR
 U-VALUE = 0.28
 SHGC = 0.23
 STC = 28

NOTE!!!
 TOP OF RO. FOR ALL WINDOWS @ MAIN LEVEL TO BE 6'-10 1/2" FROM SUB FLOOR (UNO.)

NOTE!!!
 9'-1 1/8' PLATE HEIGHT @ ENTIRE ENTRY LEVEL (TYP.)

NOTE!!!
 WINDOWS w/ "X" REQUIRE SASH LIMITER (TYP.)

NOTE!!!
 PLANS ARE NOT REPRESENTATIVE OF OPTIONAL ELEVATIONS

NOTE!!!
 PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

NOTE!!!
 BUILD FALSE DORMERS ON ROOF DECK

- JELD WEN WINDOWS SPEC'D.
- VINYL SIDING/BOARD & BATTEN CORNER TRIM WHERE SHOWN
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN

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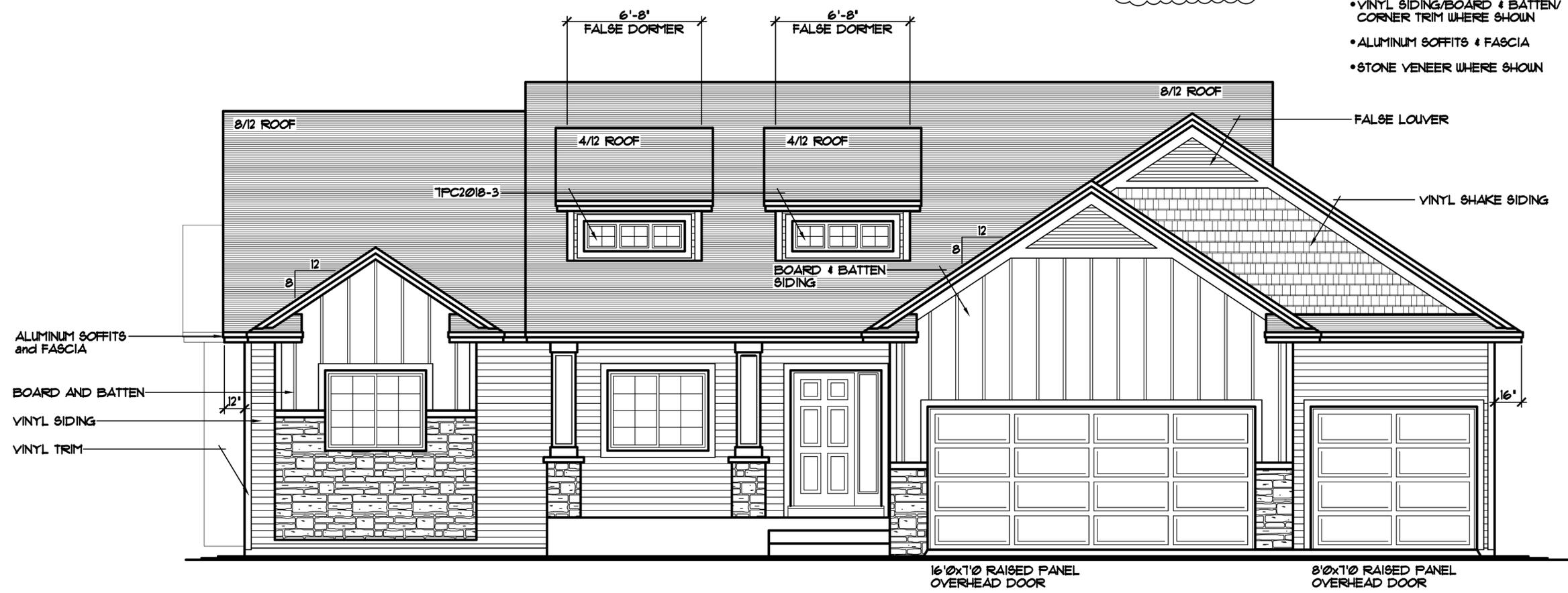
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JP BROOKS



FRONT ELEVATION "C" 1/4"=1'-0"
 1530 SQFT. MAIN LEVEL
 982 SQFT. OPTIONAL FINISHED BASEMENT
 701 SQFT. GARAGE AREA
 1450 SQFT. FOUNDATION (TO EXTERIOR BLOCK WALLS)

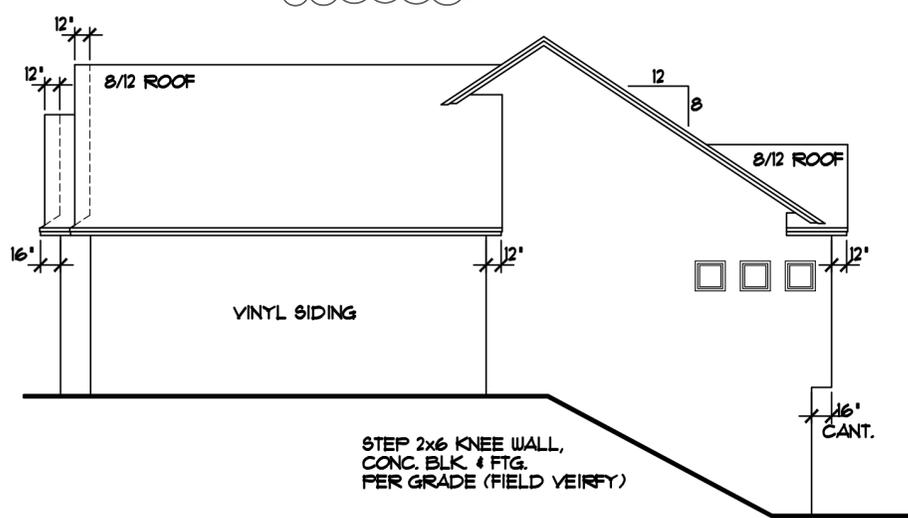
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SCALE:	AS NOTED
CADD FILE #	18146
SHEET	1 of 10

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NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)

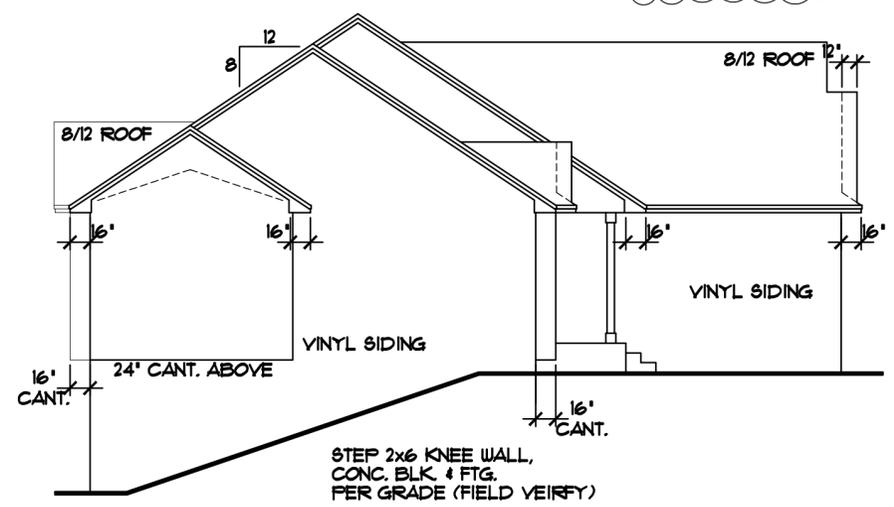


RIGHT ELEVATION 1/8"=1'-0"

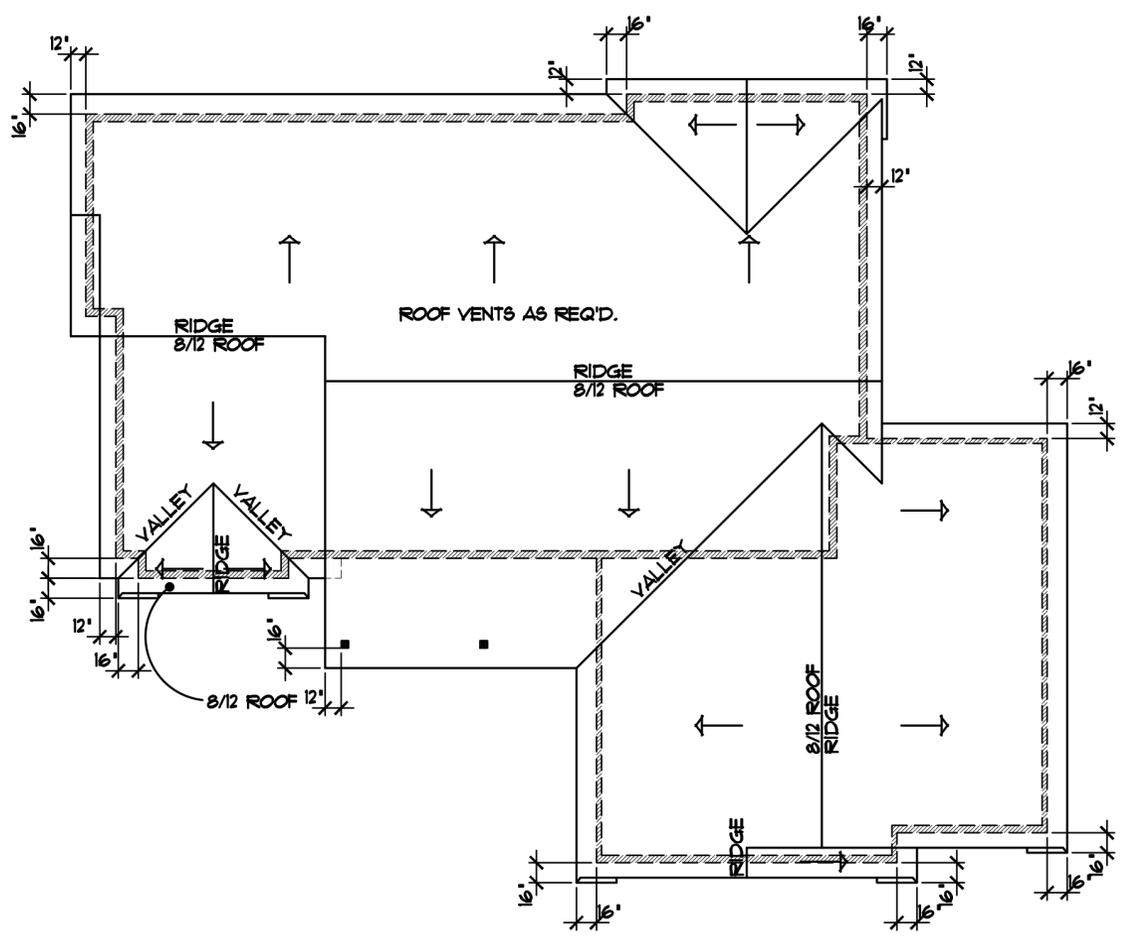
NOTE!!!
TOP OF R.O. FOR ALL
WINDOWS TO BE
6'-10 1/2" FROM
SUB FLOOR (U.N.O.)

NOTE!!!
9'-1 1/8" PLATE
HEIGHT @ ENTIRE
ENTRY LEVEL (TYP.)

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)

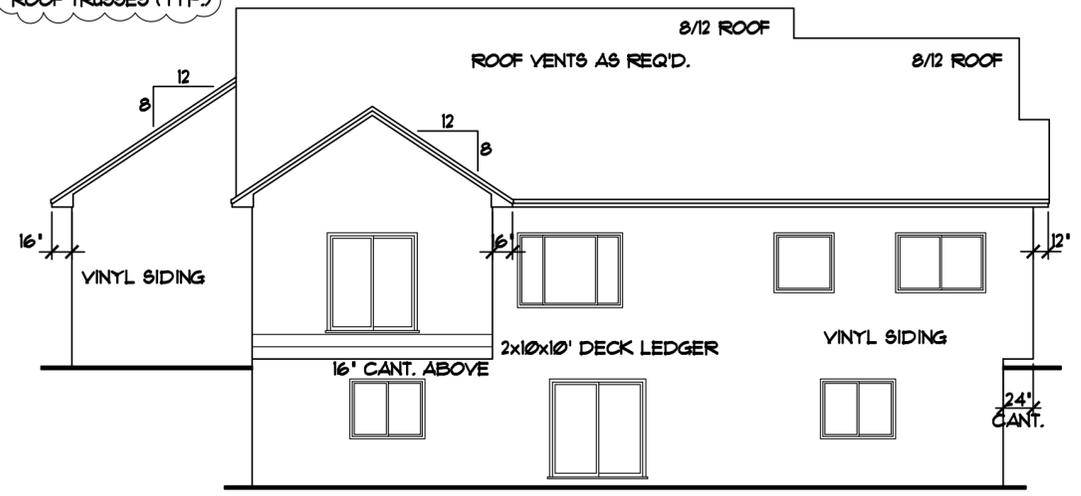


LEFT ELEVATION 1/8"=1'-0"



BIRD'S EYE ROOF PLAN 1/8"=1'-0"

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)



REAR ELEVATION 1/8"=1'-0"

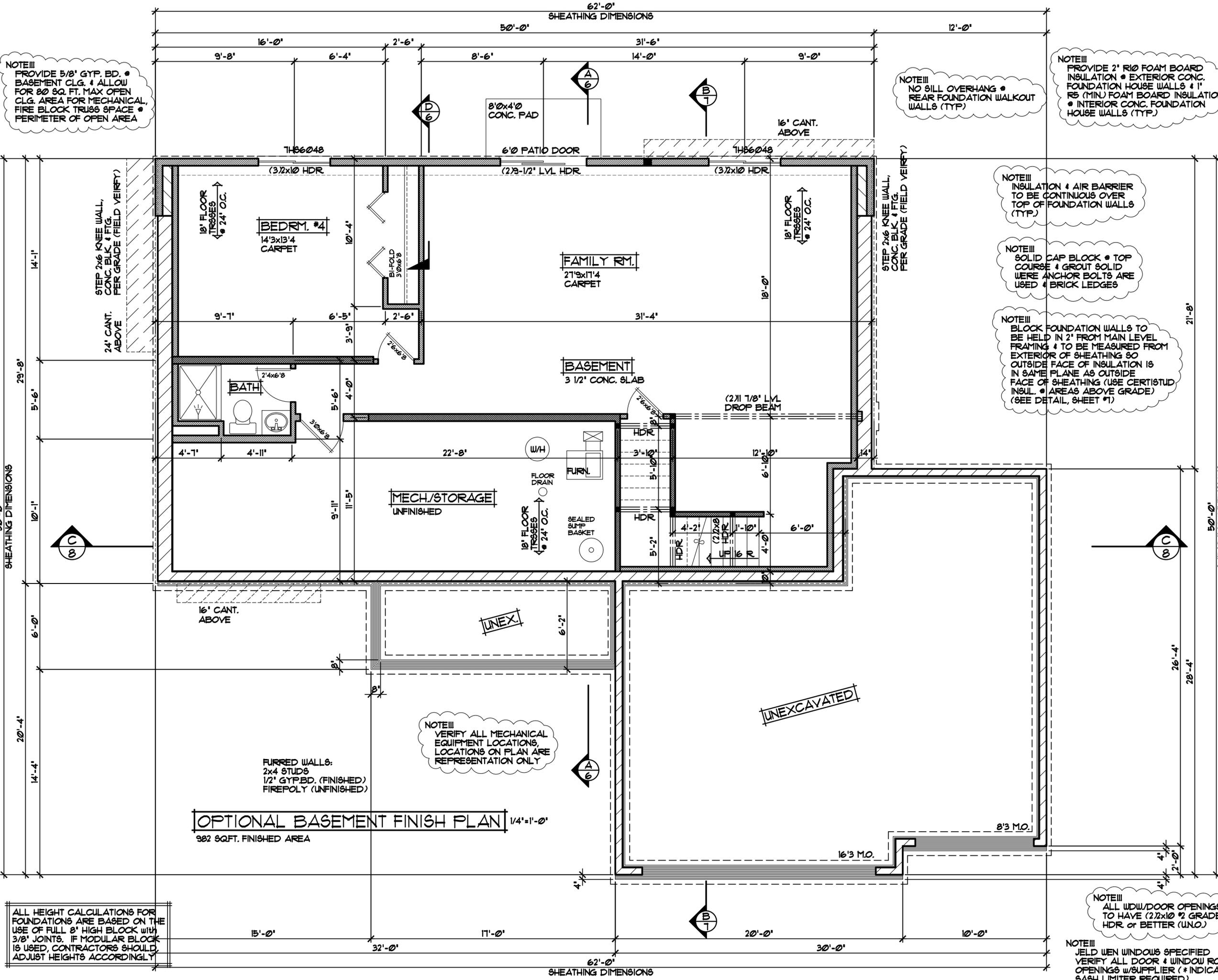
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JP BROOKS

SHEET
2
of 10
CADD FILE #
10146



NOTE III
 PROVIDE 5/8" GYP. BD. •
 BASEMENT CLG. & ALLOW
 FOR 80 SQ. FT. MAX OPEN
 CLG. AREA FOR MECHANICAL
 FIRE BLOCK TRUSS SPACE •
 PERIMETER OF OPEN AREA

NOTE III
 NO SILL OVERHANG •
 REAR FOUNDATION WALKOUT
 WALLS (TYP)

NOTE III
 PROVIDE 2" R10 FOAM BOARD
 INSULATION • EXTERIOR CONC.
 FOUNDATION HOUSE WALLS • 1"
 R5 (MIN.) FOAM BOARD INSULATION
 • INTERIOR CONC. FOUNDATION
 HOUSE WALLS (TYP.)

NOTE III
 INSULATION & AIR BARRIER
 TO BE CONTINUOUS OVER
 TOP OF FOUNDATION WALLS
 (TYP.)

NOTE III
 SOLID CAP BLOCK • TOP
 COURSE & GROUT SOLID
 WERE ANCHOR BOLTS ARE
 USED & BRICK LEDGES

NOTE III
 BLOCK FOUNDATION WALLS TO
 BE HELD IN 2" FROM MAIN LEVEL
 FRAMING & TO BE MEASURED FROM
 EXTERIOR OF SHEATHING SO
 OUTSIDE FACE OF INSULATION IS
 IN SAME PLANE AS OUTSIDE
 FACE OF SHEATHING (USE CERTISTUD
 INSUL. • AREAS ABOVE GRADE)
 (SEE DETAIL, SHEET #1)

NOTE III
 VERIFY ALL MECHANICAL
 EQUIPMENT LOCATIONS.
 LOCATIONS ON PLAN ARE
 REPRESENTATION ONLY

OPTIONAL BASEMENT FINISH PLAN 1/4"=1'-0"
 982 SQ. FT. FINISHED AREA

FURRED WALLS:
 2x4 STUDS
 1/2" GYPBD. (FINISHED)
 FIREPOLY (UNFINISHED)

ALL HEIGHT CALCULATIONS FOR
 FOUNDATIONS ARE BASED ON THE
 USE OF FULL 8" HIGH BLOCK WITH
 3/8" JOINTS. IF MODULAR BLOCK
 IS USED, CONTRACTORS SHOULD
 ADJUST HEIGHTS ACCORDINGLY

NOTE III
 ALL WDW/DOOR OPENINGS
 TO HAVE (2)2"x10" #2 GRADE
 HDR. OR BETTER (UNO.)

NOTE III
 WELD WEN WINDOWS SPECIFIED
 VERIFY ALL DOOR & WINDOW ROUGH
 OPENINGS W/SUPPLIER (* INDICATES
 SASH LIMITER REQUIRED)

REVISIONS
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 ARCHITECT, DESIGNING AND PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY.
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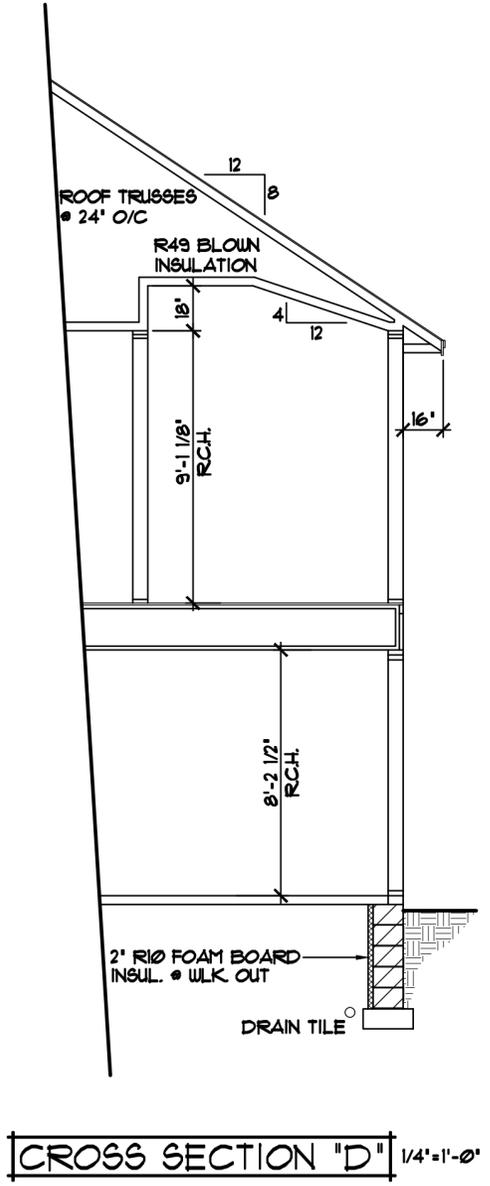
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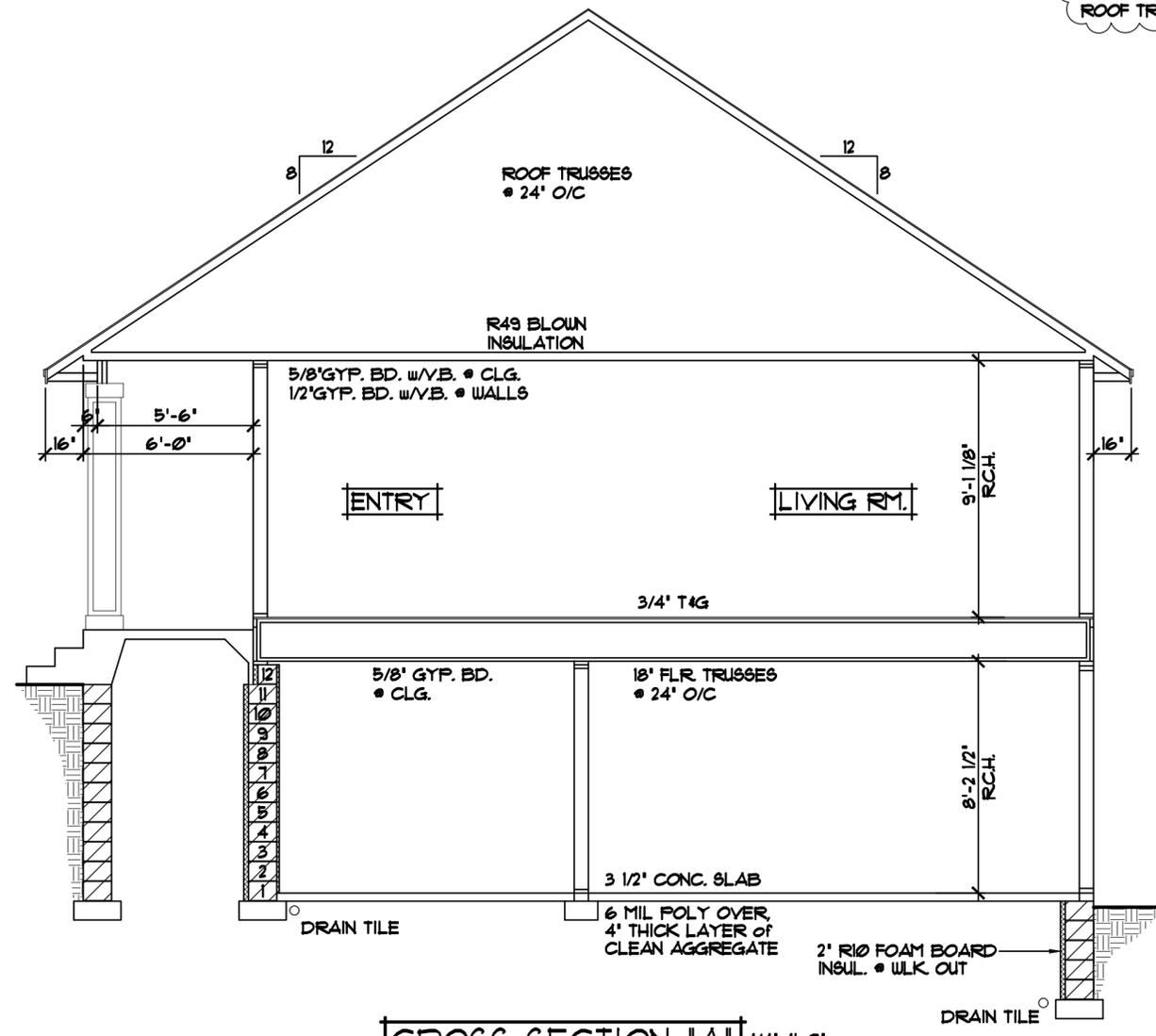


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CROSS SECTION "D" 1/4"=1'-0"



CROSS SECTION "A" 1/4"=1'-0"

NOTE!!!
 PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (TYP.)

- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 1/2" ROOF SHEATHING
 - 15# ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24' PAST EXTERIOR WALL
 - ASPHALT SHINGLES,

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 FG. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE • WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS • 48" O.C.

- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
 - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

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ROOF CONSTRUCTION:

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- R49 BLOWN FIBERGLASS INSULATION
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- 1/2" ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" FAST EXTERIOR WALL
- ASPHALT SHINGLES,

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- MAINTENANCE FREE VENTED SOFFIT

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- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

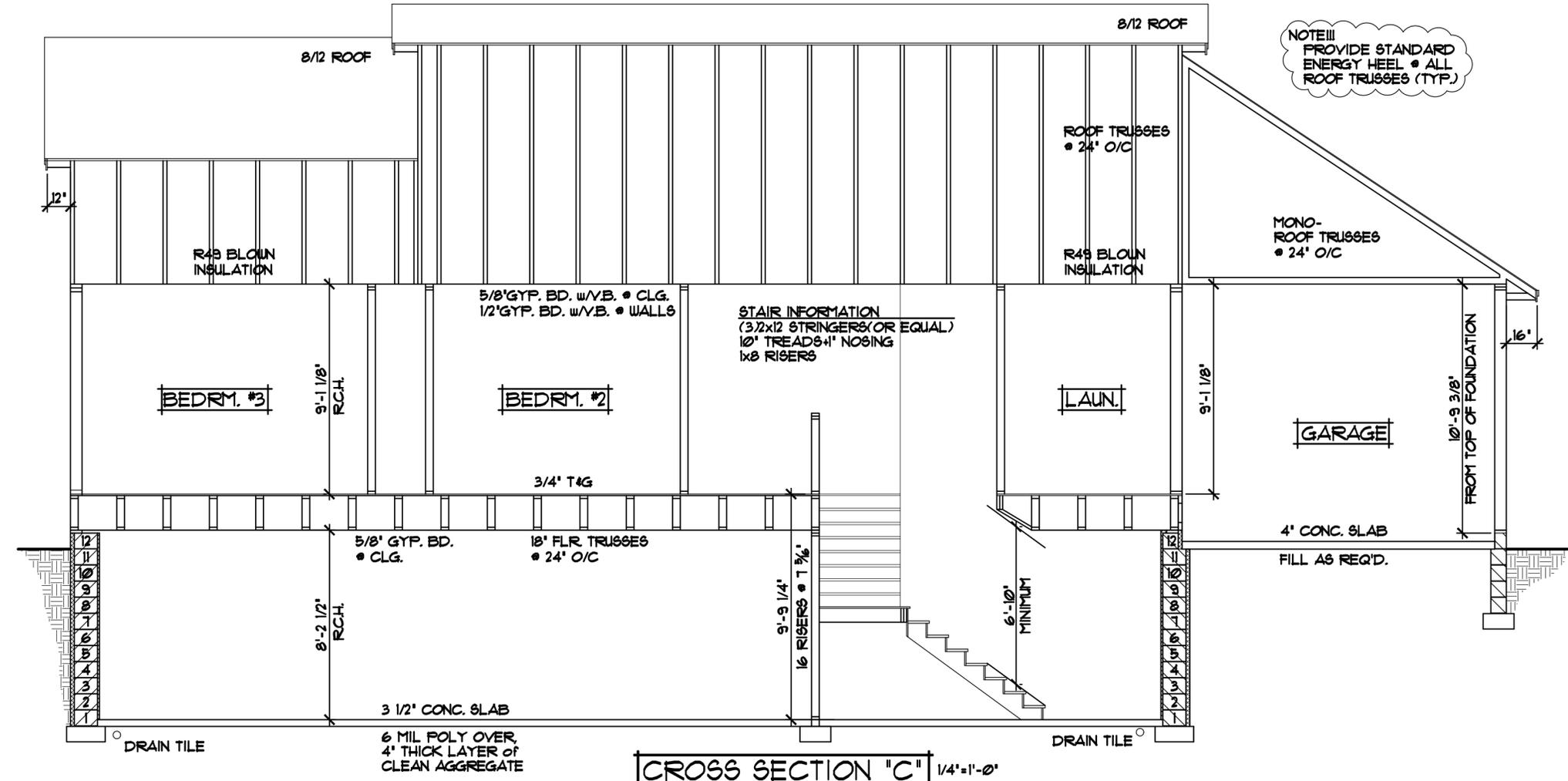
SILL CONSTRUCTION:

- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
- 1/2" ANCHOR BOLTS @ 48" O.C.

FOUNDATION INSULATION:

- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
- FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK with 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY



CROSS SECTION "C" 1/4"=1'-0"

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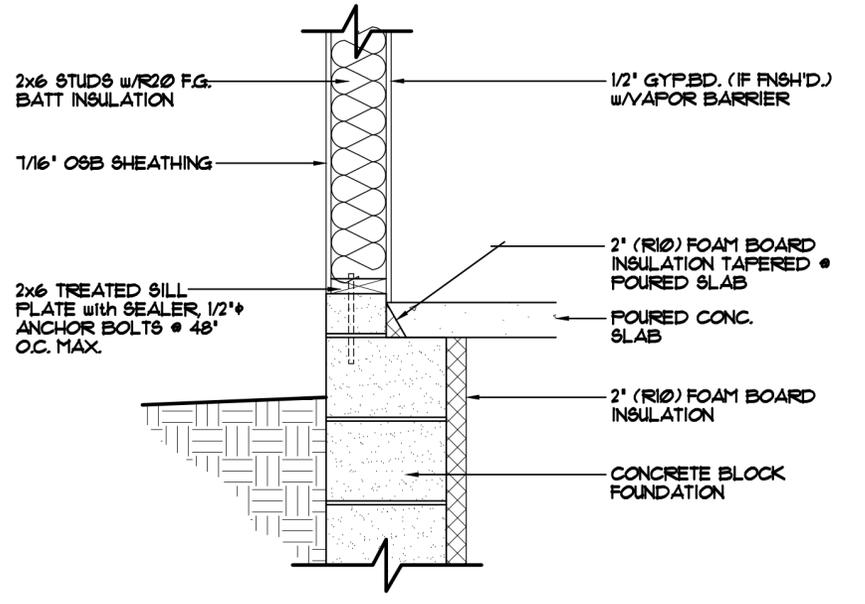
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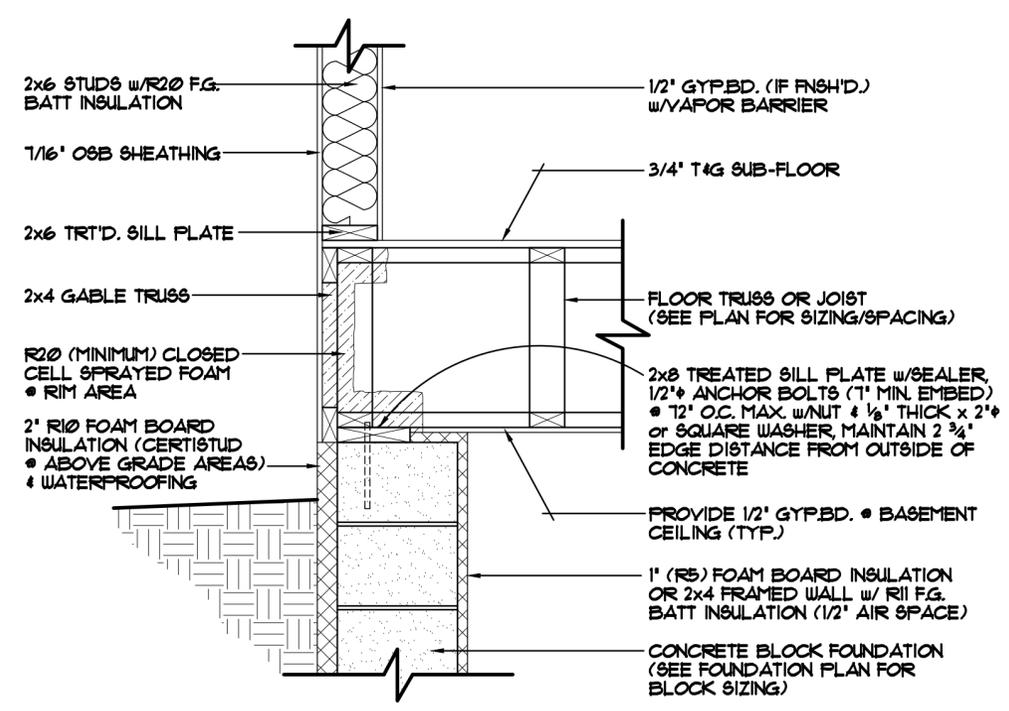


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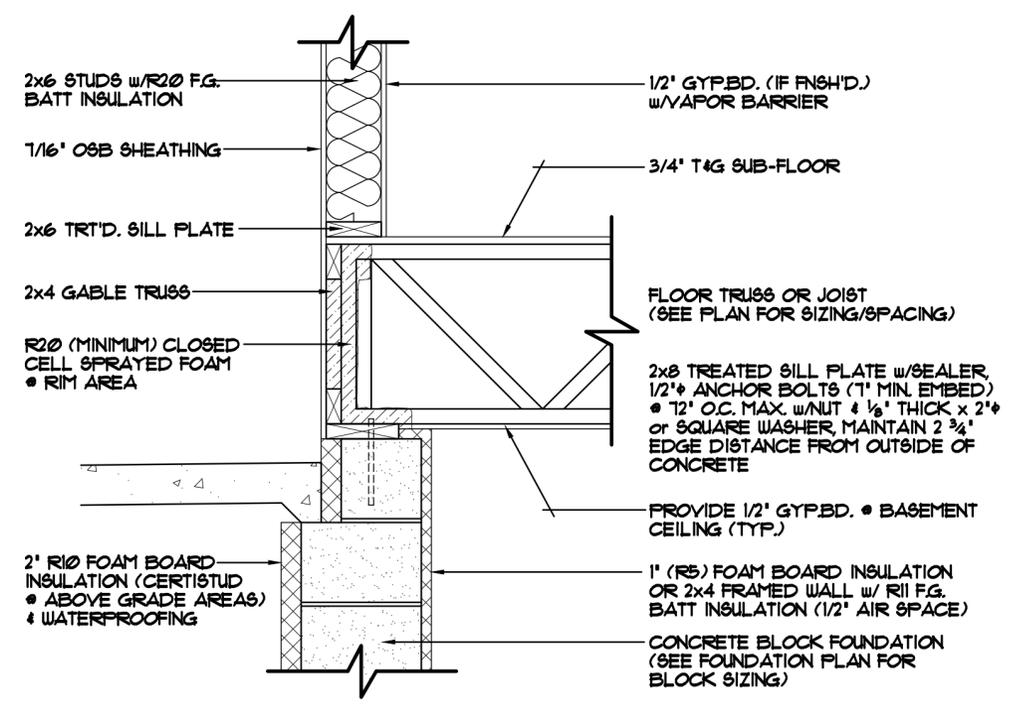
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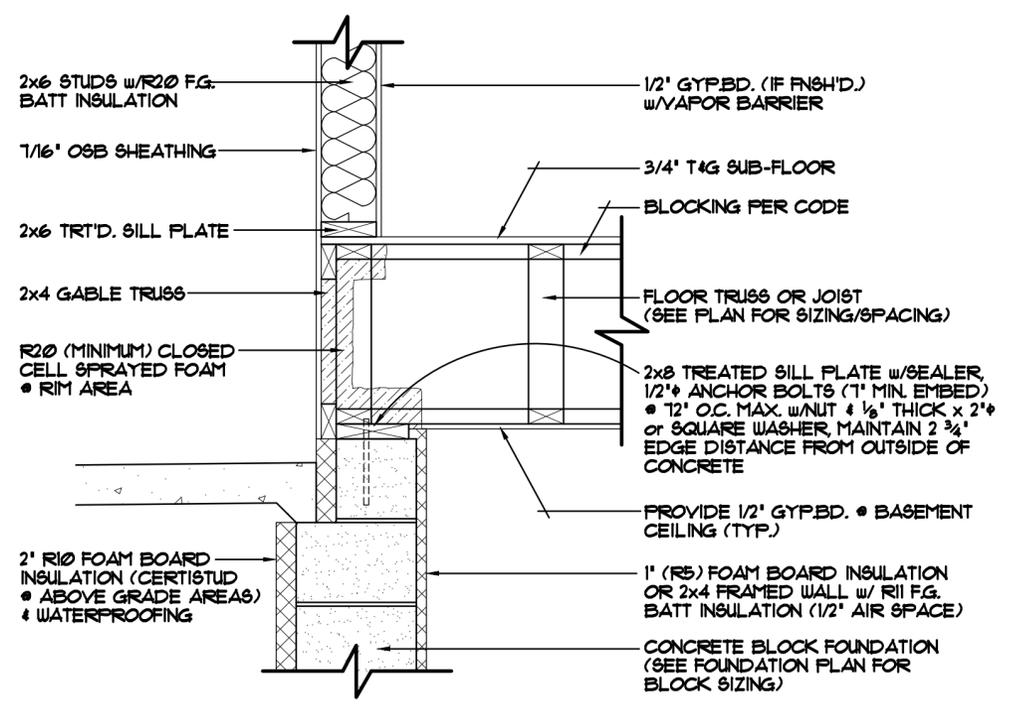
FOUNDATION/RIM AREA DETAIL "A-1" 1'-1'-0"
 STANDARD WALKOUT SILL/FOUNDATION AREA
 FOUNDATION NOT HELD IN



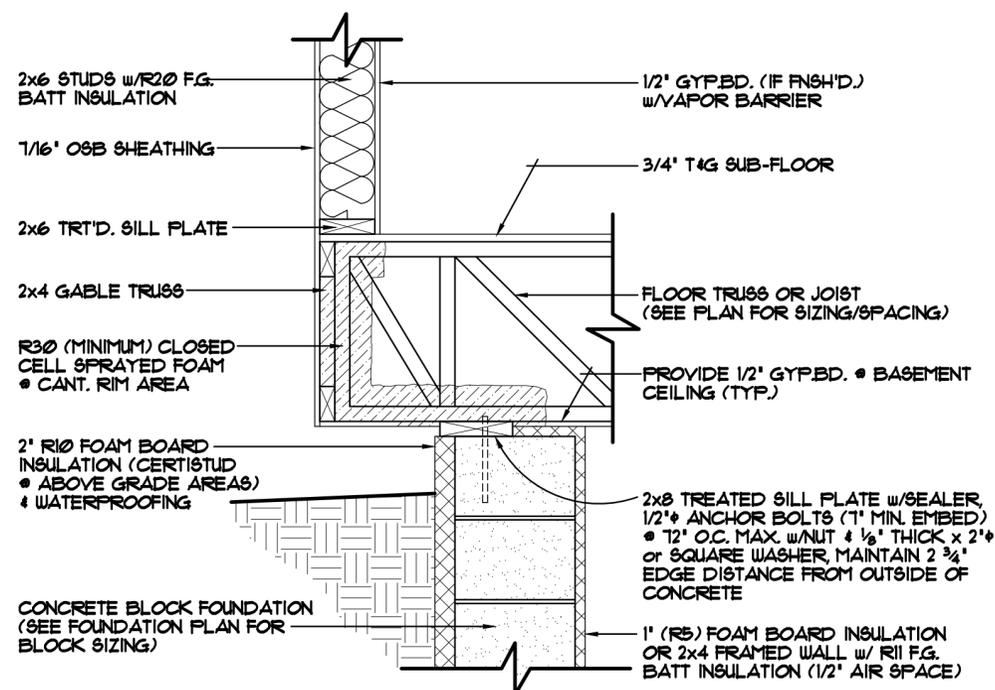
FOUNDATION/RIM AREA DETAIL "A-2" 1'-1'-0"
 STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



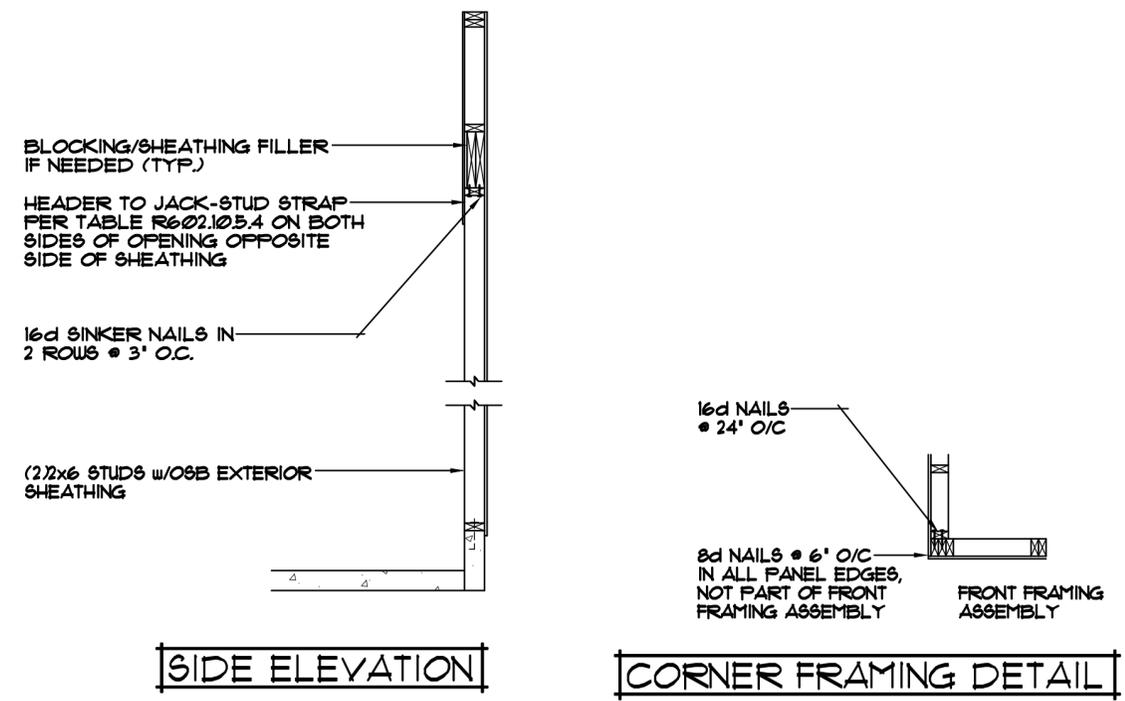
FOUNDATION/RIM AREA DETAIL "A-3" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



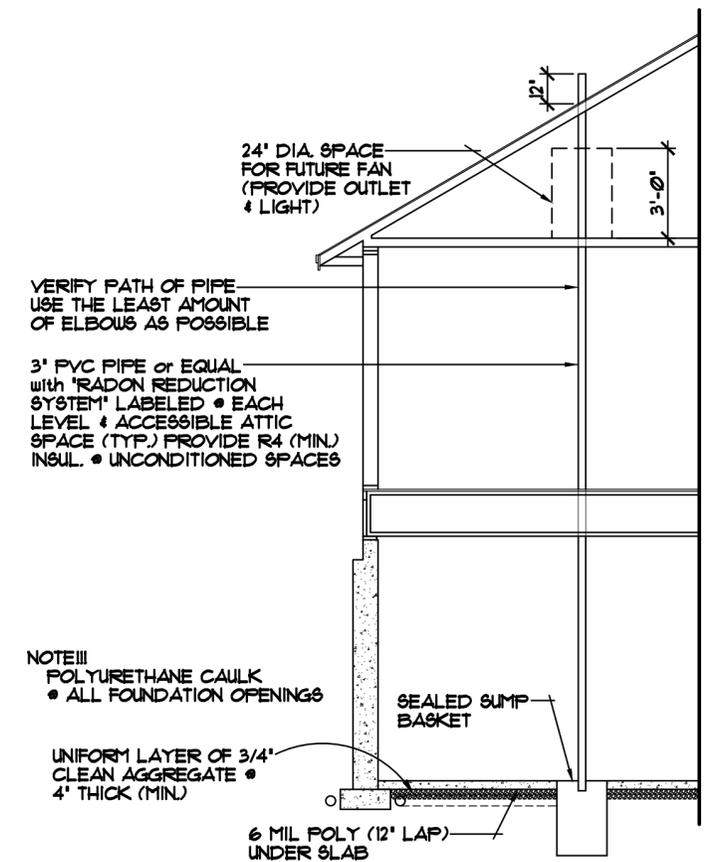
FOUNDATION/RIM AREA DETAIL "A-4" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



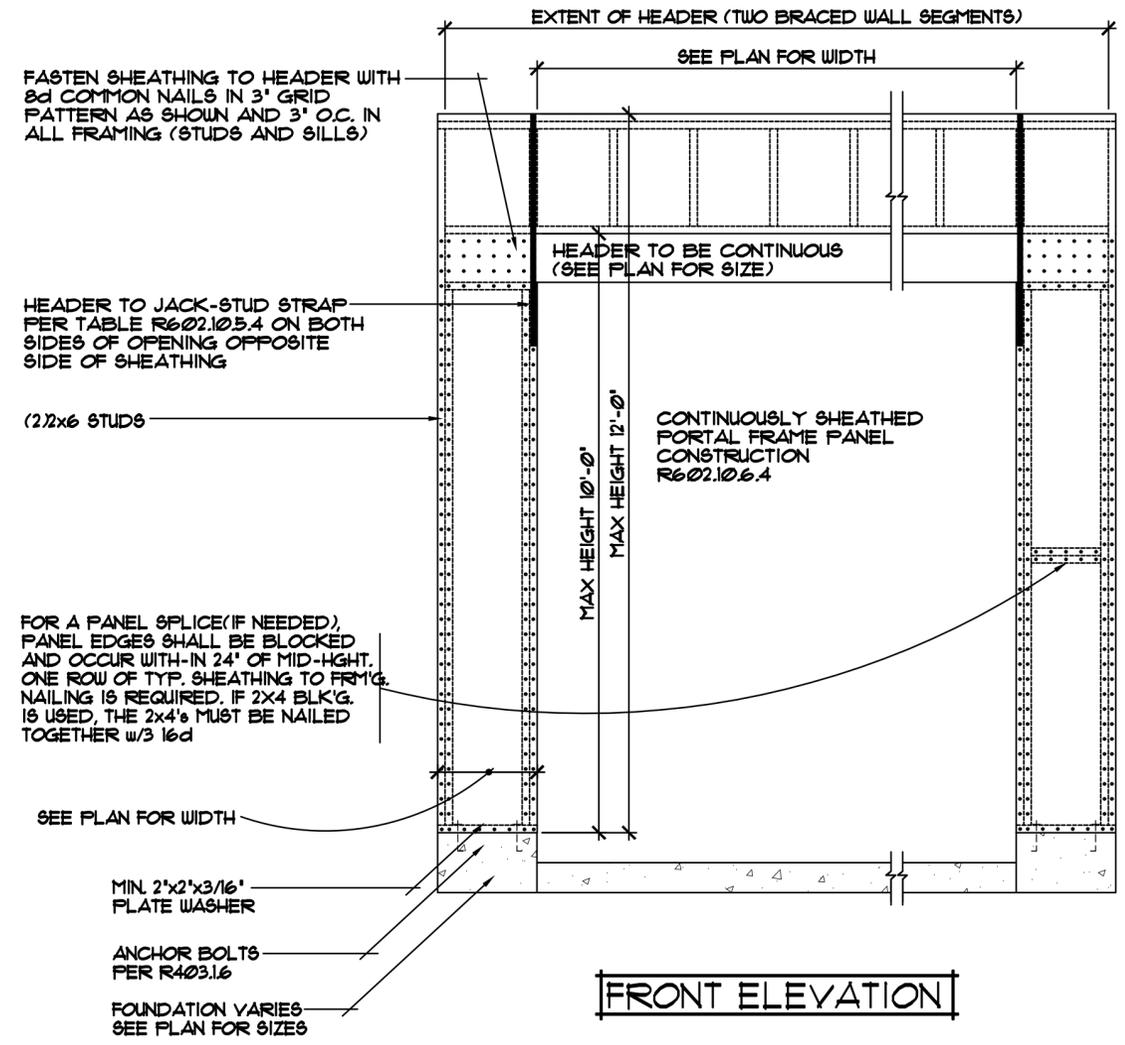
FOUNDATION/RIM AREA DETAIL "A-5" 1"=1'-0"
 CANTILEVERED TRUSSES/JOISTS FOUNDATION HELD IN 2"



SIDE ELEVATION **CORNER FRAMING DETAIL**



ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

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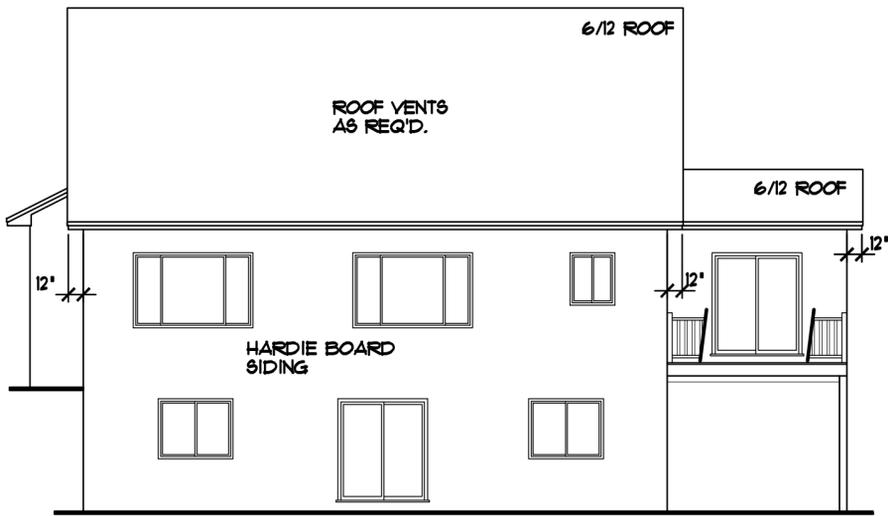
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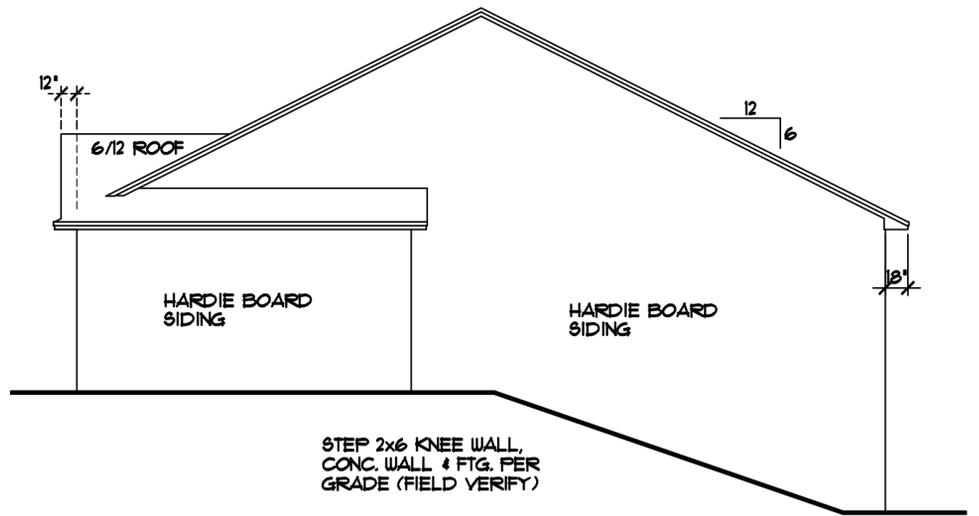


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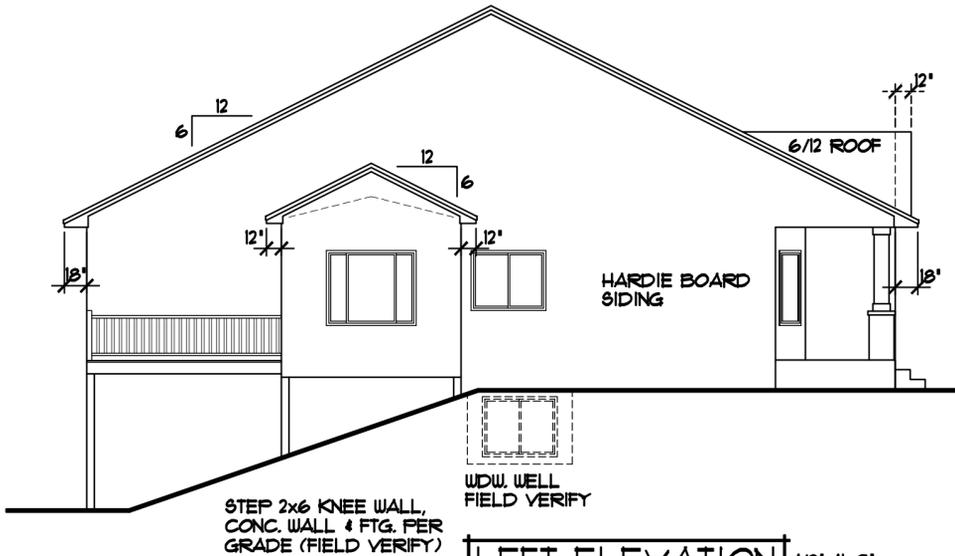
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REAR ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW R.O.
BASEMENT	8'-2"	6'-10 1/2"
MAIN LEVEL	9'-1 1/8"	6'-10 1/2"

- WELD WEN WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- HARDIE BOARD SIDING/CORNER TRIM (TYP.)
- HARDIE BOARD SHAKE SIDING WHERE SHOWN

NOTE!!!
ADJUST HEEL HEIGHT @
MAIN LEVEL 10/12 TRUSSES
w/ 18' OVERHANG TO MATCH
7/12 TRUSSES w/18' OVERHANG
(TYP.)

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)



FRONT ELEVATION 1/4"=1'-0"

1512 SQFT. ABOVE GRADE (NOT INCLUDING SUN RM.)
1080 SQFT. OPTIONAL FINISHED BASEMENT
2652 SQFT. TOTAL FINISHED AREAS
144 SQFT. SUN ROOM

THE: **ROOSEVELT PLAN**

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19230	RB.	

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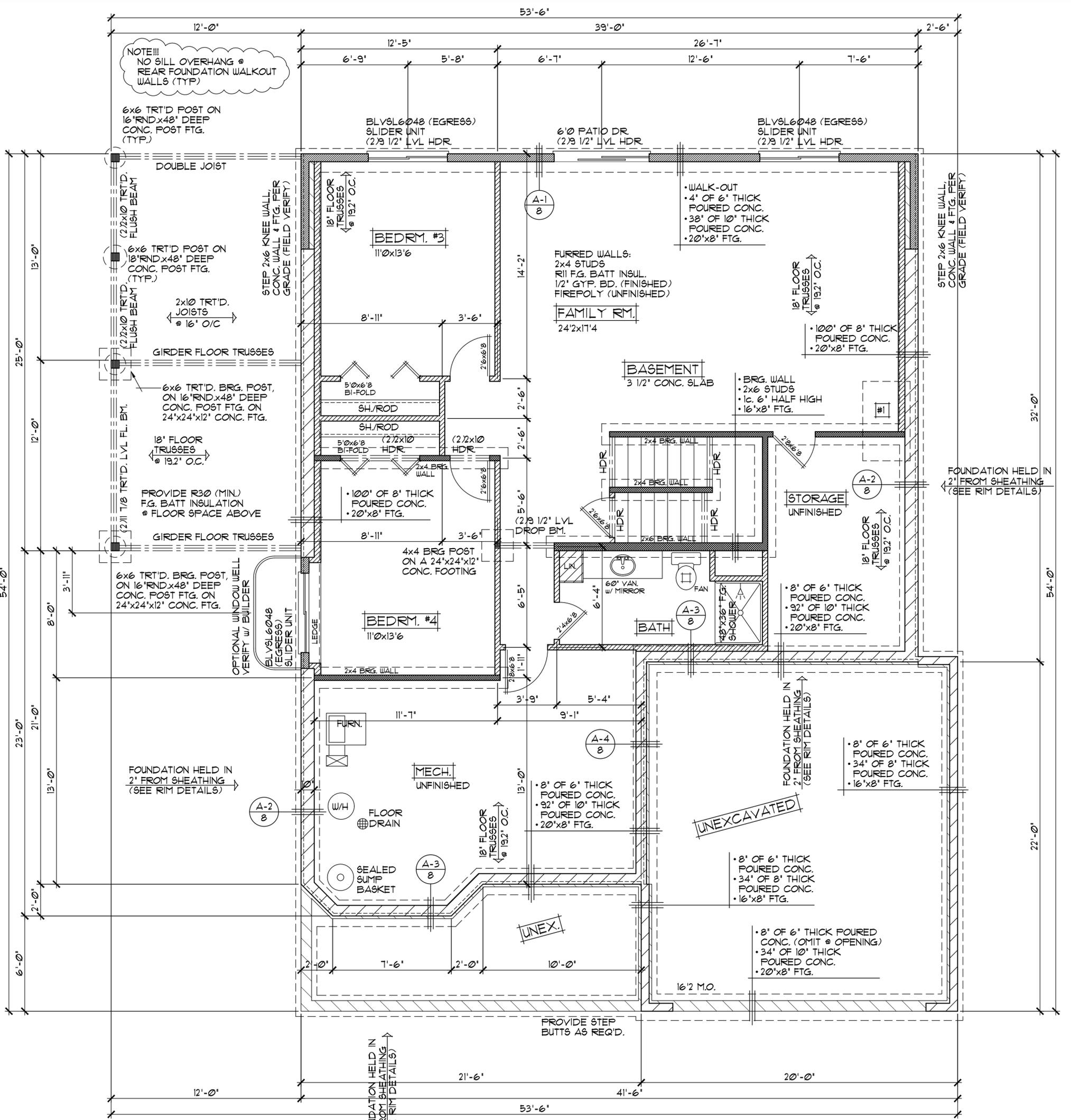
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SHEET **1** OF 7



FOUNDATION PLAN 1/4"=1'-0"
1080 SQ.FT. OPTIONAL FINISHED BASEMENT AREA

GENERAL CONSTRUCTION NOTES

#1 (MAIN LEVEL FLOOR SYSTEM) RECESS FLOOR TRUSSES 4' BELOW CURBLESS WALK IN SHOWER

FRAMING & CONSTRUCTION NOTES

- 8'-2" PLATE HEIGHT @ ENTIRE LOWER LEVEL (UNLESS NOTED OTHERWISE)
- PROVIDE 1/2" GYP. BD. @ BASEMENT CEILING & ALLOW 80 SQ.FT. (MAX) OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE @ PERIMETER OF OPEN AREA

NOTE!!! VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS, LOCATIONS ON PLAN ARE REPRESENTATION ONLY

FOUNDATION CONST. NOTES

- Poured concrete foundation, verify all wall dimensions w/ foundation contractor
- ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO OUTSIDE OF EXTERIOR FOAM BOARD INSUL. OR SHEATHING, FOUNDATION TO BE HELD IN WHERE NOTED/SHOWN
- PROVIDE 2" R10 FOAM BOARD INSULATION @ EXTERIOR FOUNDATION WALLS & 1" R5 FOAM BOARD INSULATION AT INTERIOR SIDE OF FOUNDATION WALLS (TYP.)
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "x" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON LOWER LEVEL TO BE 6'-10 1/2" FROM FLOOR (UNLESS NOTED OTHERWISE)

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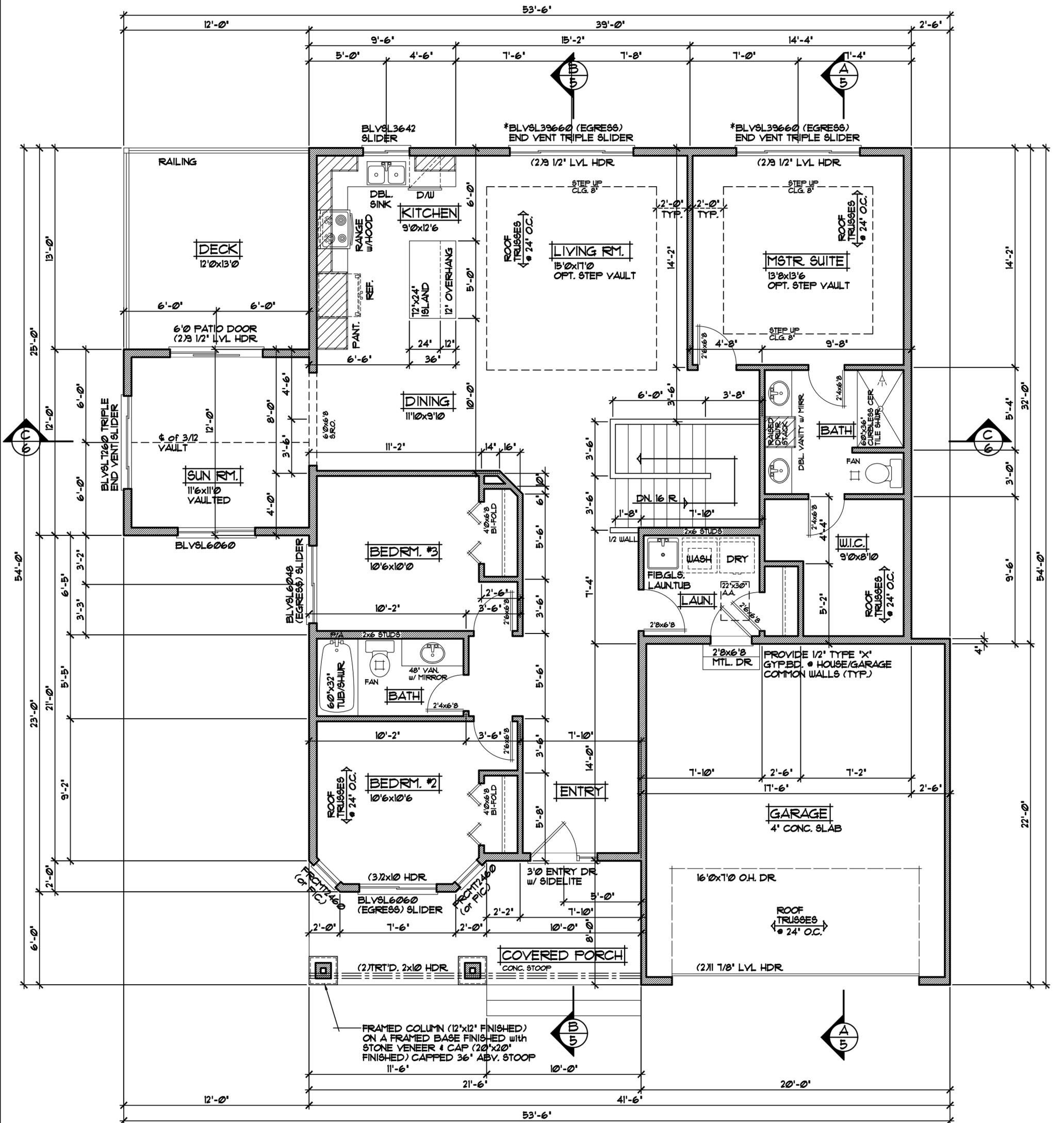
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MAIN LEVEL PLAN 1/4"=1'-0"

1512 SQFT. MAIN LEVEL (NOT INCLUDING SUN RM.)

144 SQFT. SUN ROOM

FRAMING NOTES

- 9'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE STUDS w/ 2x6 STUDS • 16" O.C. (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED. VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "X" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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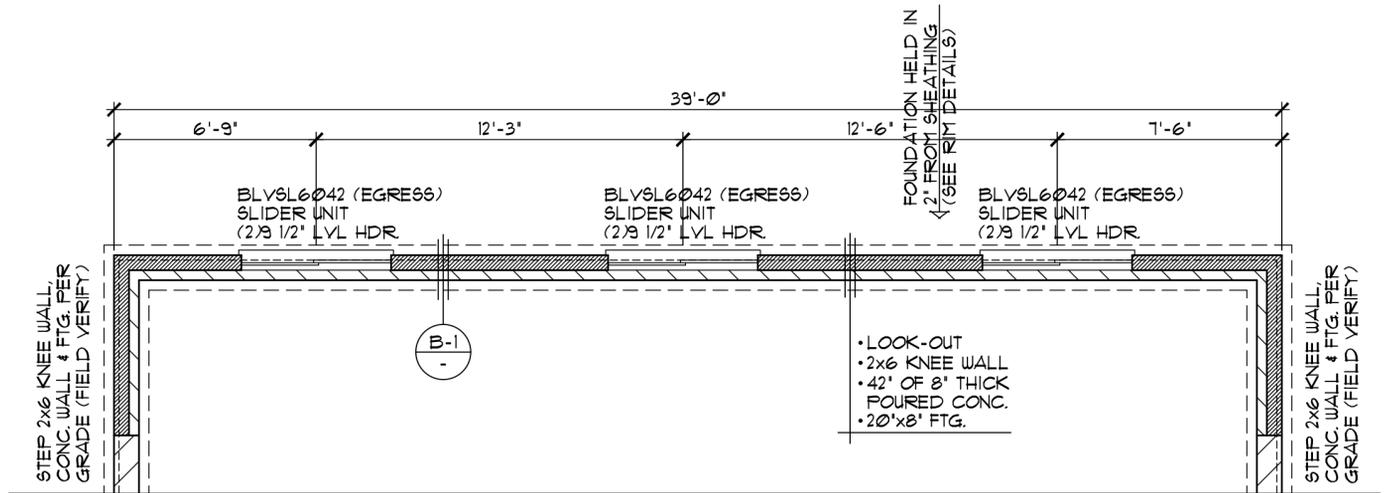
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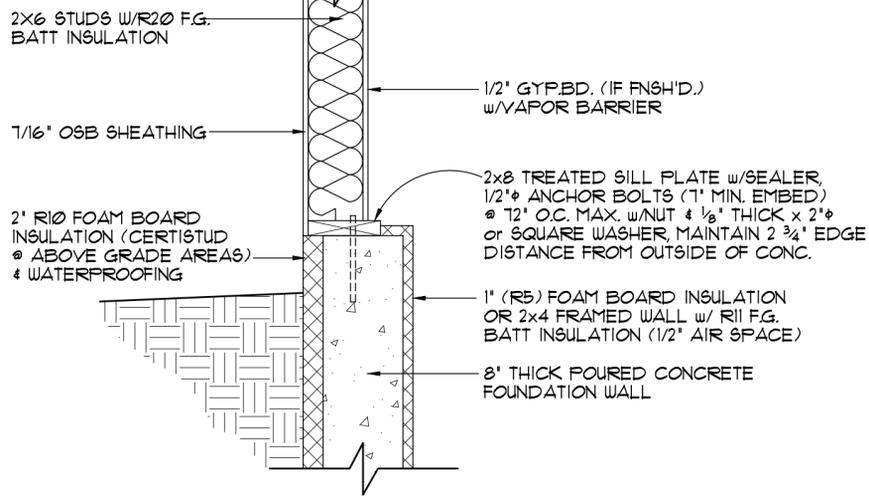
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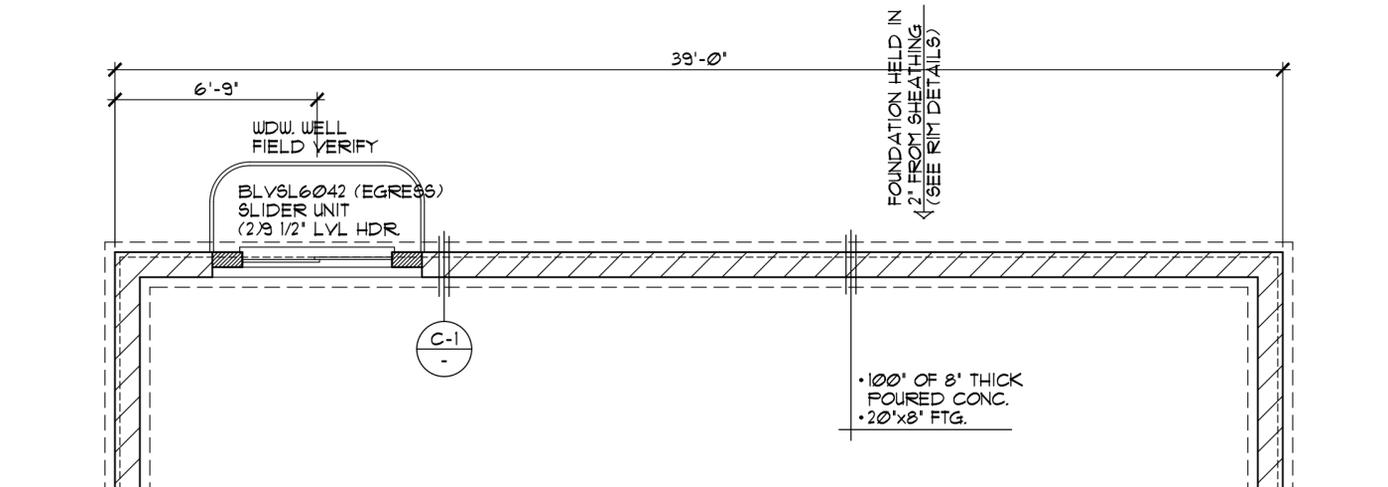


LOOKOUT OPTION
FOUNDATION PLAN 1/4"=1'-0"

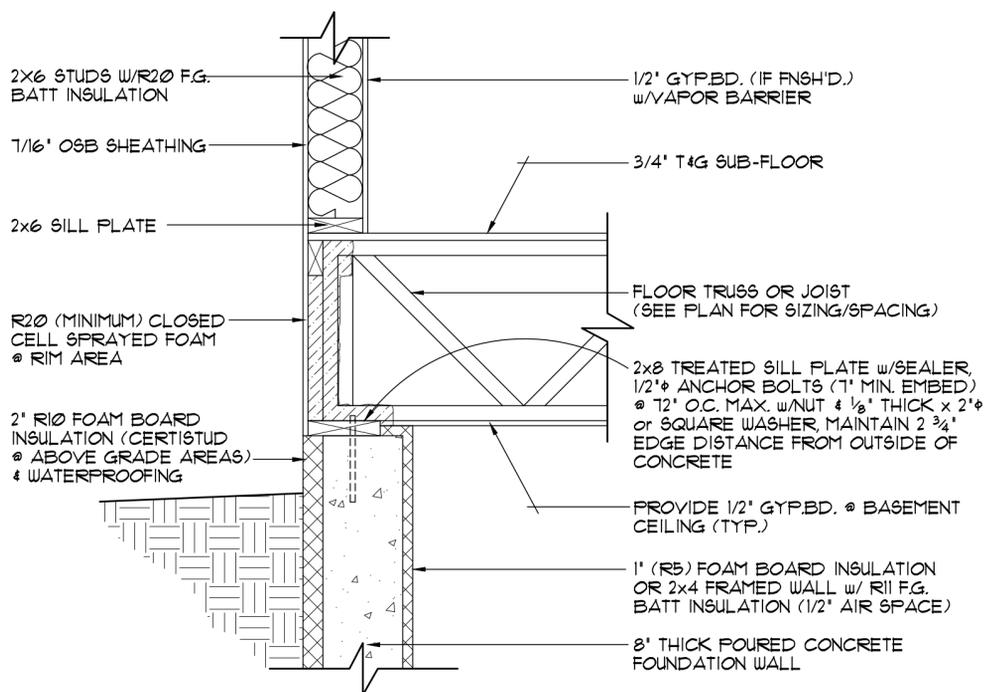


FOUNDATION/RIM AREA DETAIL "B-1" 1"=1'-0"

STANDARD DAYLIGHT SILL/FOUNDATION AREA
 FOUNDATION HELD IN 2'



FULL BASEMENT OPTION
FOUNDATION PLAN 1/4"=1'-0"



FOUNDATION/RIM AREA DETAIL "C-1" 1"=1'-0"

STANDARD RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2'

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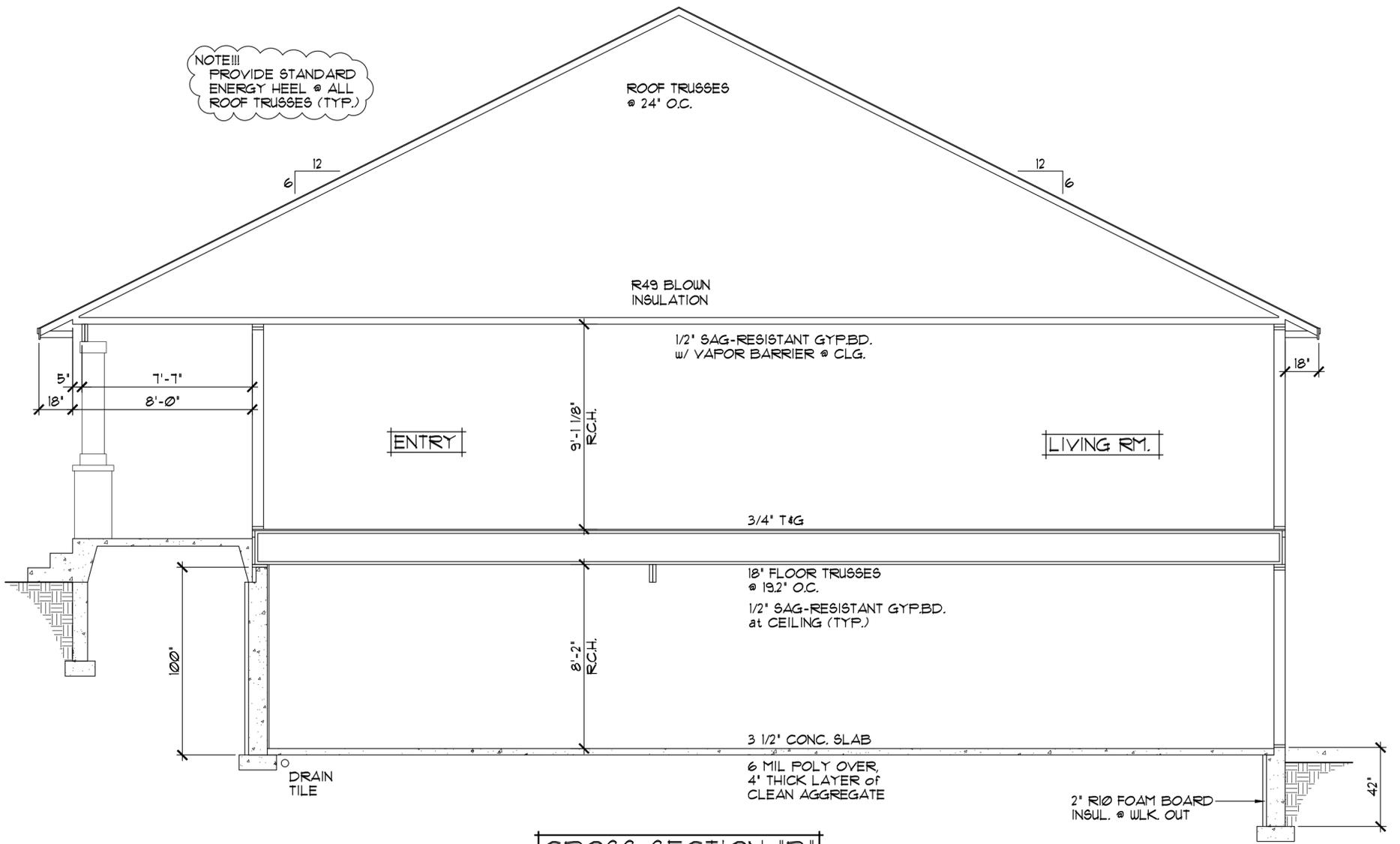
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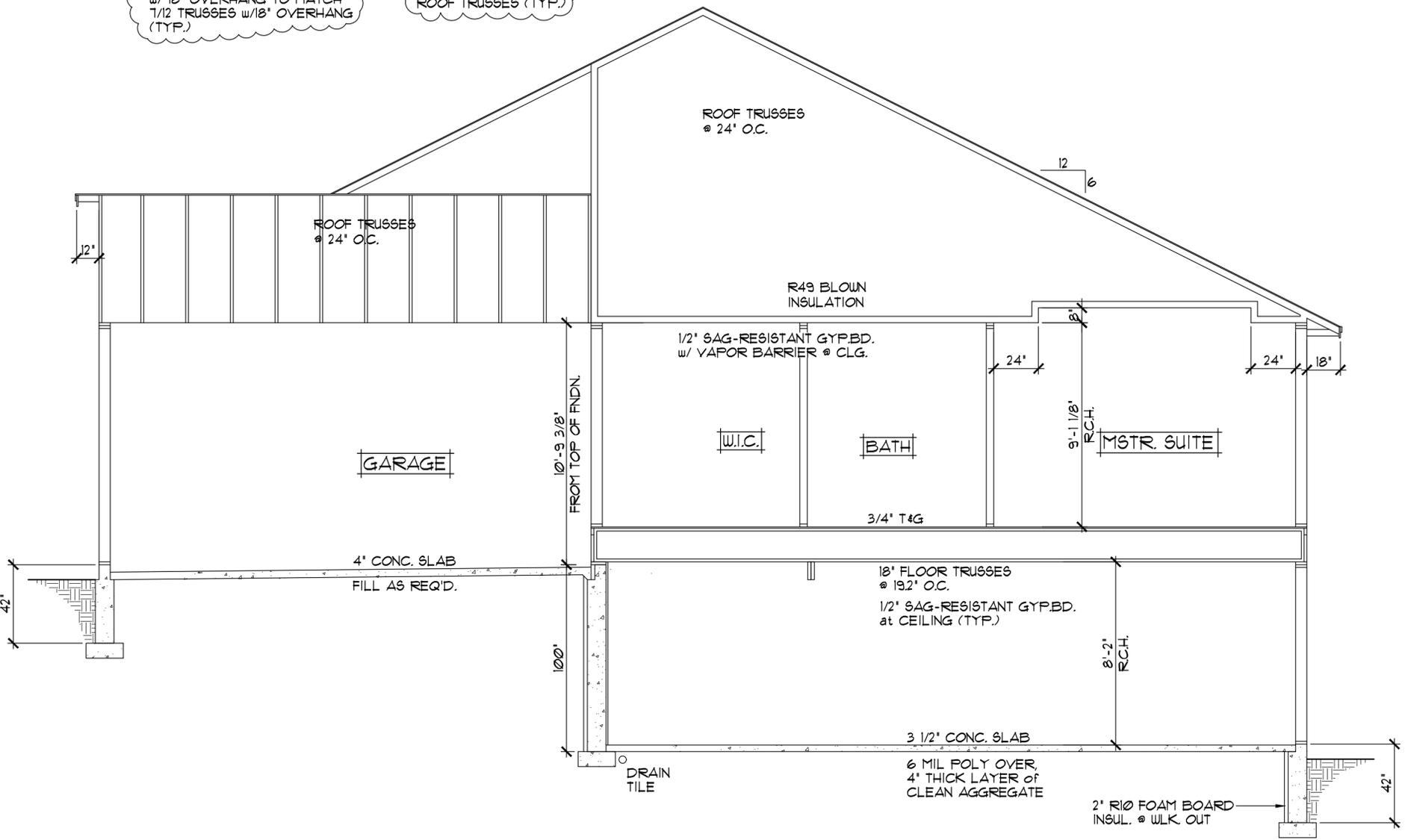
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NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)

NOTE!!!
ADJUST HEEL HEIGHT @
MAIN LEVEL 10/12 TRUSSES
w/ 18\"/>

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)



CROSS SECTION "A" 1/4"=1'-0"

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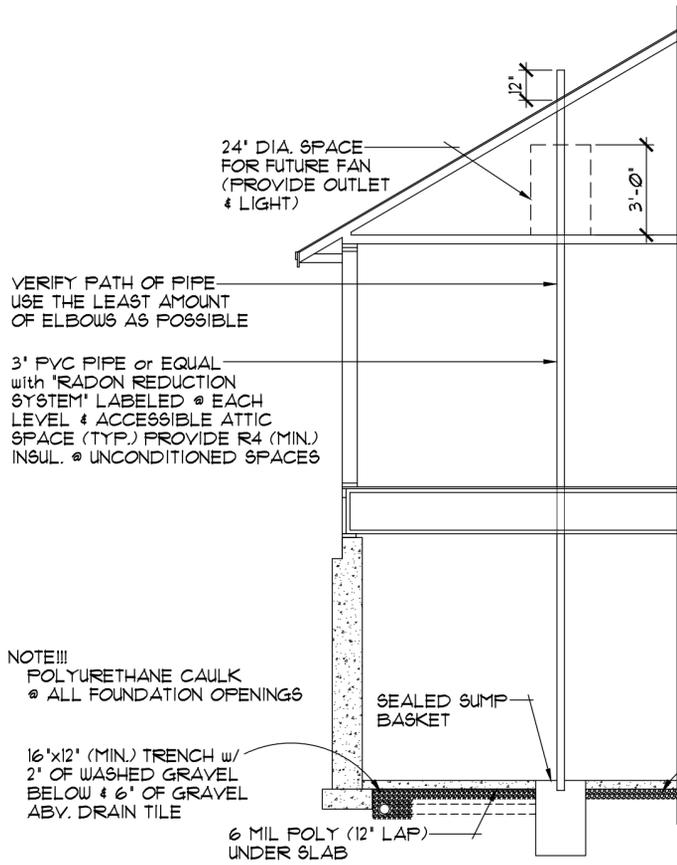
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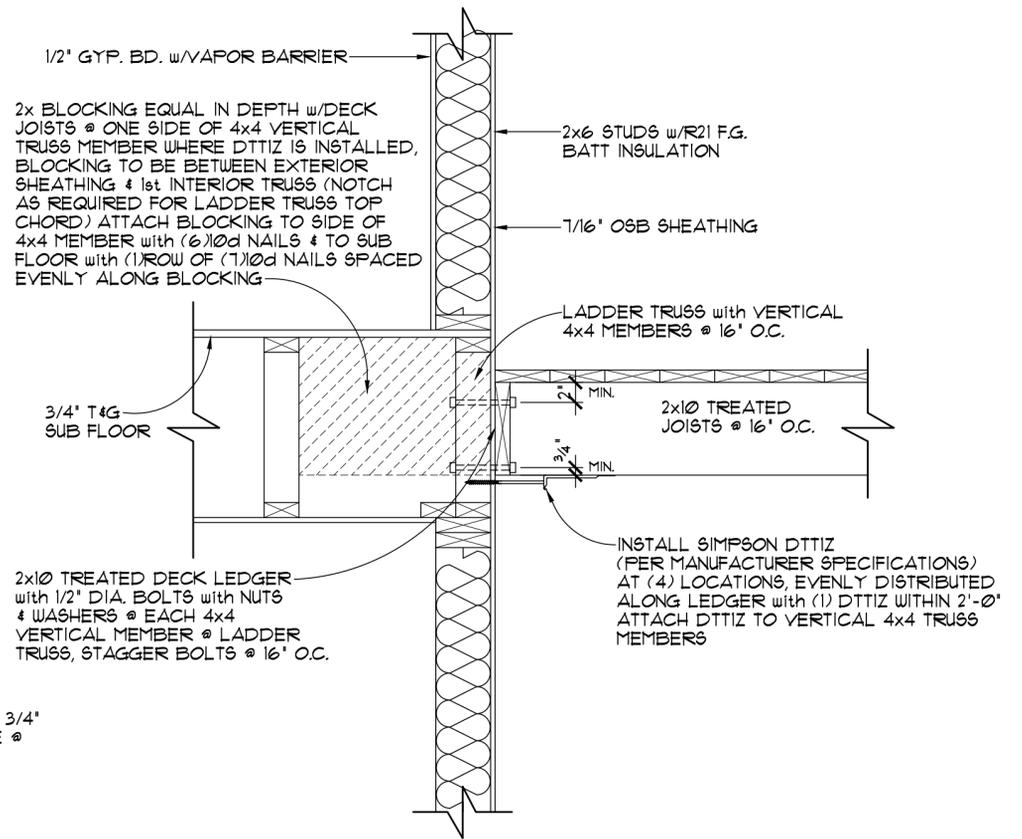
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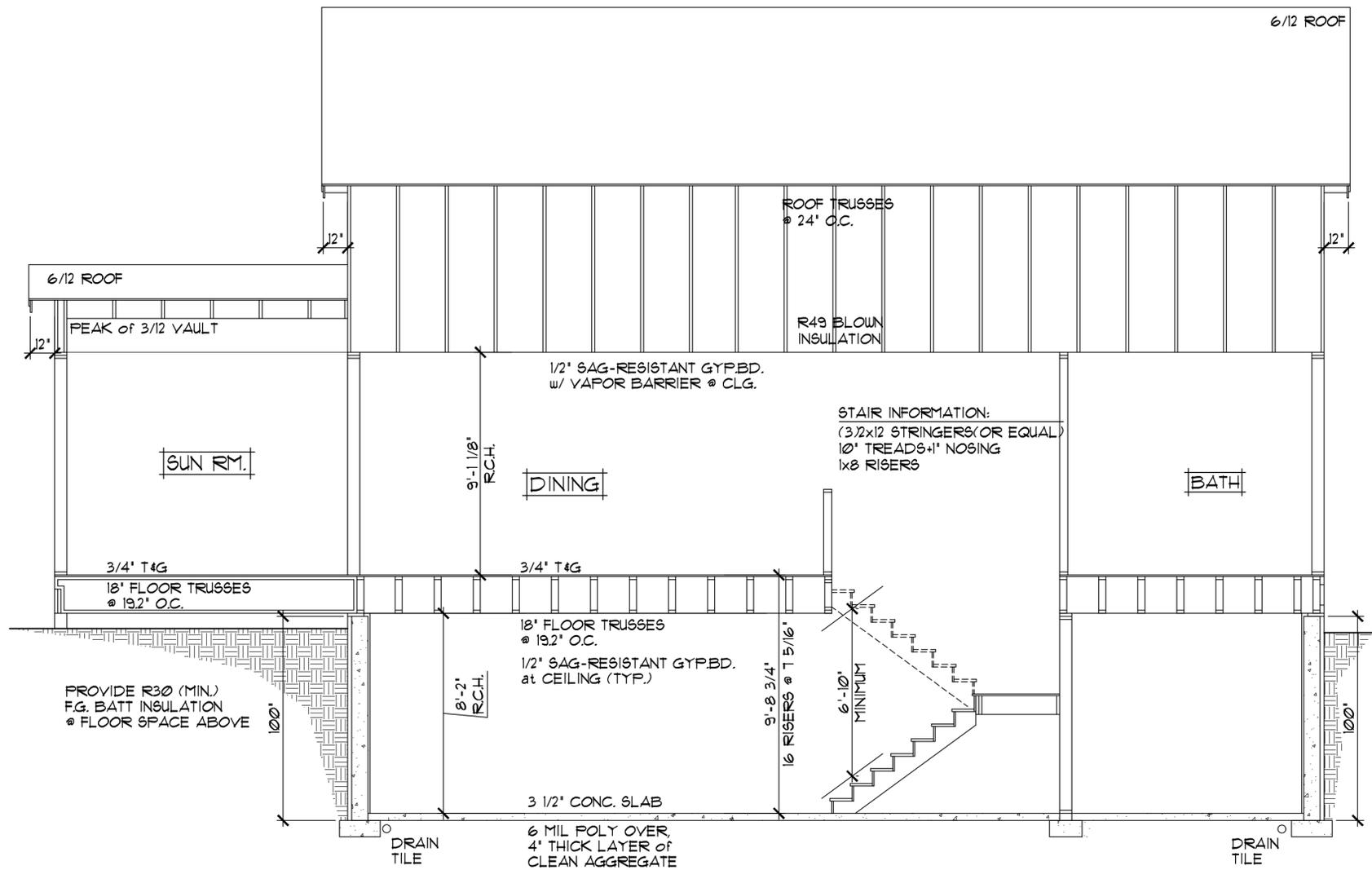
ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



DECK LEDGER DETAIL 1"=1'-0"

NOTE!!!
ADJUST HEEL HEIGHT @ MAIN LEVEL 10/12 TRUSSES w/ 18' OVERHANG TO MATCH 7/12 TRUSSES w/ 18' OVERHANG (TYP.)

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)



CROSS SECTION "C" 1/4"=1'-0"

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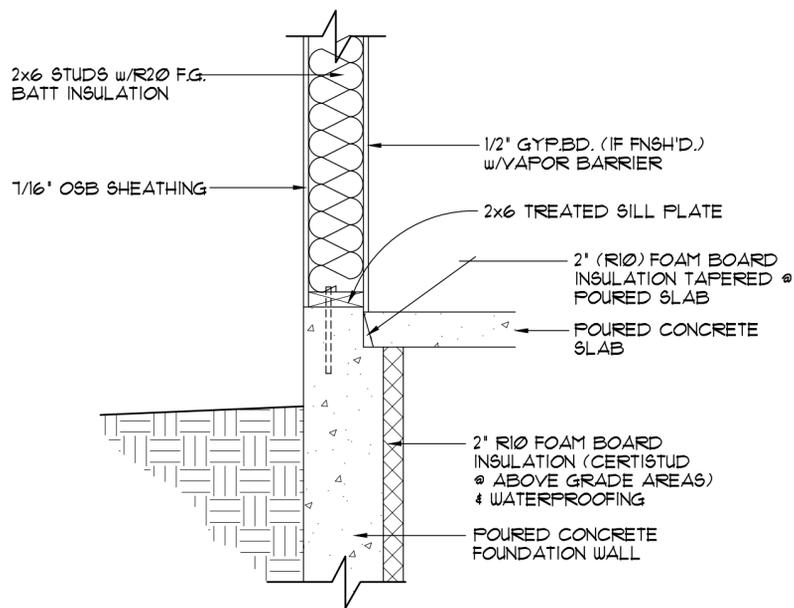
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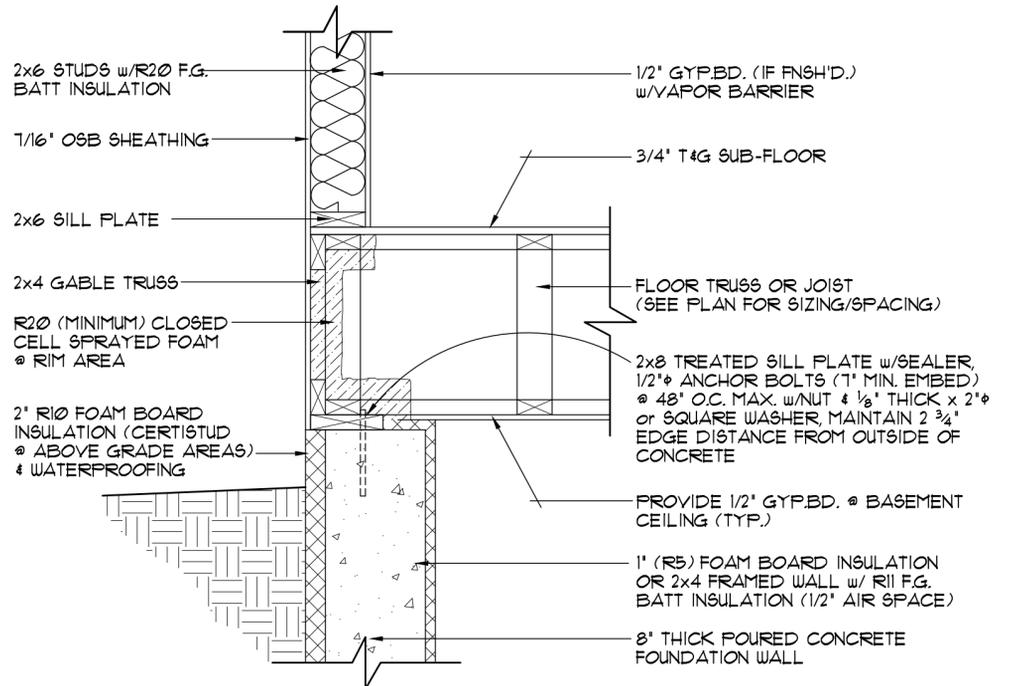
JP Brooks
QUALITY HOME BUILDERS

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SHEET 6 OF 7



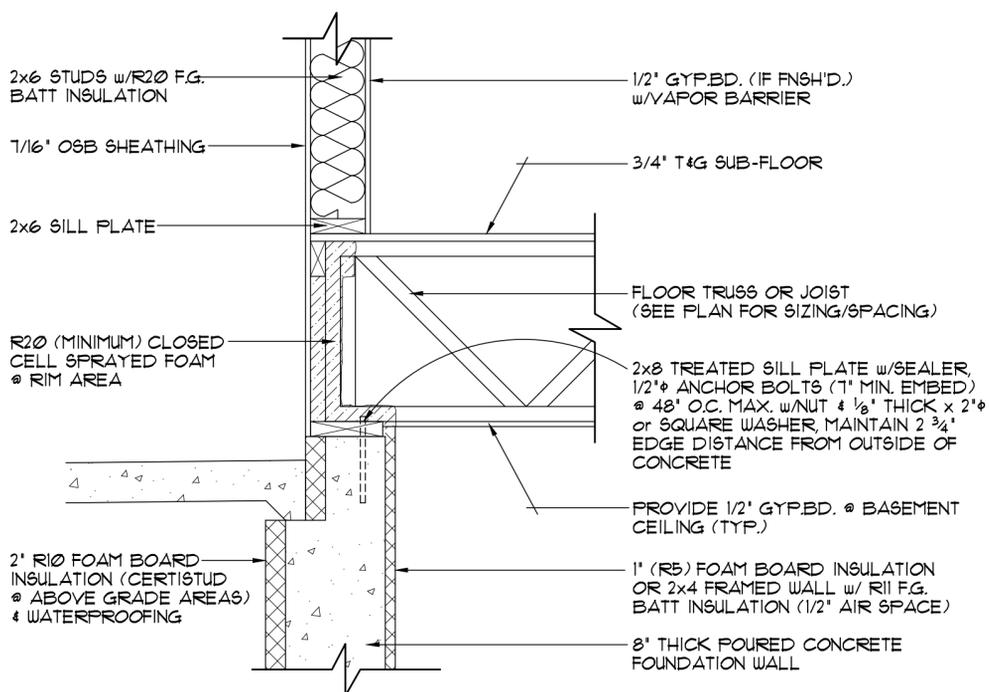
FOUNDATION/RIM AREA DETAIL "A-1" 1"=1'-0"

STANDARD WALKOUT SILL/FOUNDATION AREA
FOUNDATION NOT HELD IN



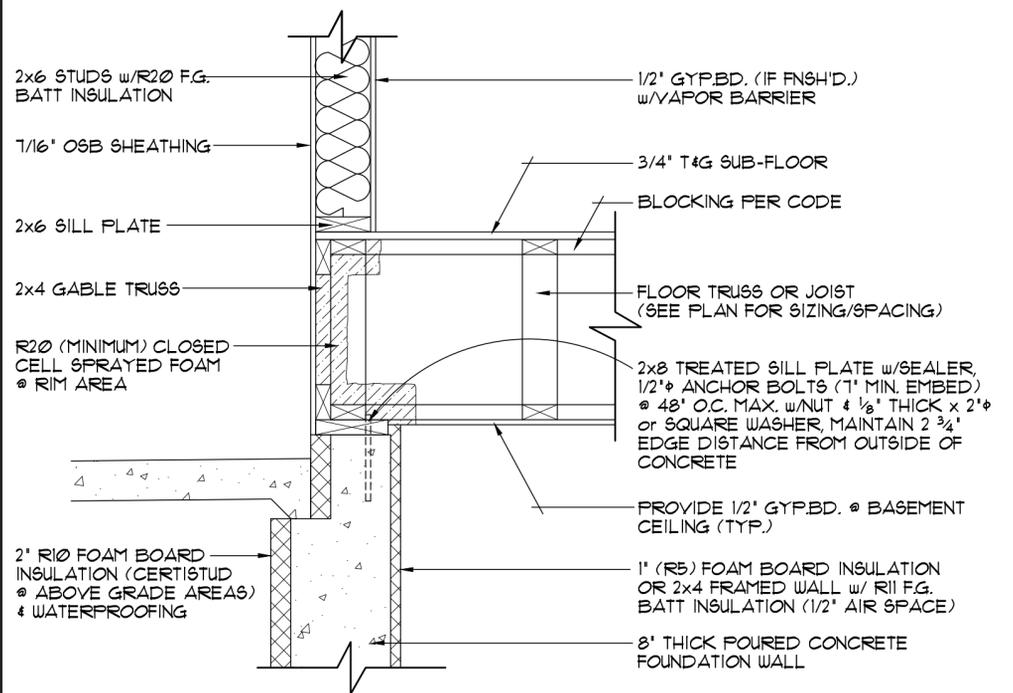
FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"

STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"

BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
FOUNDATION HELD IN 2"



FOUNDATION/RIM AREA DETAIL "A-4" 1"=1'-0"

BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
FOUNDATION HELD IN 2"

BY:RB.
14015
04/01/14
BY:XX
00000
XXXXXX
REVISIONS

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REVISIONS	BY
16151	WLC

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC
• SINGLE HUNG UNIT U-VALUE = 0.31 SHGC = 0.35 STC = 21
• SLIDER UNIT U-VALUE = 0.31 SHGC = 0.35 STC = 26
• FIXED UNIT U-VALUE = 0.30 SHGC = 0.37 STC = 26
• DOUBLE HUNG UNIT U-VALUE = 0.32 SHGC = 0.32 STC = 28
• SLIDING PATIO DOOR U-VALUE = 0.29 SHGC = 0.35 STC = 28

NOTE!!!
ADJUST HEEL HEIGHT @ 8/12
MAIN ROOF w/ 18" OVERHANGS
to MATCH EAVE HEIGHT w/ 6/12
MAIN ROOF w/ 18" OVERHANGS

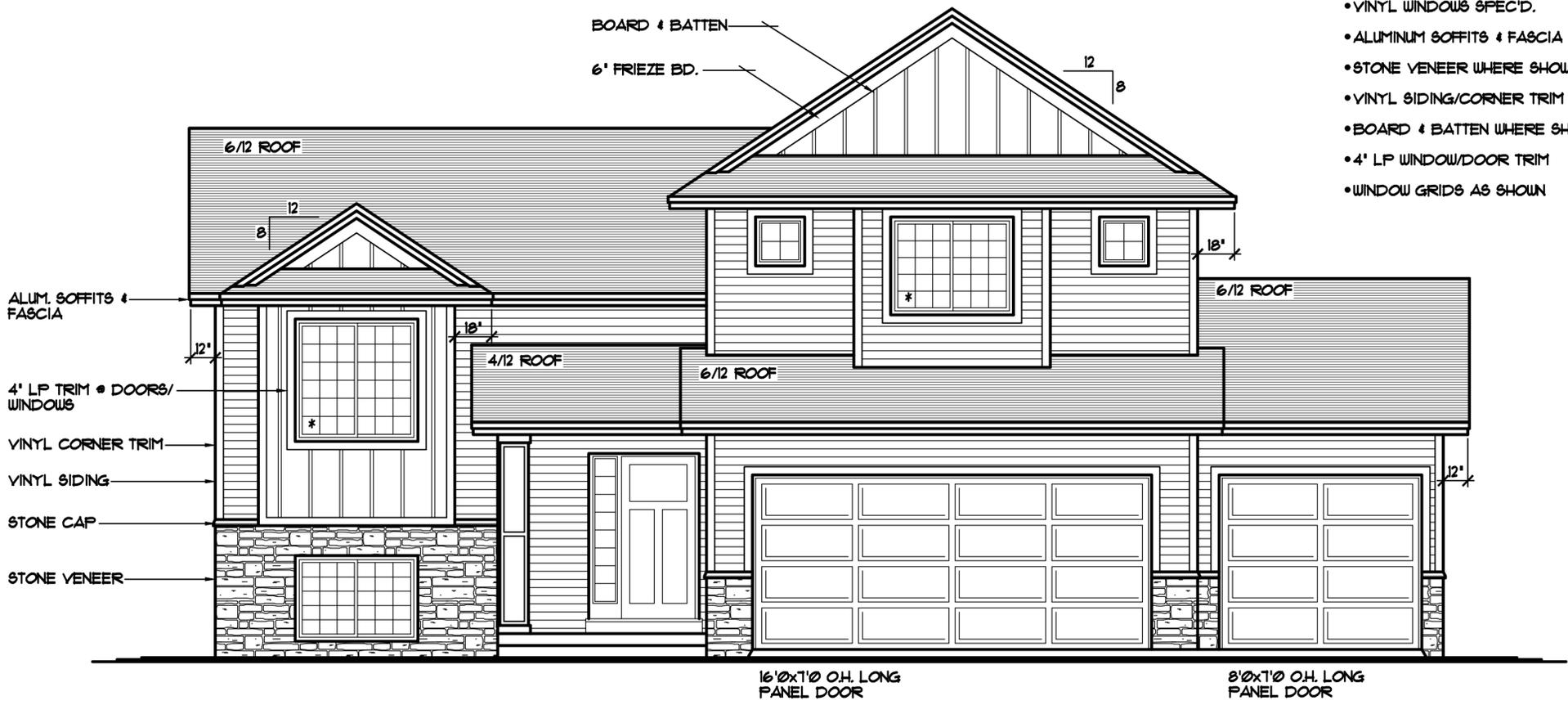
NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (U.N.O.)

NOTE!!!
ADJUST HEEL HEIGHT @ 6/12
GARAGE ROOF w/ 18" OVERHANGS
to MATCH EAVE HEIGHT w/ 4/12
PORCH ROOF w/ 18" OVERHANGS

NOTE!!!
UPPER LEVEL BUMP OUT to be
BUILT ON GARAGE ROOF DECK

NOTE!!!
WINDOWS w/ '*' REQUIRE
SASH LIMITER (TYP.)

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW RO.
BASEMENT	8'-1 1/8"	6'-10 1/2"
MAIN LEVEL	8'-1 1/8"	6'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"



- VINYL WINDOWS SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- BOARD & BATTEN WHERE SHOWN
- 4' LP WINDOW/DOOR TRIM
- WINDOW GRIDS AS SHOWN

FRONT ELEVATION 1/4"=1'-0"
 913 SQFT. MAIN LEVEL
 318 SQFT. UPPER LEVEL
 1351 SQFT. ABOVE GRADE

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 WWW.CROIXDESIGN.COM

BUILT BY:

QUALITY HOME BUILDERS

DRAWN L.V.
CHECKED XX
DATE: 11/27/2018
SCALE: AS NOTED
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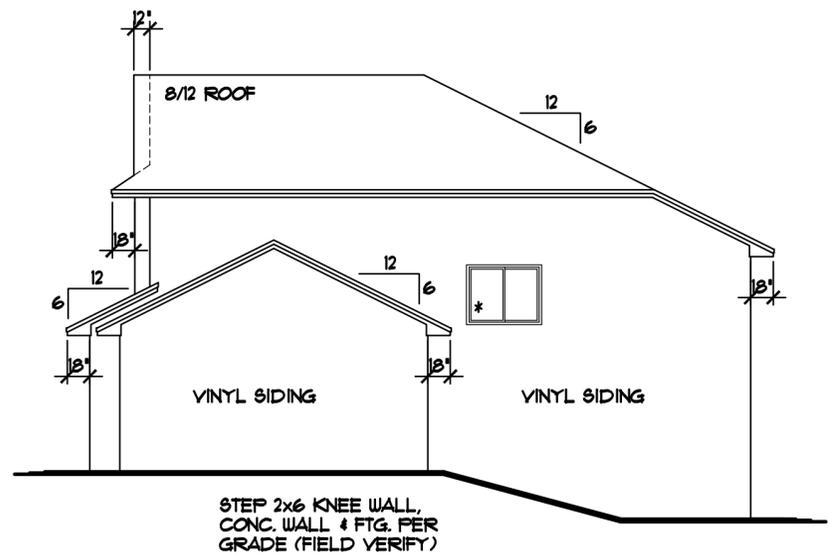
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RIGHT ELEVATION 1/8"=1'-0"

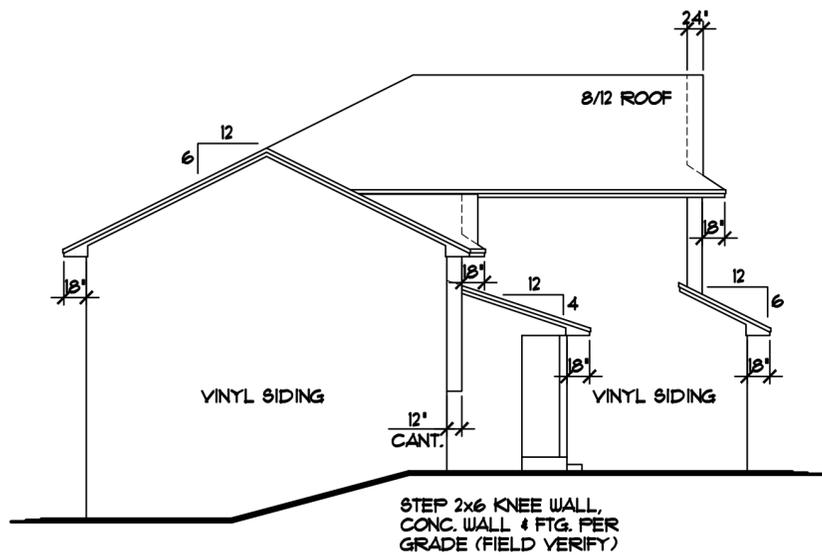
NOTE!!!
 PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (W.N.O.)

NOTE!!!
 ADJUST HEEL HEIGHT @ 8/12 MAIN ROOF w/ 18" OVERHANGS TO MATCH EAVE HEIGHT w/ 6/12 MAIN ROOF w/ 18" OVERHANGS

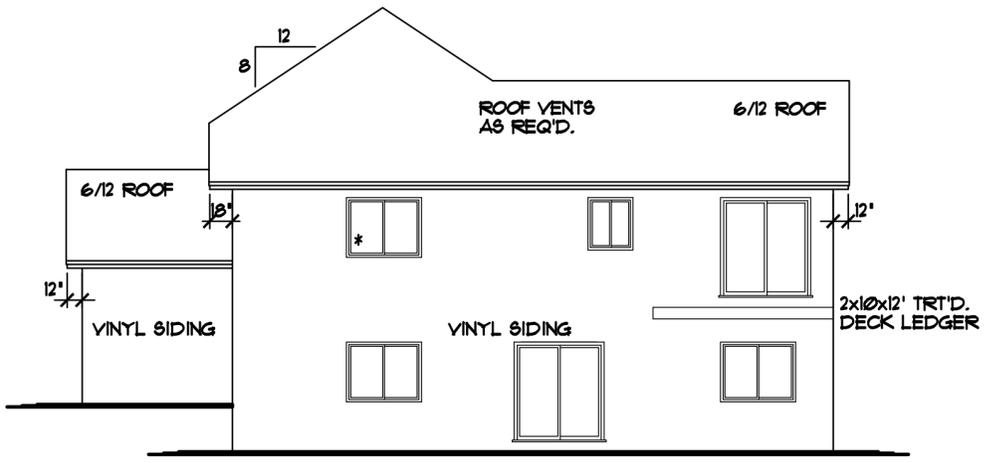
NOTE!!!
 ADJUST HEEL HEIGHT @ 6/12 GARAGE ROOF w/ 18" OVERHANGS TO MATCH EAVE HEIGHT w/ 4/12 PORCH ROOF w/ 18" OVERHANGS

NOTE!!!
 UPPER LEVEL BUMP OUT TO BE BUILT ON GARAGE ROOF DECK

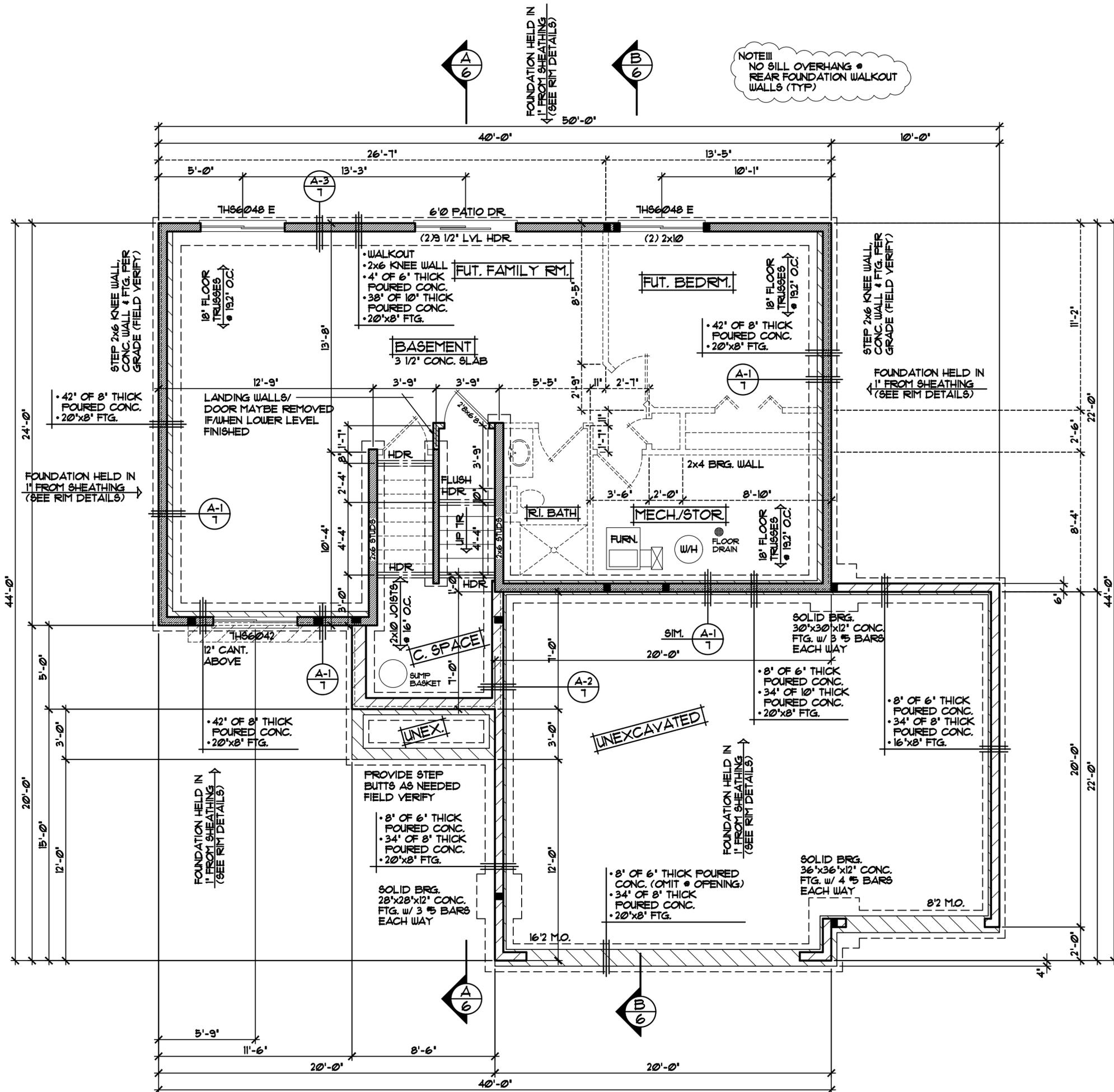
NOTE!!!
 WINDOWS w/ '*' REQUIRE SASH LIMITER (TYP.)



LEFT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



NOTE III
NO SILL OVERHANG •
REAR FOUNDATION WALKOUT
WALLS (TYP)

WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
• SINGLE HUNG UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 21
• SLIDER UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 26
• FIXED UNIT	U-VALUE = 0.30 SHGC = 0.37 STC = 26
• DOUBLE HUNG UNIT	U-VALUE = 0.32 SHGC = 0.32 STC = 28
• SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28

NOTE III
VERIFY ALL MECHANICAL
EQUIPMENT LOCATIONS,
LOCATIONS ON PLAN ARE
REPRESENTATION ONLY

FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE LOWER LEVEL (UNLESS NOTED OTHERWISE)
- PROVIDE 1/2" GYP. BD. • BASEMENT CEILING & ALLOW 80 SQFT. (MAX) OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE • PERIMETER OF OPEN AREA

FOUNDATION CONST. NOTES

- POURED CONCRETE FOUNDATION. VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO OUTSIDE OF EXTERIOR FOAM BOARD INSUL. OR SHEATHING. FOUNDATION TO BE HELD IN WHERE NOTED/SHOWN
- PROVIDE 2" R10 FOAM BOARD INSULATION • EXTERIOR FOUNDATION WALLS & 1" R5 FOAM BOARD INSULATION AT INTERIOR SIDE OF FOUNDATION WALLS (TYP.)
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED VERIFY ROUGH OPENINGS w/ SUPPLIER (TYP.)
- WINDOWS WITH "S" REQUIRE A SASH LIMITER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON LOWER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

FOUNDATION PLAN 1/4"=1'-0"

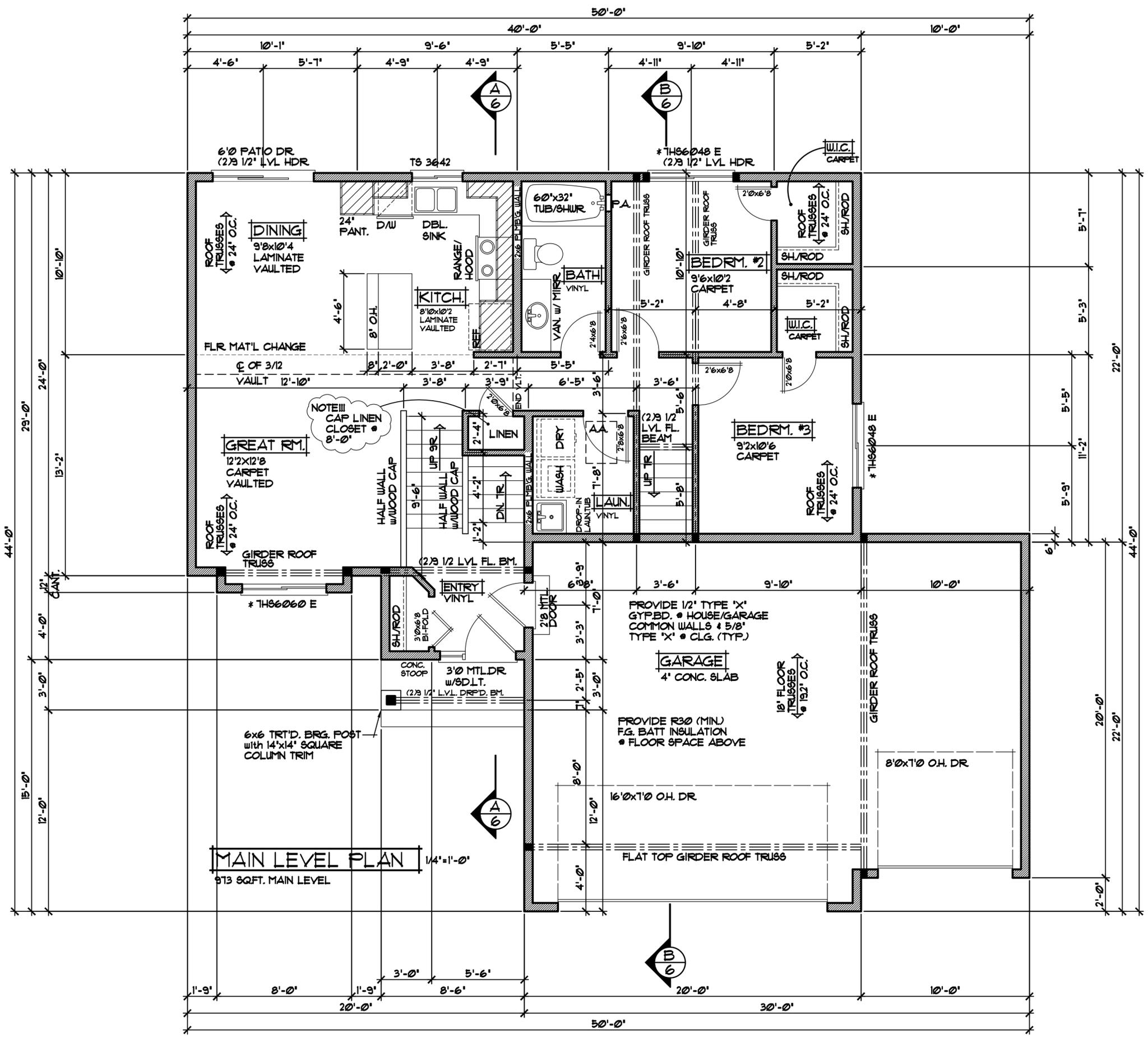
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MAIN LEVEL PLAN
973 SQFT. MAIN LEVEL

WINDOW and DOOR PERFORMANCE DATA		
U-VALUE	SHGC	STC
• SINGLE HUNG UNIT		
U-VALUE = 0.31	SHGC = 0.35	STC = 21
• SLIDER UNIT		
U-VALUE = 0.31	SHGC = 0.35	STC = 26
• FIXED UNIT		
U-VALUE = 0.30	SHGC = 0.37	STC = 26
• DOUBLE HUNG UNIT		
U-VALUE = 0.32	SHGC = 0.32	STC = 28
• SLIDING PATIO DOOR		
U-VALUE = 0.29	SHGC = 0.35	STC = 28

FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT @ ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT @ GARAGE FROM ENTRY LEVEL SUB-FLOOR
- FRAME ALL GARAGE WALLS w/ 2x6 STUDS @ 16" O.C. (TYP.)

DOOR & WINDOW NOTES

- VINYL WINDOWS SPECIFIED VERIFY ROUGH OPENINGS w/ SUPPLIER (TYP.)
- WINDOWS with "*" REQUIRE A SASH LIMITER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2x2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

- SINGLE HUNG UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 21
- SLIDER UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 26
- FIXED UNIT
U-VALUE = 0.30
SHGC = 0.37
STC = 26
- DOUBLE HUNG UNIT
U-VALUE = 0.32
SHGC = 0.32
STC = 28
- SLIDING PATIO DOOR
U-VALUE = 0.29
SHGC = 0.35
STC = 28

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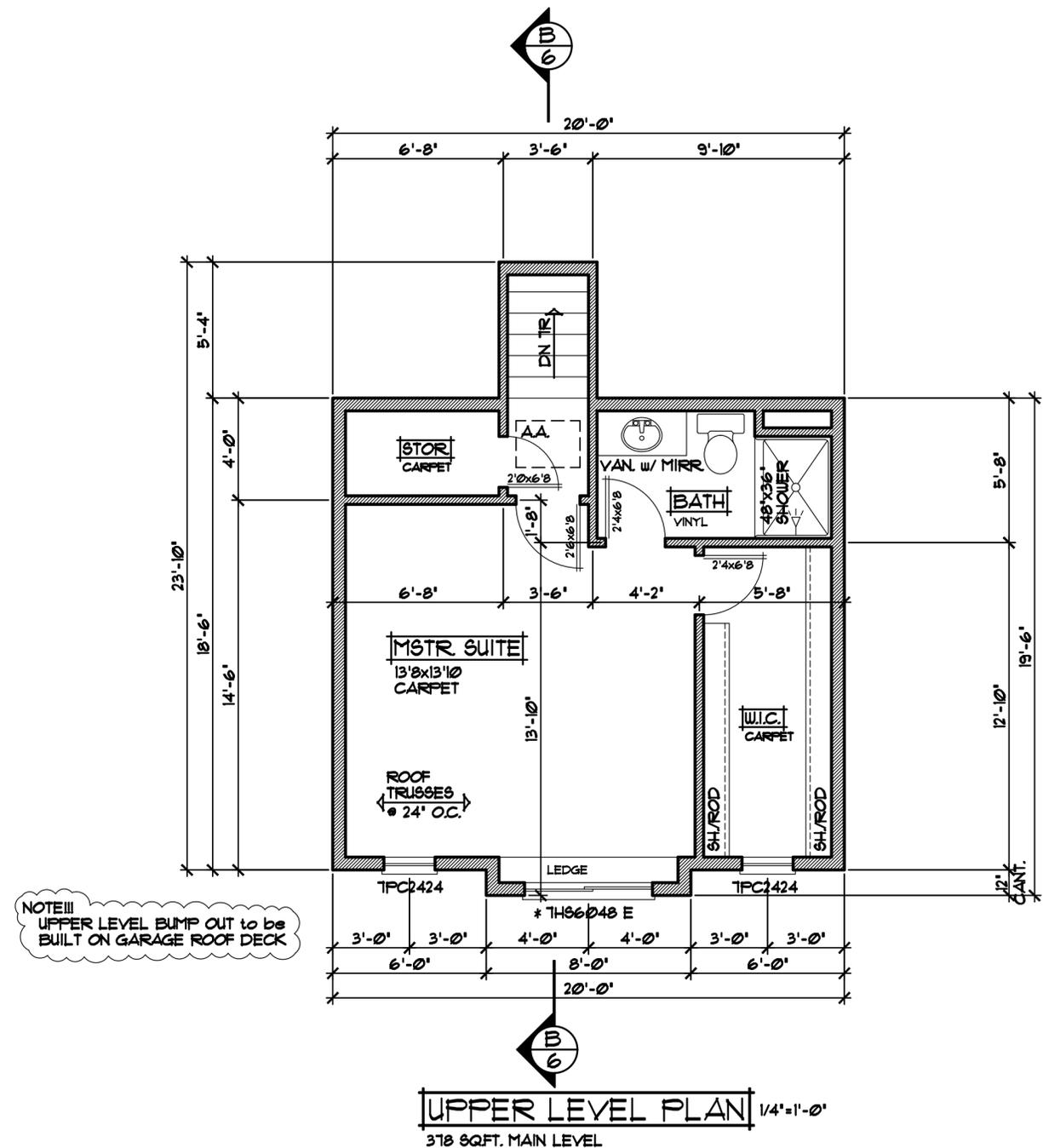
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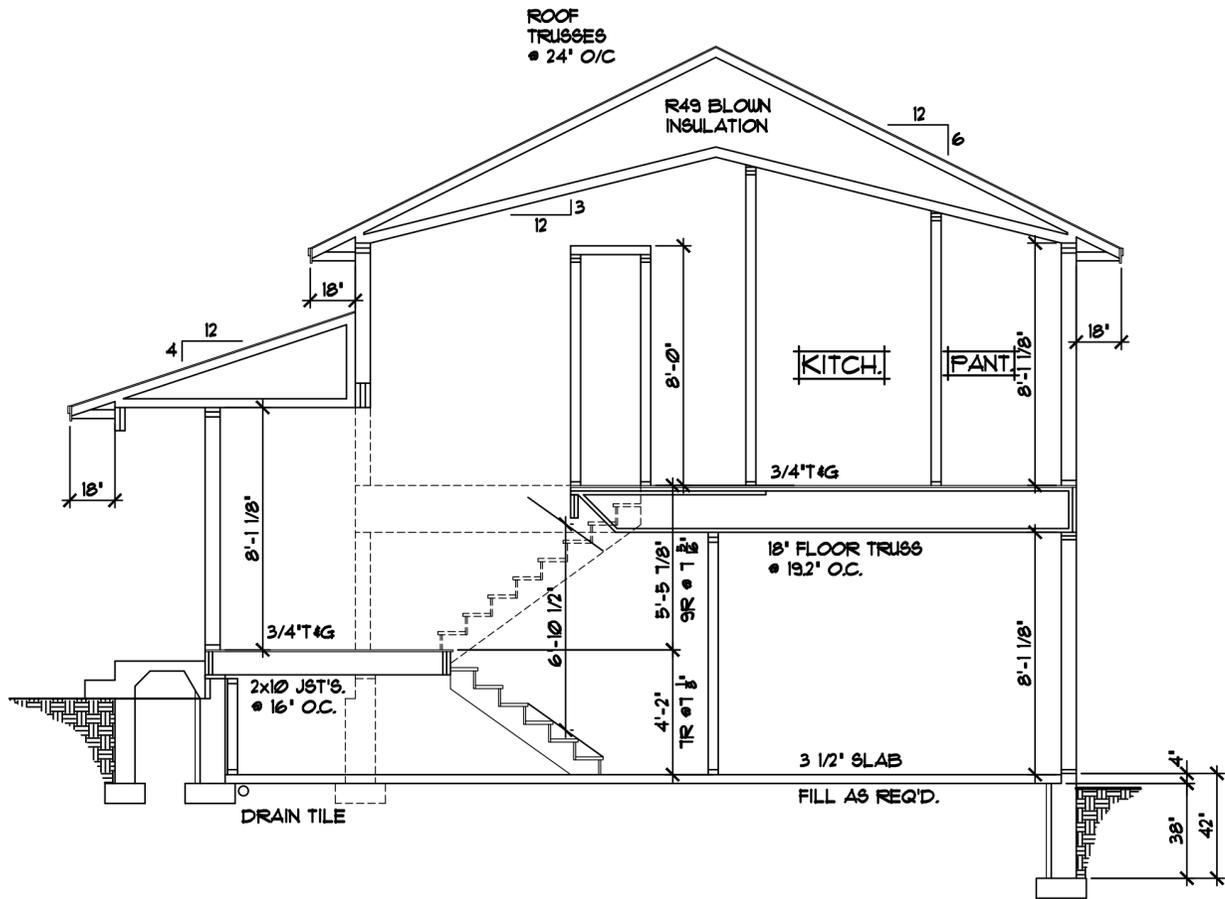


FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT @ ENTIRE UPPER LEVEL (UNLESS NOTED OTHERWISE)

DOOR & WINDOW NOTES

- VINYL WINDOWS SPECIFIED VERIFY ROUGH OPENINGS w/ SUPPLIER (TYP.)
- WINDOWS with " * " REQUIRE A SASH LIMITER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON UPPER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)



VERIFY PATH OF PIPE
USE THE LEAST AMOUNT
OF ELBOUS AS POSSIBLE

3" PVC PIPE or EQUAL
with "RADON REDUCTION
SYSTEM" LABELED • EACH
LEVEL • ACCESSIBLE ATTIC
SPACE (TYP.) PROVIDE R4 (MIN.)
INSUL. • UNCONDITIONED SPACES

NOTE III
POLYURETHANE CAULK
• ALL FOUNDATION OPENINGS

UNIFORM LAYER OF 3/4"
CLEAN AGGREGATE •
4" THICK (MIN.)

6 MIL POLY (12" LAP)
UNDER SLAB

**ALTERNATE METHOD FOR PASSIVE
RADON MITIGATION SYSTEM**

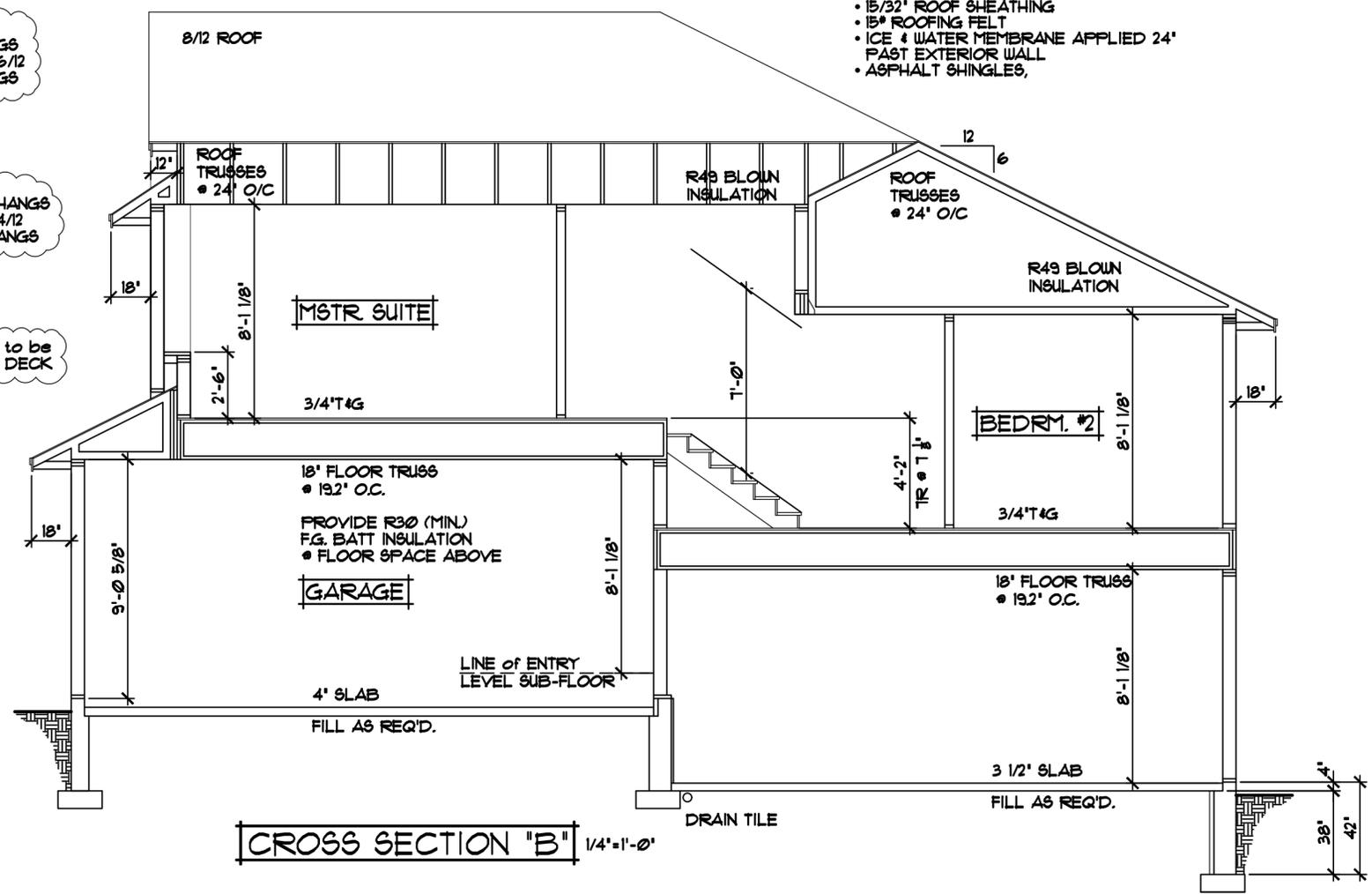
NOTE III
PROVIDE STANDARD
ENERGY HEEL • ALL
ROOF TRUSSES (U.N.O.)

- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" ROOF SHEATHING
 - 15" ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" FAST EXTERIOR WALL
 - ASPHALT SHINGLES,

NOTE III
ADJUST HEEL HEIGHT • 8/12
MAIN ROOF w/ 18' OVERHANGS
to MATCH EAVE HEIGHT w/ 6/12
MAIN ROOF w/ 18' OVERHANGS

NOTE III
ADJUST HEEL HEIGHT • 6/12
GARAGE ROOF w/ 18' OVERHANGS
to MATCH EAVE HEIGHT w/ 4/12
PORCH ROOF w/ 18' OVERHANGS

NOTE III
UPPER LEVEL BUMP OUT to be
BUILT ON GARAGE ROOF DECK



- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - ALUMINUM FASCIA COVER
 - ALUMINUM VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 F.G. BATT INSULATION
 - 4 MIL POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

- WALL CONSTRUCTION:**
- SIMILAR TO ABOVE

- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE • WALKOUT AREAS)
 - 1/2" ANCHOR BOLTS • 48" O.C.

- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
 - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

CROSS SECTION "B" 1/4"=1'-0"

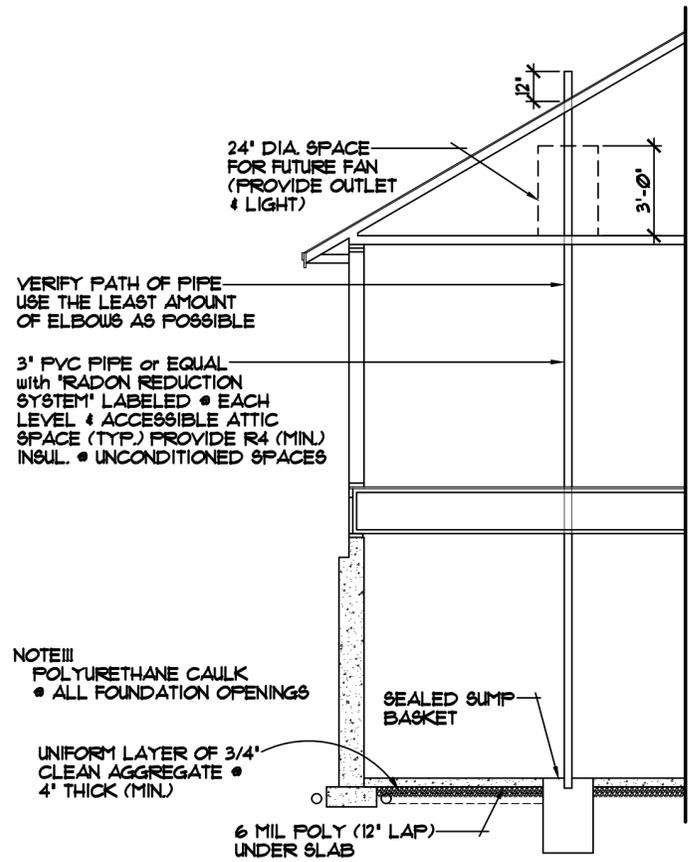
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24" DIA. SPACE FOR FUTURE FAN (PROVIDE OUTLET & LIGHT)

VERIFY PATH OF PIPE USE THE LEAST AMOUNT OF ELBOWS AS POSSIBLE

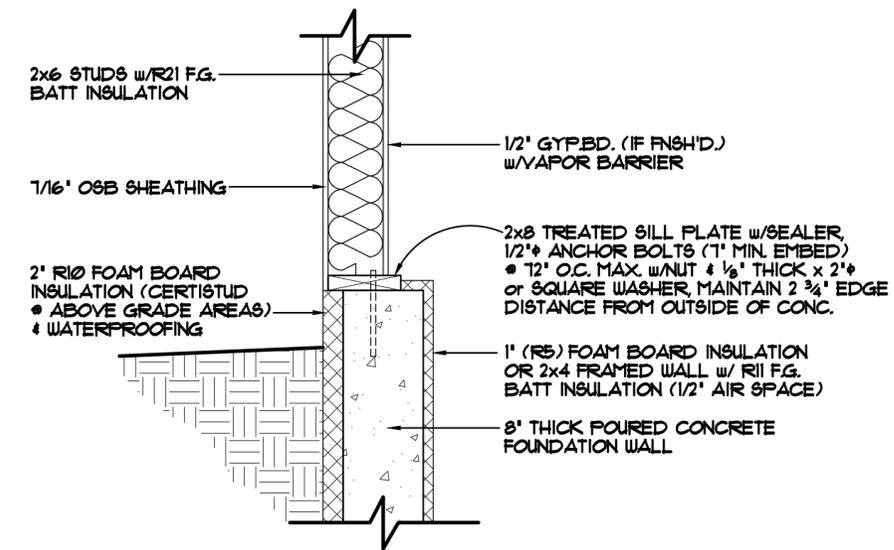
3" PVC PIPE or EQUAL with "RADON REDUCTION SYSTEM" LABELED • EACH LEVEL & ACCESSIBLE ATTIC SPACE (TYP.) PROVIDE R4 (MIN.) INSUL. • UNCONDITIONED SPACES

NOTE III POLYURETHANE CAULK • ALL FOUNDATION OPENINGS

UNIFORM LAYER OF 3/4" CLEAN AGGREGATE • 4" THICK (MIN.)

6 MIL POLY (12" LAP) UNDER SLAB

ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



2x6 STUDS w/R21 F.G. BATT INSULATION

1/16" OSB SHEATHING

2" R10 FOAM BOARD INSULATION (CERTISTUD • ABOVE GRADE AREAS) & WATERPROOFING

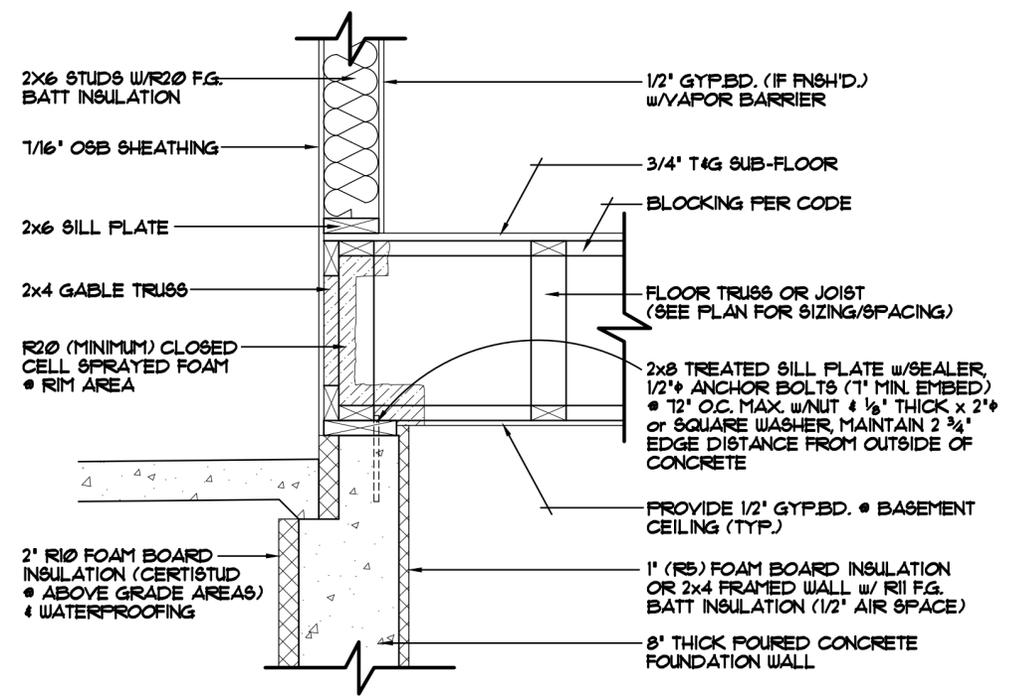
1/2" GYP.BD. (IF FINSH'D.) w/VAPOR BARRIER

2x8 TREATED SILL PLATE w/SEALER, 1/2" ANCHOR BOLTS (1' MIN. EMBED) • T2" O.C. MAX. w/NUT & 1/8" THICK x 2" or SQUARE WASHER, MAINTAIN 2 3/4" EDGE DISTANCE FROM OUTSIDE OF CONC.

1" (R5) FOAM BOARD INSULATION OR 2x4 FRAMED WALL w/ R11 F.G. BATT INSULATION (1/2" AIR SPACE)

8" THICK POURED CONCRETE FOUNDATION WALL

FOUNDATION/RIM AREA DETAIL "A-1" 1"=1'-0"
STANDARD DAYLIGHT SILL/FOUNDATION AREA FOUNDATION HELD IN 2"



2x6 STUDS w/R20 F.G. BATT INSULATION

1/16" OSB SHEATHING

2x6 SILL PLATE

2x4 GABLE TRUSS

R20 (MINIMUM) CLOSED CELL SPRAYED FOAM • RIM AREA

2" R10 FOAM BOARD INSULATION (CERTISTUD • ABOVE GRADE AREAS) & WATERPROOFING

1/2" GYP.BD. (IF FINSH'D.) w/VAPOR BARRIER

3/4" T&G SUB-FLOOR

BLOCKING PER CODE

FLOOR TRUSS OR JOIST (SEE PLAN FOR SIZING/SPACING)

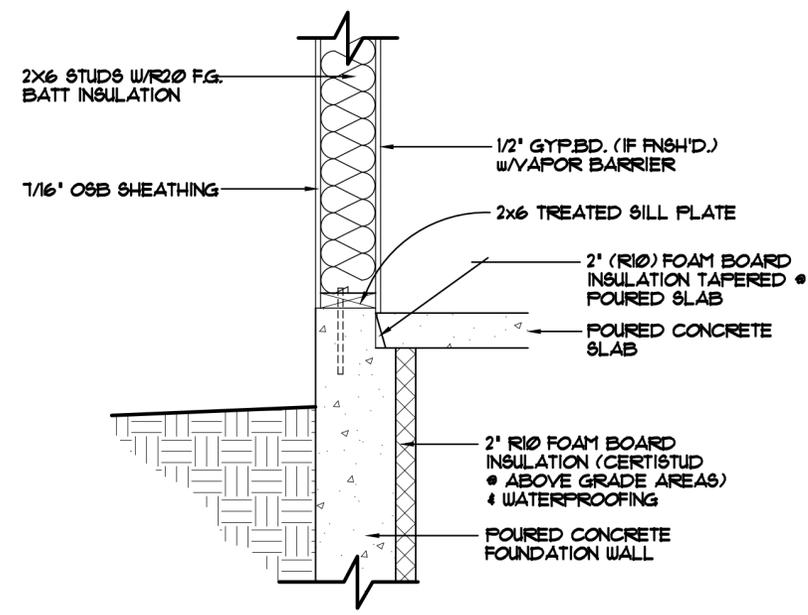
2x8 TREATED SILL PLATE w/SEALER, 1/2" ANCHOR BOLTS (1' MIN. EMBED) • T2" O.C. MAX. w/NUT & 1/8" THICK x 2" or SQUARE WASHER, MAINTAIN 2 3/4" EDGE DISTANCE FROM OUTSIDE OF CONCRETE

PROVIDE 1/2" GYP.BD. • BASEMENT CEILING (TYP.)

1" (R5) FOAM BOARD INSULATION OR 2x4 FRAMED WALL w/ R11 F.G. BATT INSULATION (1/2" AIR SPACE)

8" THICK POURED CONCRETE FOUNDATION WALL

FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"
BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL FOUNDATION HELD IN 2"



2x6 STUDS w/R20 F.G. BATT INSULATION

1/16" OSB SHEATHING

1/2" GYP.BD. (IF FINSH'D.) w/VAPOR BARRIER

2x6 TREATED SILL PLATE

2" (R10) FOAM BOARD INSULATION TAPERED • POURED SLAB

POURED CONCRETE SLAB

2" R10 FOAM BOARD INSULATION (CERTISTUD • ABOVE GRADE AREAS) & WATERPROOFING

POURED CONCRETE FOUNDATION WALL

FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"
STANDARD WALKOUT SILL/FOUNDATION AREA FOUNDATION NOT HELD IN

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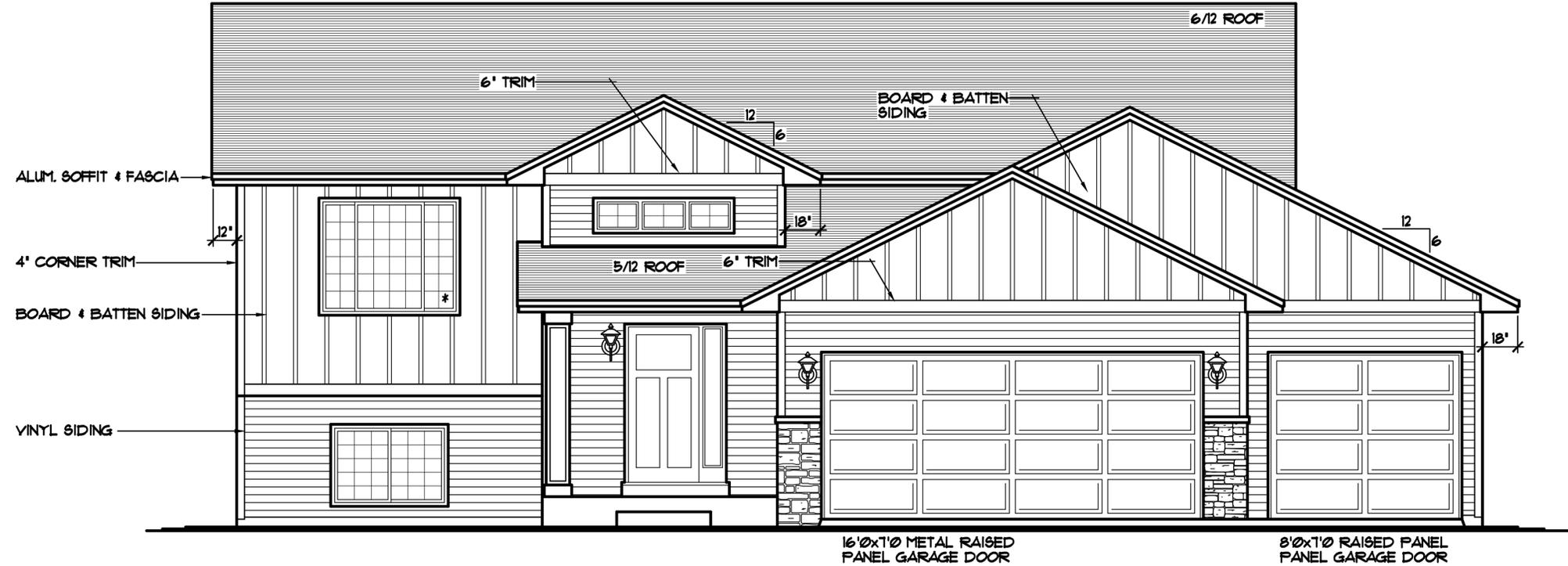
WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC	
• SINGLE HUNG UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 21
• SLIDER UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 26
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• DOUBLE HUNG UNIT	U-VALUE = 0.32 SHGC = 0.32 STC = 28
• SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28

LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW RO.
BASEMENT	8'-1 1/8"	6'-10 1/2"
MAIN LEVEL	8'-1 1/8"	6'-10 1/2"

NOTE III
PROVIDE STANDARD ENERGY HEEL @ MAIN LEVEL ROOF TRUSSES (TYP.)

NOTE III
WINDOWS w/ '*' REQUIRE SASH LIMITER (TYP.)

- JELD WEN WINDOW SIZES SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- VINYL SIDING/VINYL CORNER TRIM (TYP.)
- BOARD & BATTEN WHERE SHOWN
- STONE VENEER WHERE SHOWN
- OPTIONAL WINDOW GRIDS AS SHOWN



FRONT ELEVATION 1/4"=1'-0"
1260 SQFT.
835 SQFT. OPTIONAL FINISHED BASEMENT

THE: **STEWART PLAN**

REVISIONS	BY
16014	RB.

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DATE:	05/22/2019
SCALE:	AS NOTED
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BY:XX	
XXXXXX	0000
BY:XX	

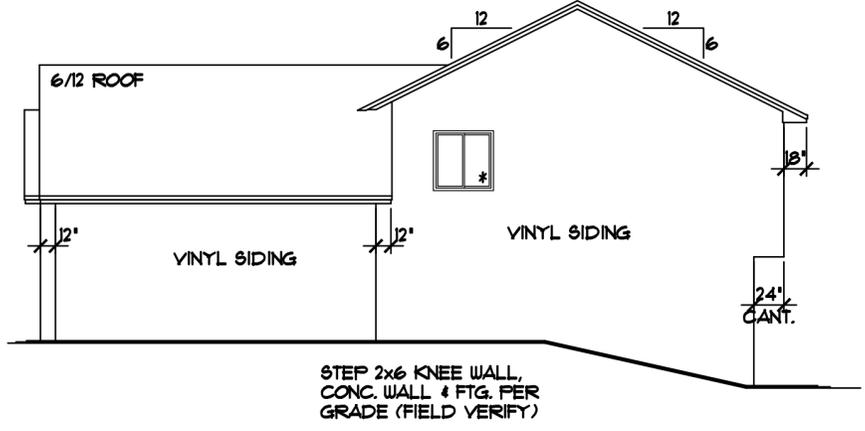
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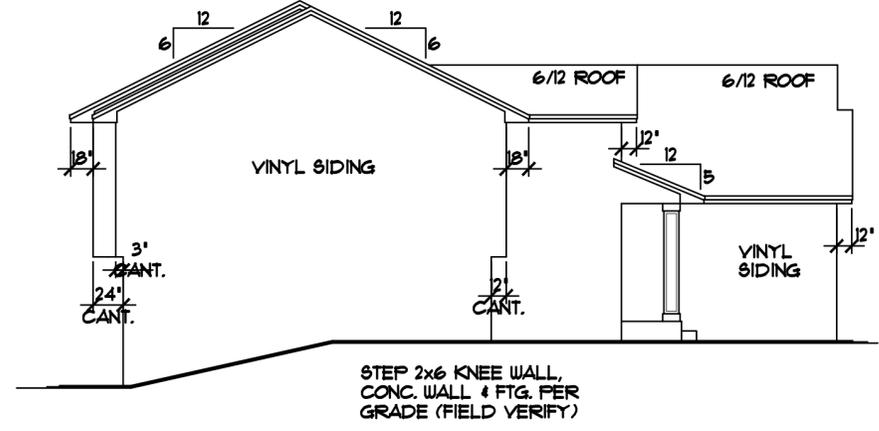
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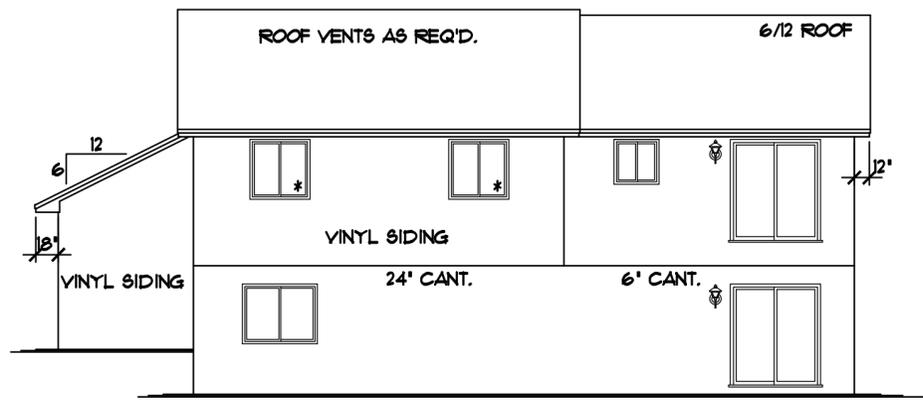
RIGHT ELEVATION 1/8"=1'-0"



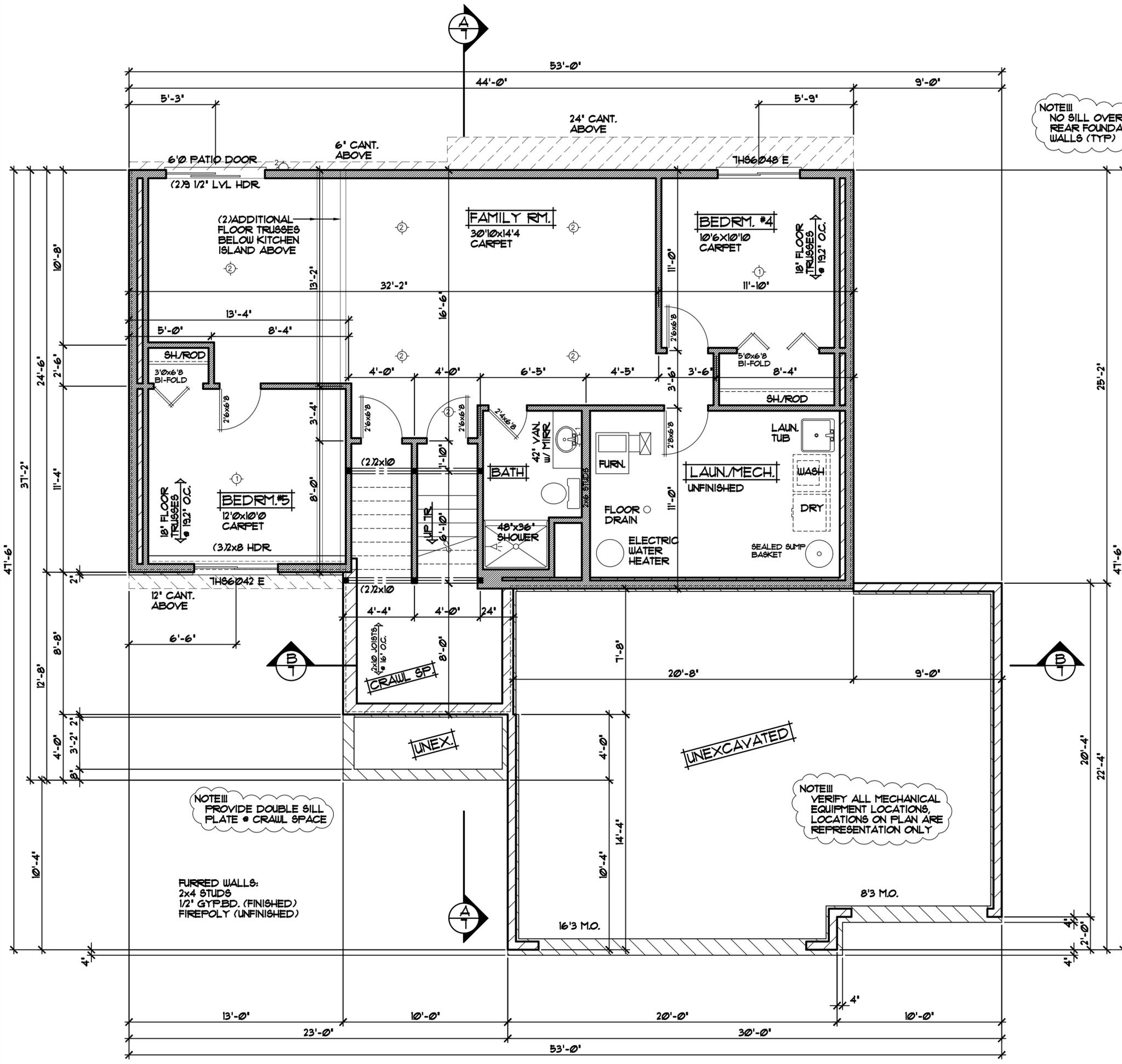
LEFT ELEVATION 1/8"=1'-0"

NOTE III
 PROVIDE STANDARD ENERGY HEEL @ MAIN LEVEL ROOF TRUSSES (TYP.)

NOTE III
 WINDOWS w/ '*' REQUIRE SASH LIMITER (TYP.)



REAR ELEVATION 1/8"=1'-0"



NOTE!!!
NO SILL OVERHANG •
REAR FOUNDATION WALKOUT
WALLS (TYP)

NOTE!!!
PROVIDE DOUBLE SILL
PLATE • CRAWL SPACE

NOTE!!!
VERIFY ALL MECHANICAL
EQUIPMENT LOCATIONS,
LOCATIONS ON PLAN ARE
REPRESENTATION ONLY

FURRED WALLS:
2x4 STUDS
1/2" GYPBD. (FINISHED)
FIREPOLY (UNFINISHED)

LIGHT FIXTURE LEGEND	
⊙	3 BULB FLUSH
⊙	DISC LIGHT
⊙	PENDANT LIGHT
⊙	CHANDELIER
⊙	2 BULB VANITY LIGHT
⊙	EXTERIOR LIGHT

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / STC	
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• SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28

FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE LOWER LEVEL (UNLESS NOTED OTHERWISE)
- PROVIDE 1/2" GYP. BD. • BASEMENT CEILING & ALLOW 80 SQFT. (MAX) OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE • PERIMETER OF OPEN AREA

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with '*' REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2x2x10) 1/2" GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON LOWER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

OPTIONAL BASEMENT FINISH PLAN 1/4"=1'-0"
835 SQ. FT. FINISHED AREA

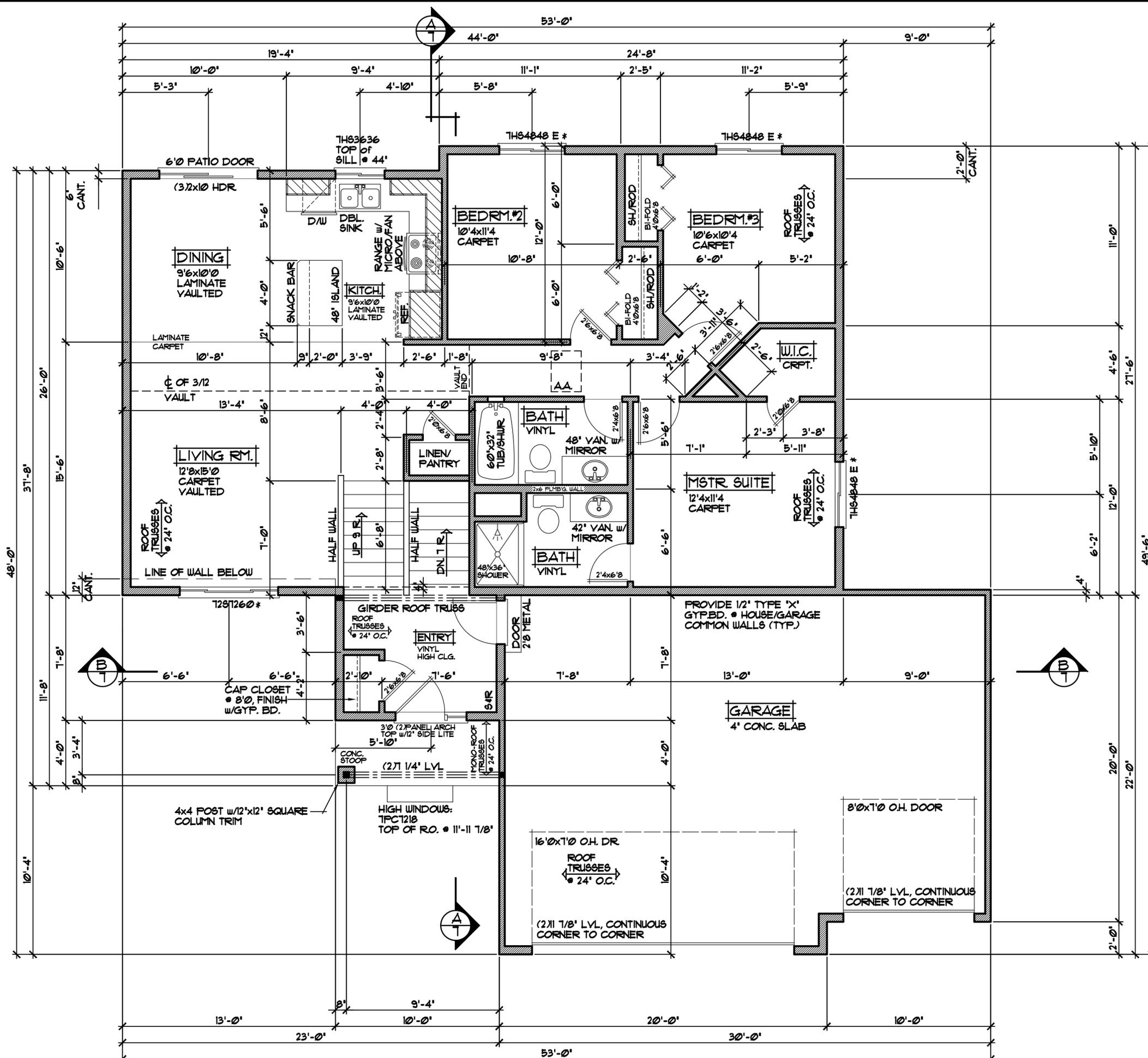
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JP BROOKS



WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
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• SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28

FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- 8'-0" PLATE HEIGHT • GAR FROM FIRST FLOOR SUBFLOOR
- FRAME ALL GARAGE WALLS w/ 2x4 STUDS • 16" O.C. (TYP.)
- FRAME FRONT GARAGE WALLS w/ 2x6 STUDS • 16" O.C. (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "x" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

MAIN LEVEL FLOOR PLAN 1/4" = 1'-0"
1260 SQ. FT.

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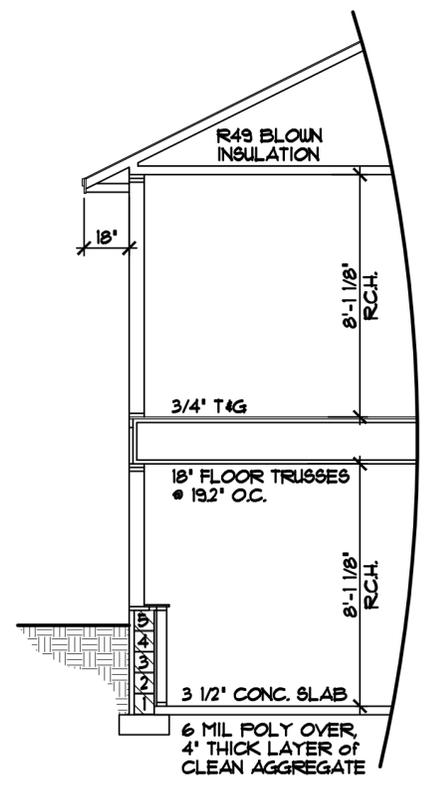
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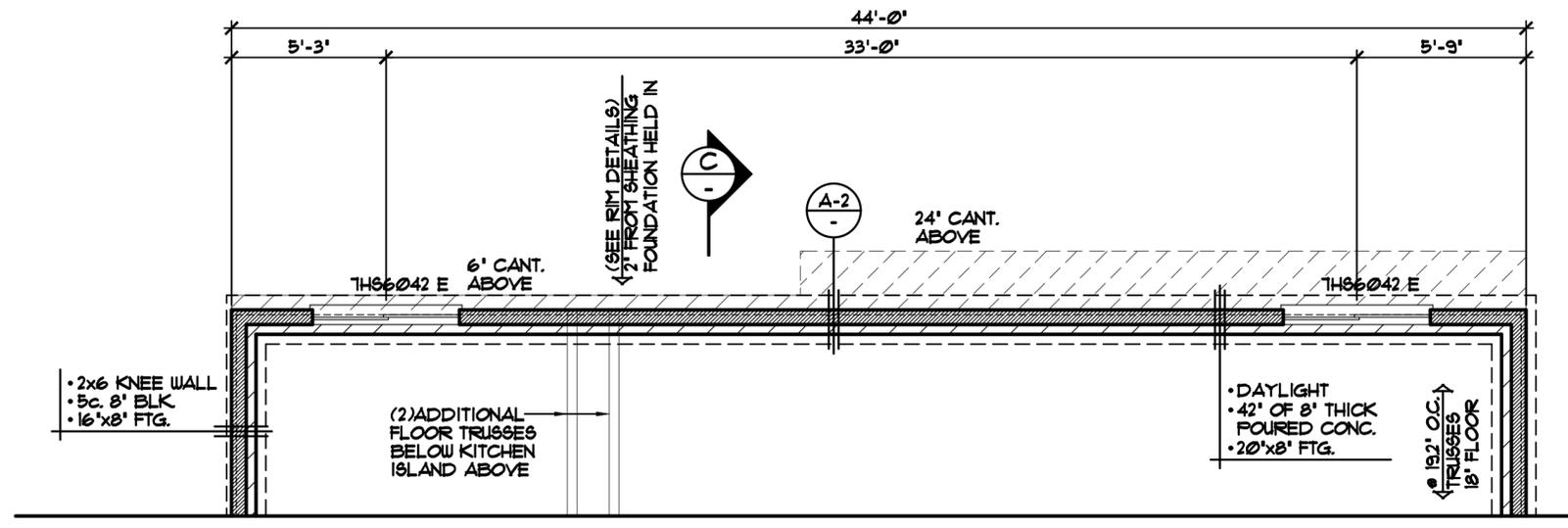
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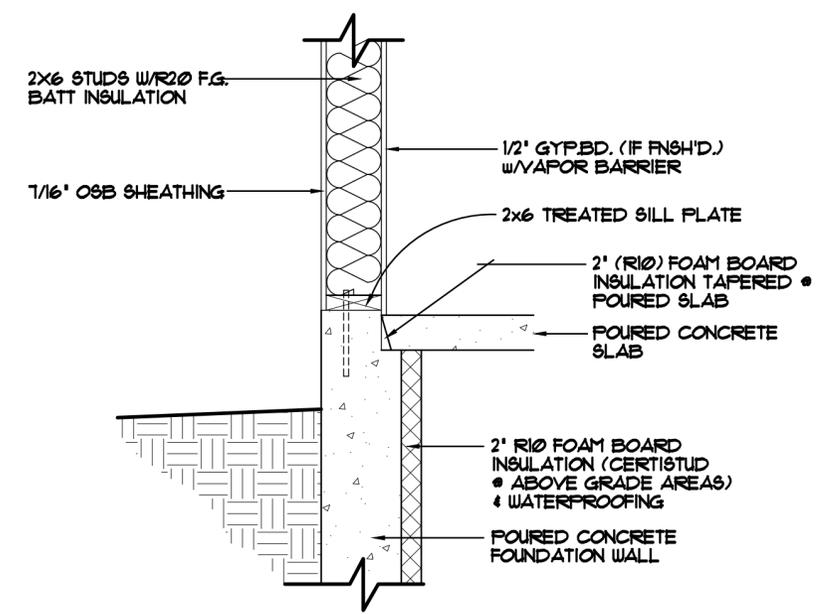
CROSS SECTION "C" 1/4"=1'-0"



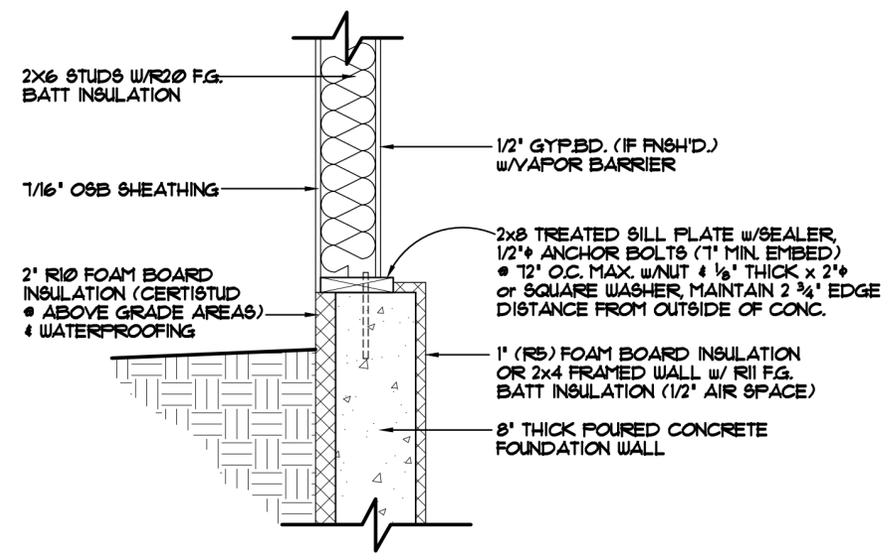
FOUNDATION PLAN 1/4"=1'-0"
DAYLIGHT BASEMENT OPTION

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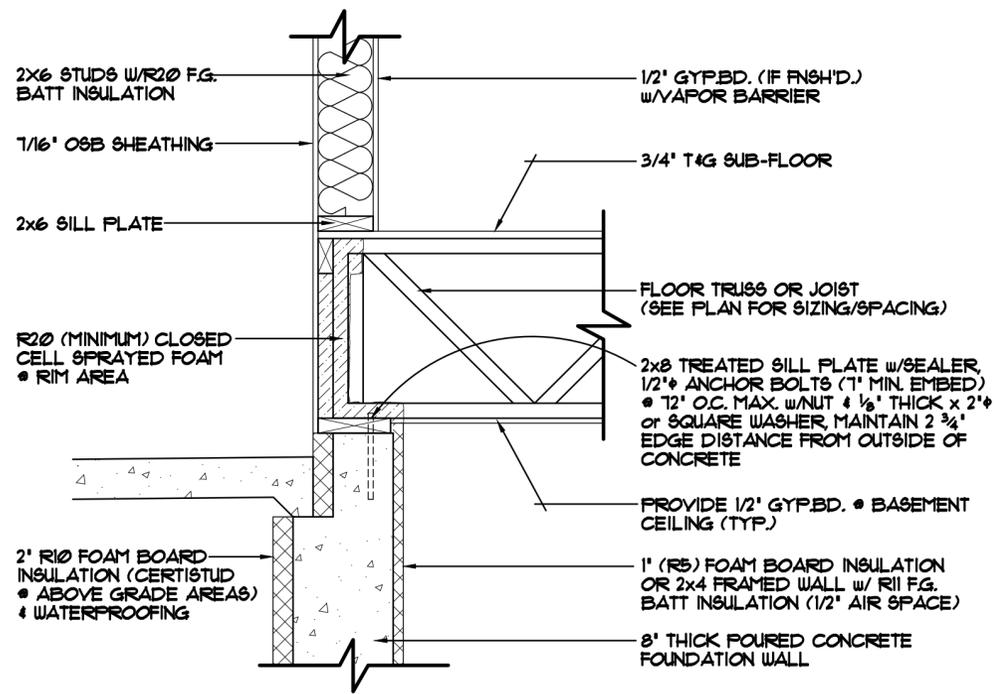
FOUNDATION/RIM AREA DETAIL "A-1" 1"=1'-0"
STANDARD WALKOUT SILL/FOUNDATION AREA
FOUNDATION NOT HELD IN



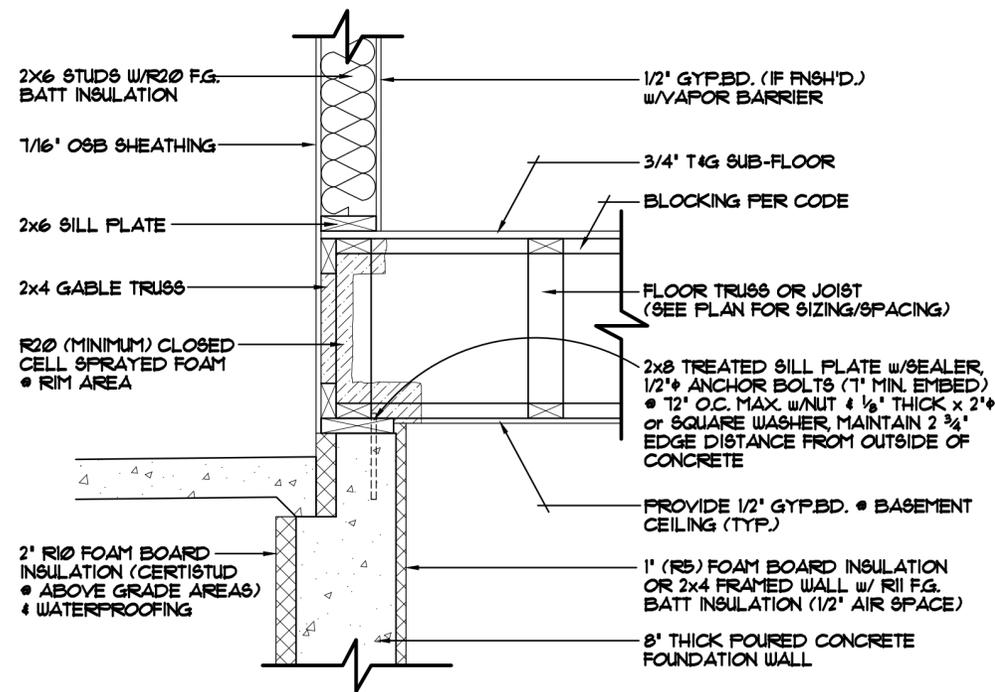
FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"
STANDARD DAYLIGHT SILL/FOUNDATION AREA
FOUNDATION HELD IN 2"

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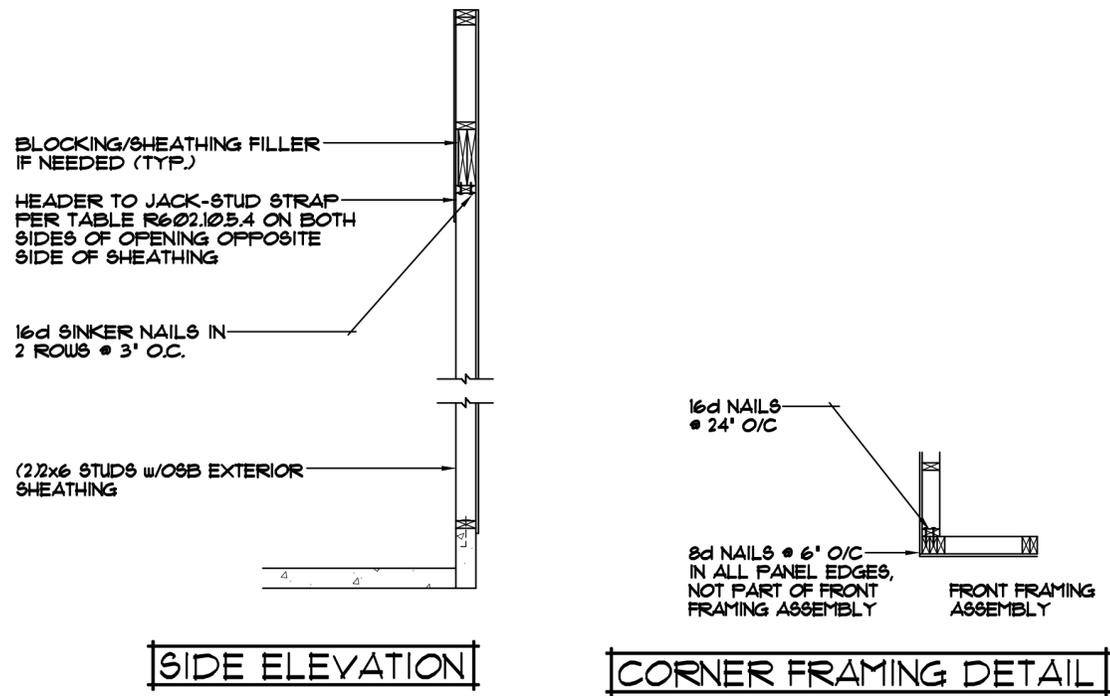
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FOUNDATION/RIM AREA DETAIL "A-3" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



FOUNDATION/RIM AREA DETAIL "A-4" 1'-1'-0"
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
 FOUNDATION HELD IN 2'



FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3' GRID PATTERN AS SHOWN AND 3' O.C. IN ALL FRAMING (STUDS AND SILLS)

HEADER TO JACK-STUD STRAP PER TABLE R602.10.5.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITH-IN 24' OF MID-HGHT. ONE ROW OF TYP. SHEATHING TO FRM'G. NAILING IS REQUIRED. IF 2x4 BLK'G. IS USED, THE 2x4'S MUST BE NAILED TOGETHER w/3 16d

MIN. 2"x2"x3/16" PLATE WASHER
 ANCHOR BOLTS PER R403.16
 FOUNDATION VARIES SEE PLAN FOR SIZES

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2'-1'-0"

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NOTE!!!
ADJUST HEEL HEIGHT @
6/12 ROOF w/18' OVERHANG
TO MATCH 5/12 ROOF
w/18' OVERHANG(TYP.)

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ MAIN LEVEL
ROOF TRUSSES (TYP.)

NOTE!!!
WINDOWS w/ '*' REQUIRE
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LEVEL HEIGHT INFORMATION TABLE		
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- JELD WEN WINDOW SIZES SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- VINYL SIDING/VINYL CORNER TRIM (TYP.)
- BOARD & BATTEN WHERE SHOWN
- STONE VENEER WHERE SHOWN
- OPTIONAL WINDOW GRIDS AS SHOWN



FRONT ELEVATION 1/4"=1'-0"
 900 SQFT. FIRST FLOOR
 905 SQFT. SECOND FLOOR
 1805 SQFT. TOTAL
 691 SQFT. OPTIONAL FINISHED BASEMENT

THE: **TALCOT PLAN**

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DRAIN L.V.
CHECKED XX
DATE: 05/28/2019
SCALE: AS NOTED
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WINDOW and DOOR PERFORMANCE DATA	
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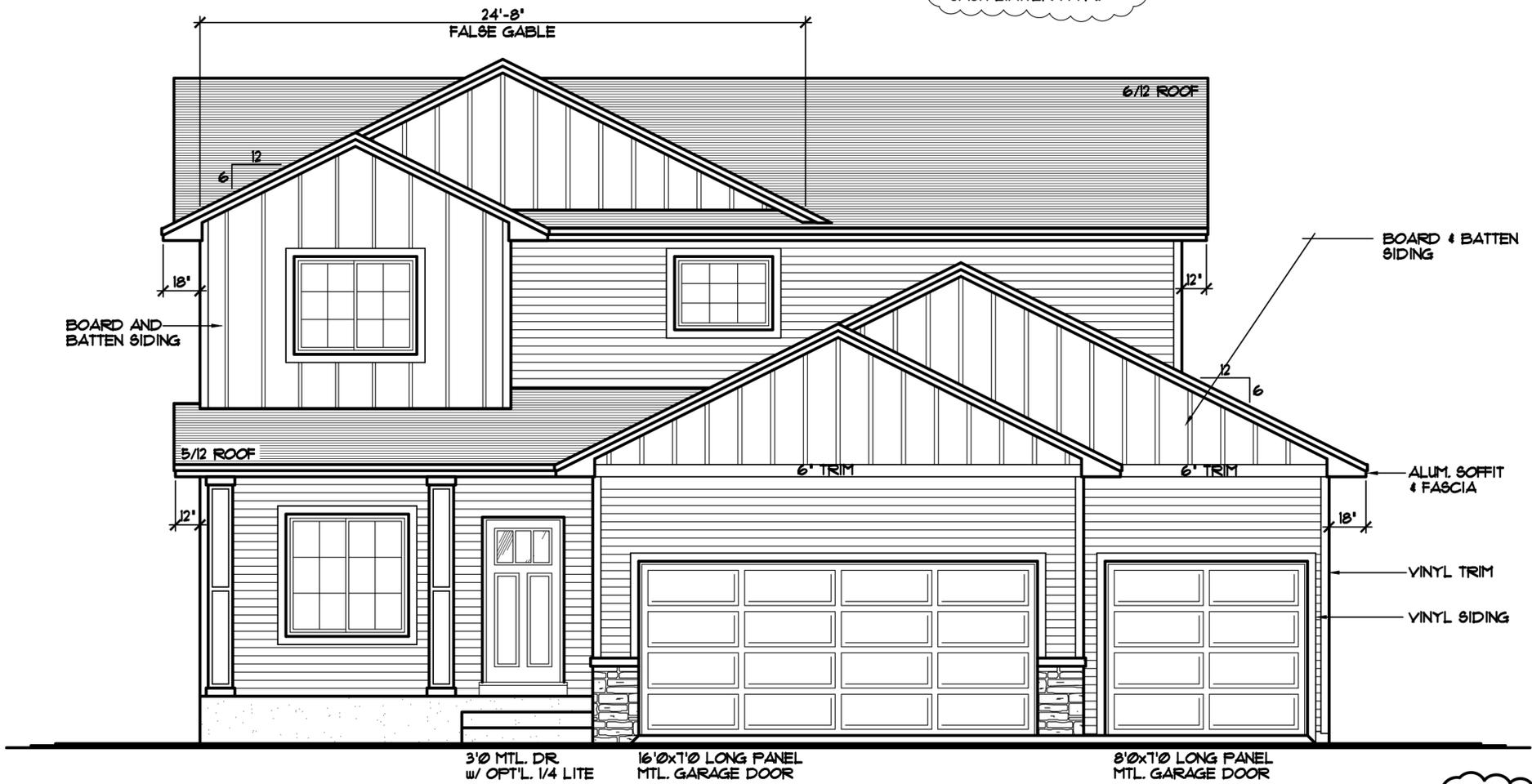
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- BOARD & BATTEN WHERE SHOWN
- STONE VENEER WHERE SHOWN
- OPTIONAL WINDOW GRIDS AS SHOWN



OPTIONAL ELEVATION 'A'
FRONT ELEVATION 1/4"=1'-0"
900 SQFT. FIRST FLOOR
905 SQFT. SECOND FLOOR
1805 SQFT. TOTAL
691 SQFT. OPTIONAL FINISHED BASEMENT

THE
TALCOT PLAN

NOTE III
PLANS ARE NOT
REPRESENTATIVE OF
OPTIONAL ELEVATIONS

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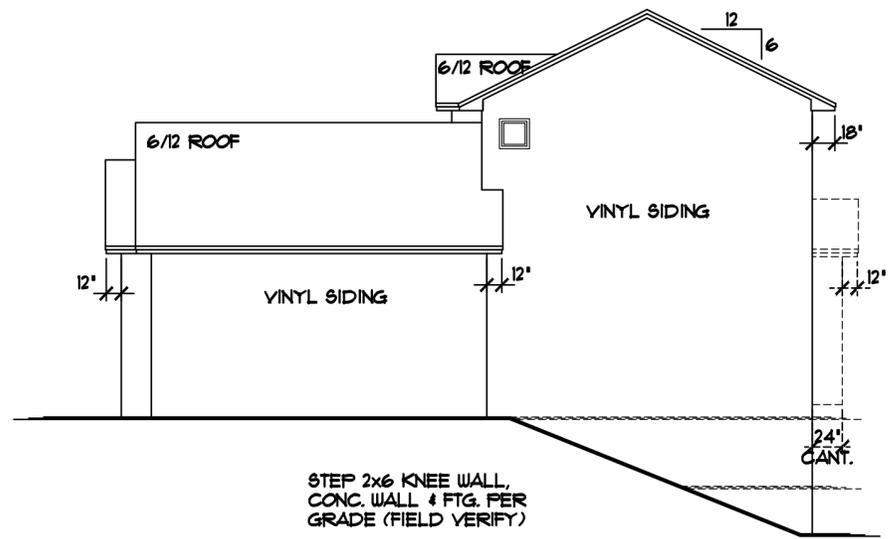
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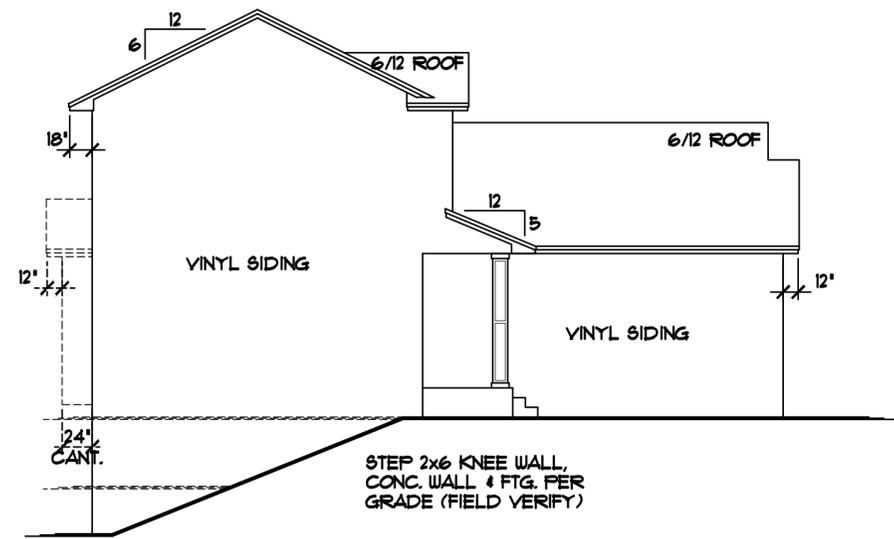


RIGHT ELEVATION 1/8"=1'-0"

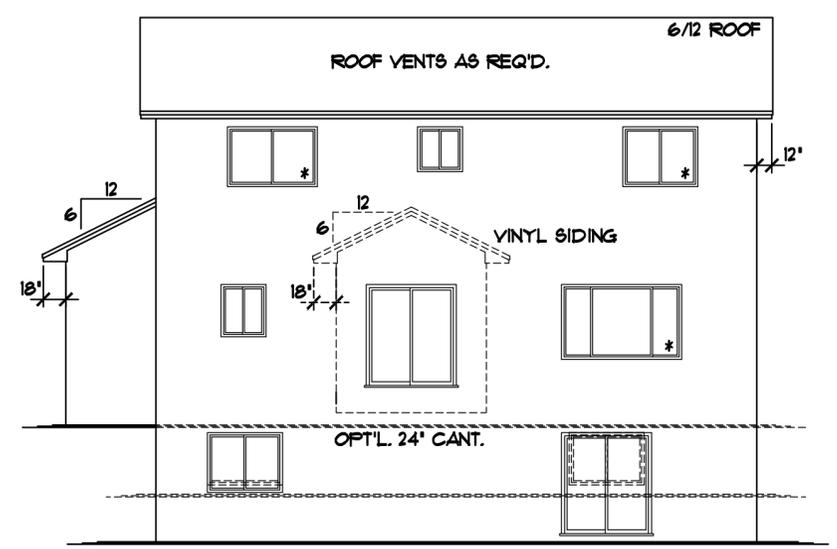
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ENERGY HEEL @ ALL
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NOTE III
WINDOWS w/ "*" REQUIRE
SASH LIMITER (TYP.)



LEFT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"

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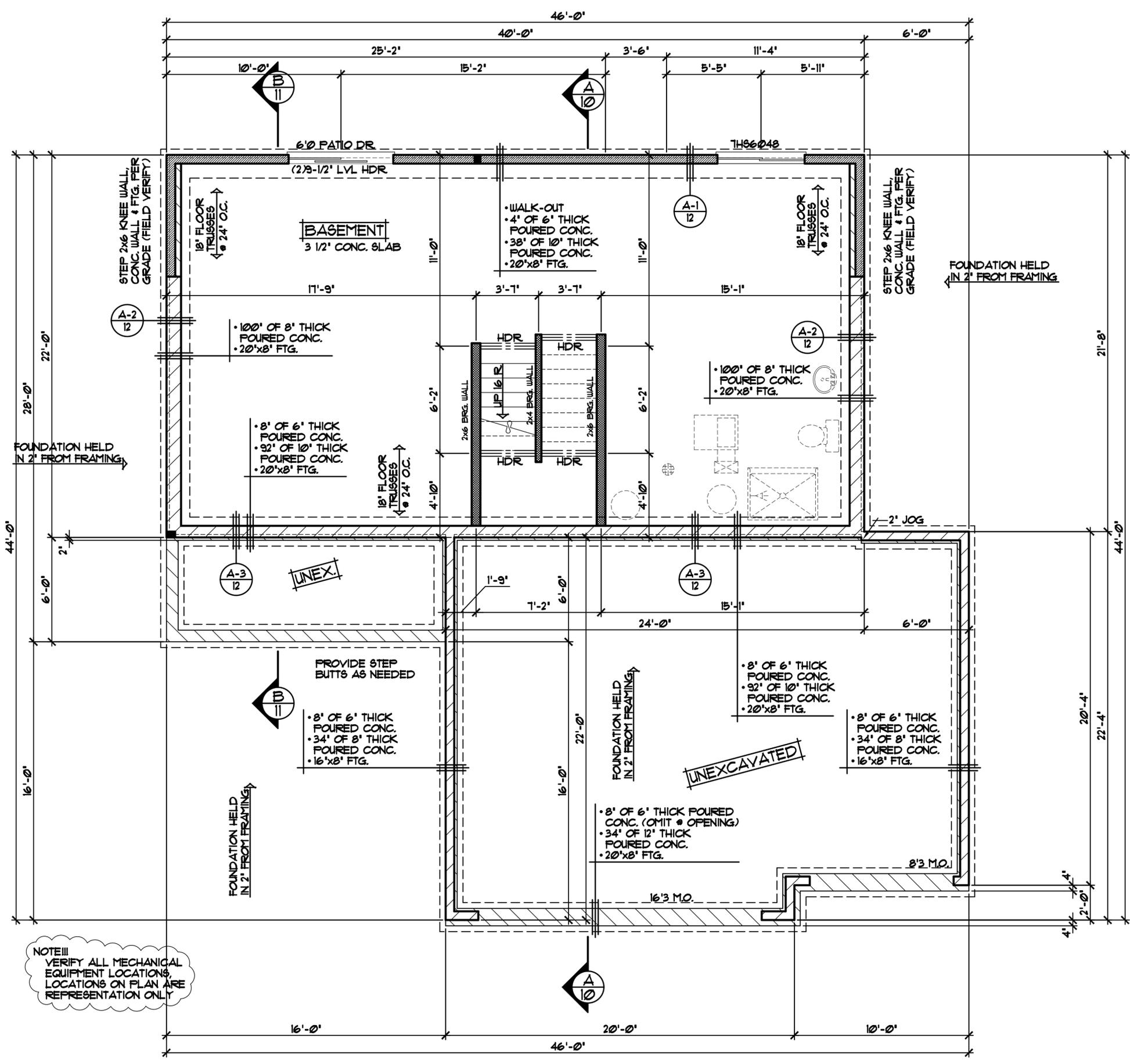
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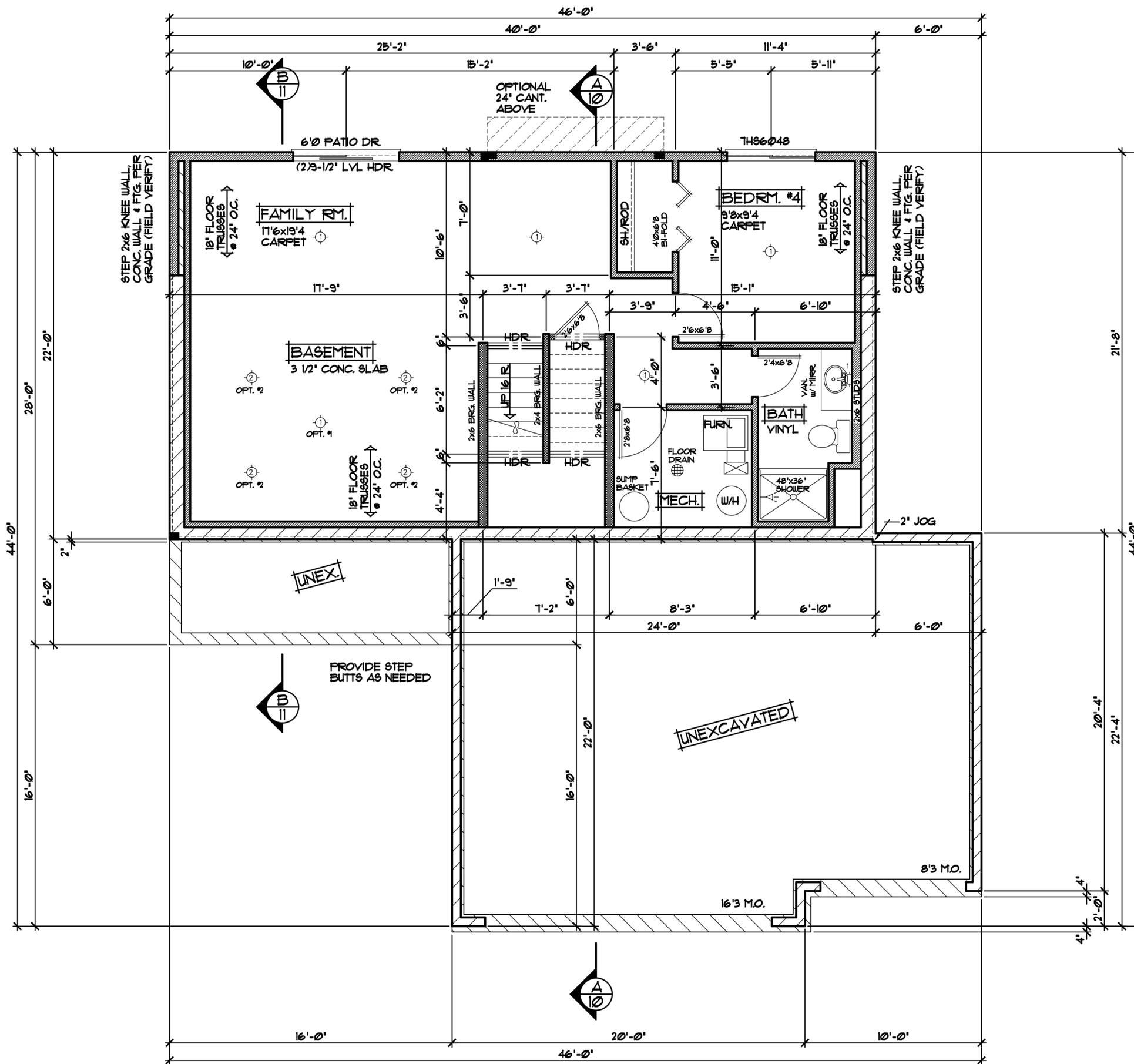
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 of 12
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NOTE III
 VERIFY ALL MECHANICAL
 EQUIPMENT LOCATIONS.
 LOCATIONS ON PLAN ARE
 REPRESENTATION ONLY

- FOUNDATION CONST. NOTES**
- POURED CONCRETE FOUNDATION, VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
 - ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO OUTSIDE OF EXTERIOR FOAM BOARD INSUL. OR SHEATHING, FOUNDATION TO BE HELD IN WHERE NOTED/SHOWN
 - PROVIDE 2" R10 FOAM BOARD INSULATION
 - EXTERIOR FOUNDATION WALLS & 1" R5 FOAM BOARD INSULATION AT INTERIOR SIDE OF FOUNDATION WALLS (TYP.)
 - INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)

FOUNDATION PLAN 1/4"=1'-0"



OPTIONAL FINISHED BASEMENT PLAN 1/4" = 1'-0"

691 SQFT. FINISHED AREA
WALKOUT BASEMENT

FURRED WALLS:
2x4 STUDS
1/2" GYP. BD. (FINISHED)
FIREPOLY (UNFINISHED)

LIGHT FIXTURE LEGEND	
①	3 BULB FLUSH
②	DISC LIGHT
③	PENDANT LIGHT
④	CHANDELIER
⑤	2 BULB FLUSH
①	2 BULB VANITY LIGHT
②	EXTERIOR LIGHT

WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

- SINGLE HUNG UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 21
- SLIDER UNIT
U-VALUE = 0.31
SHGC = 0.35
STC = 26
- FIXED UNIT
U-VALUE = 0.30
SHGC = 0.31
STC = 26
- DOUBLE HUNG UNIT
U-VALUE = 0.32
SHGC = 0.32
STC = 28
- SLIDING PATIO DOOR
U-VALUE = 0.29
SHGC = 0.35
STC = 28

FRAMING & CONSTRUCTION NOTES

- 8'-2" PLATE HEIGHT • ENTIRE LOWER LEVEL (UNLESS NOTED OTHERWISE)
- PROVIDE 1/2" GYP. BD. • BASEMENT CEILING & ALLOW 80 SQFT. (MAX) OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE • PERIMETER OF OPEN AREA

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "x" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON LOWER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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of 12
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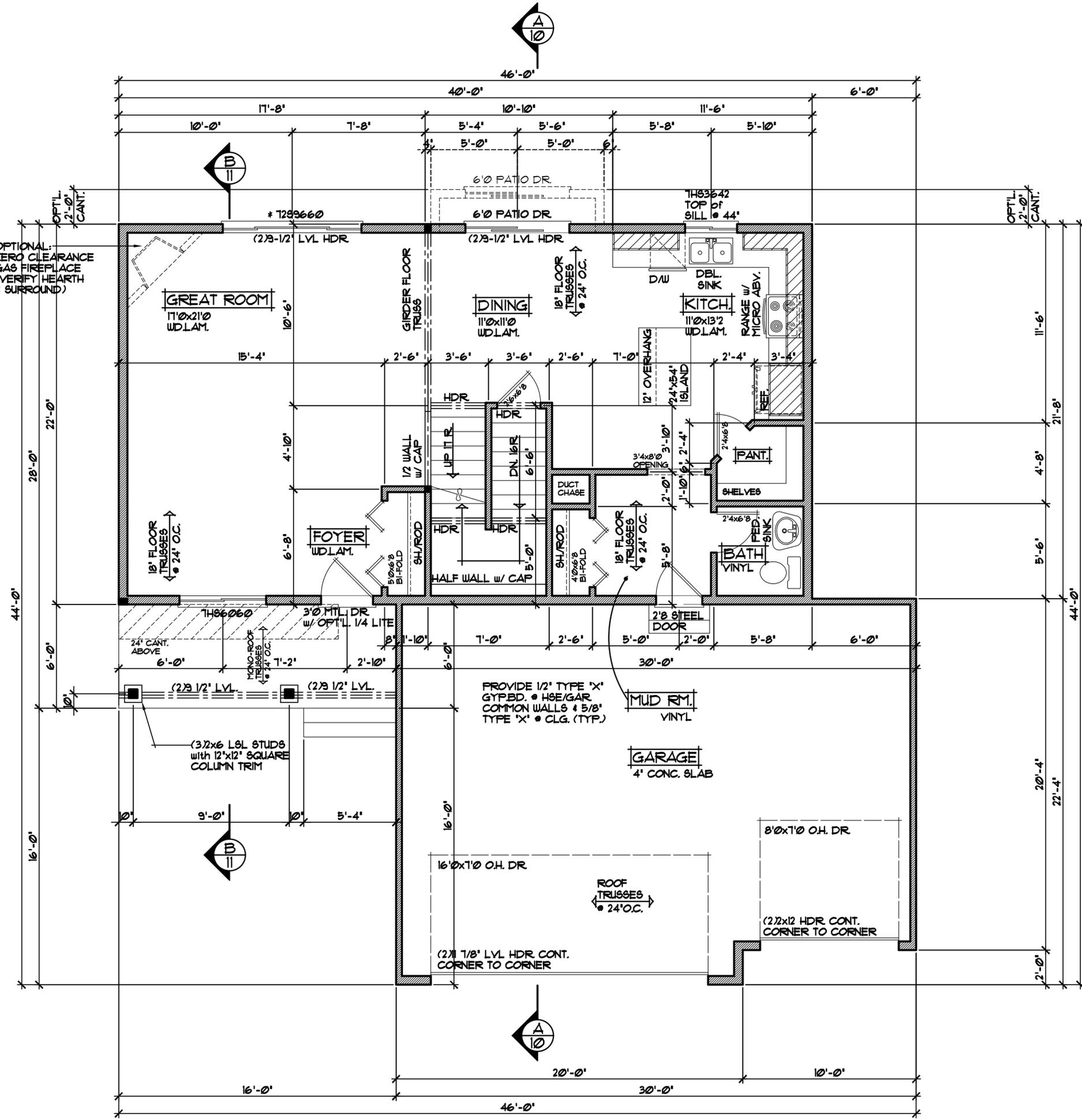
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WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
• SINGLE HUNG UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 21
• SLIDER UNIT	U-VALUE = 0.31 SHGC = 0.35 STC = 26
• FIXED UNIT	U-VALUE = 0.30 SHGC = 0.31 STC = 26
• DOUBLE HUNG UNIT	U-VALUE = 0.32 SHGC = 0.32 STC = 28
• SLIDING PATIO DOOR	U-VALUE = 0.29 SHGC = 0.35 STC = 28

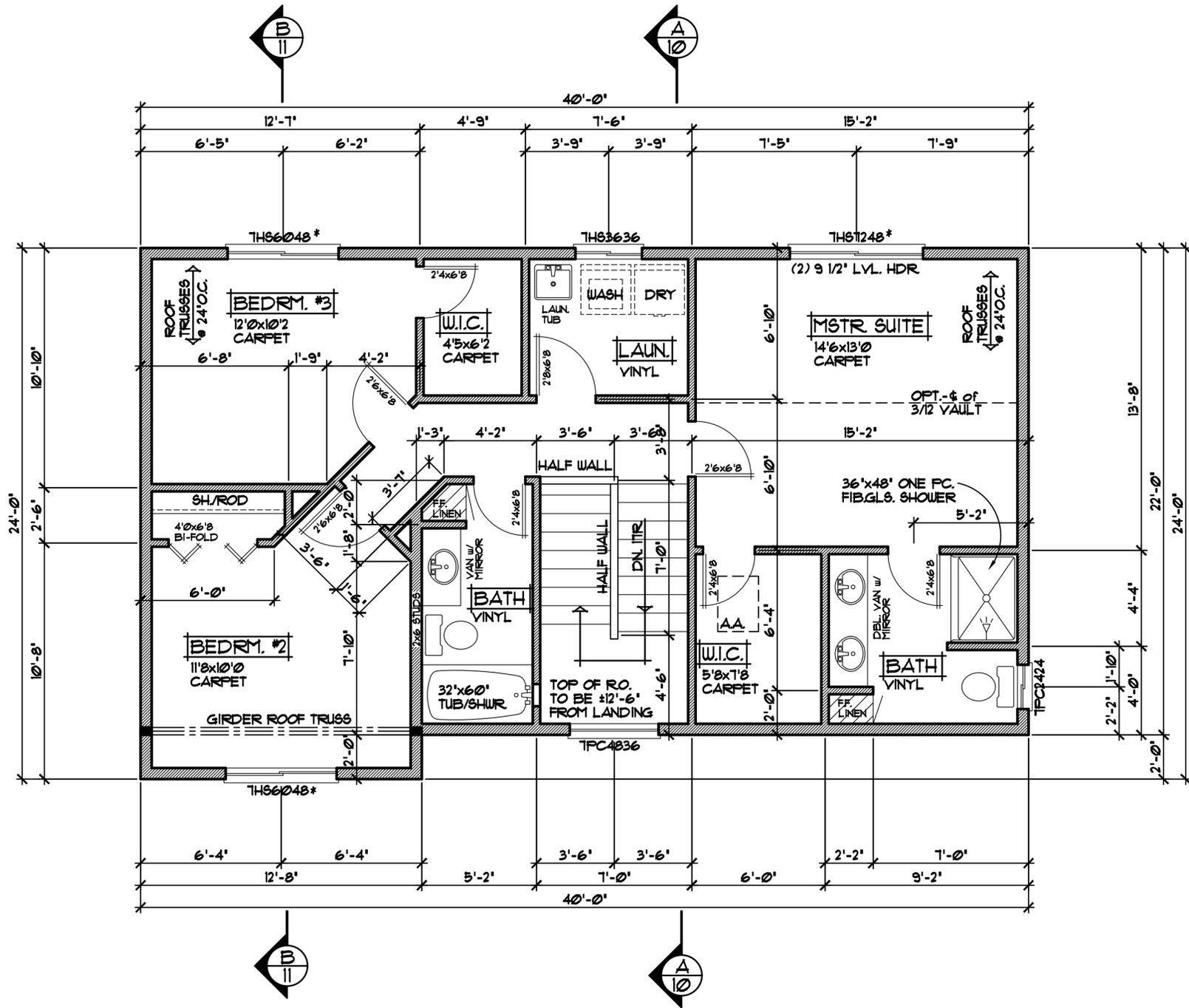
FRAMING & CONSTRUCTION NOTES

- 9'-1 1/8" PLATE HEIGHT @ ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- 9'-1 1/8" PLATE HEIGHT @ GAR. FROM FIRST FLOOR SUBFLOOR
- FRAME ALL GARAGE WALLS w/ 2x4 STUDS @ 16" O.C. (TYP.)
- FRAME FRONT GARAGE WALLS w/ 2x6 STUDS @ 16" O.C. (TYP.)

DOOR & WINDOW NOTES

- JELD WEN WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "*" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

FIRST FLOOR PLAN 1/4"=1'-0"
 900 SQFT.



SECOND FLOOR PLAN 1/4"=1'-0"
 905 SQFT. SECOND FLOOR

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BY:XX	

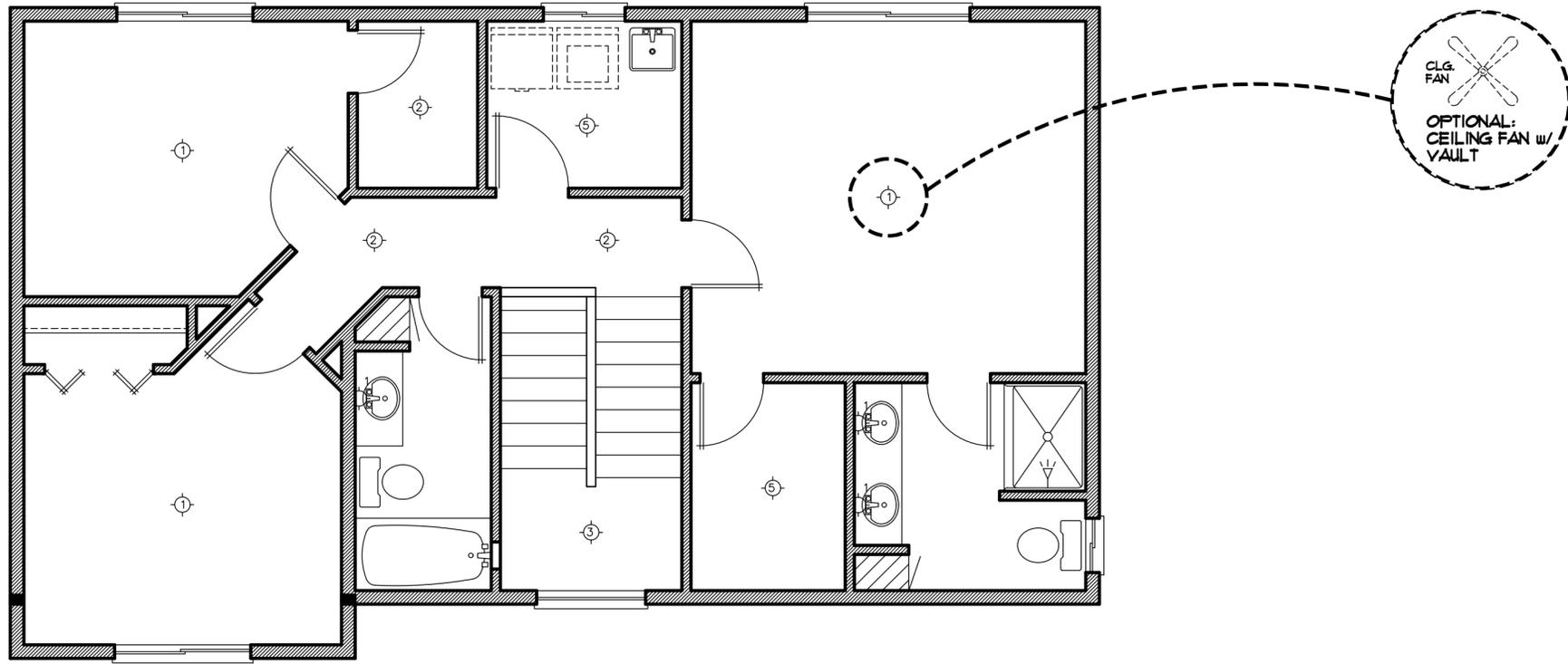
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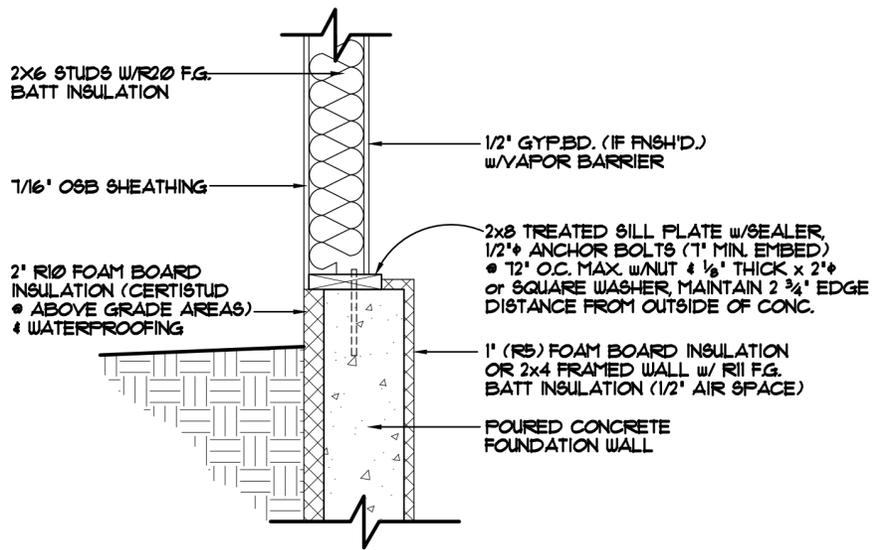
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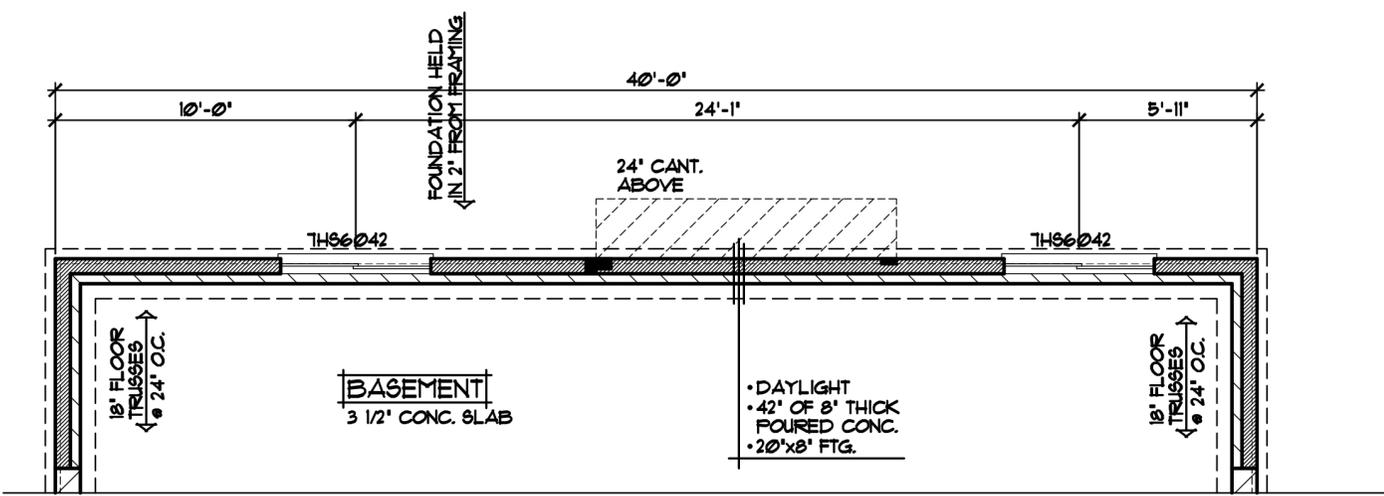


LIGHT FIXTURE LEGEND	
①	3 BULB FLUSH
②	DISC LIGHT
③	PENDANT LIGHT
④	CHANDELIER
⑤	2 BULB FLUSH
1	2 BULB VANITY LIGHT
2	EXTERIOR LIGHT

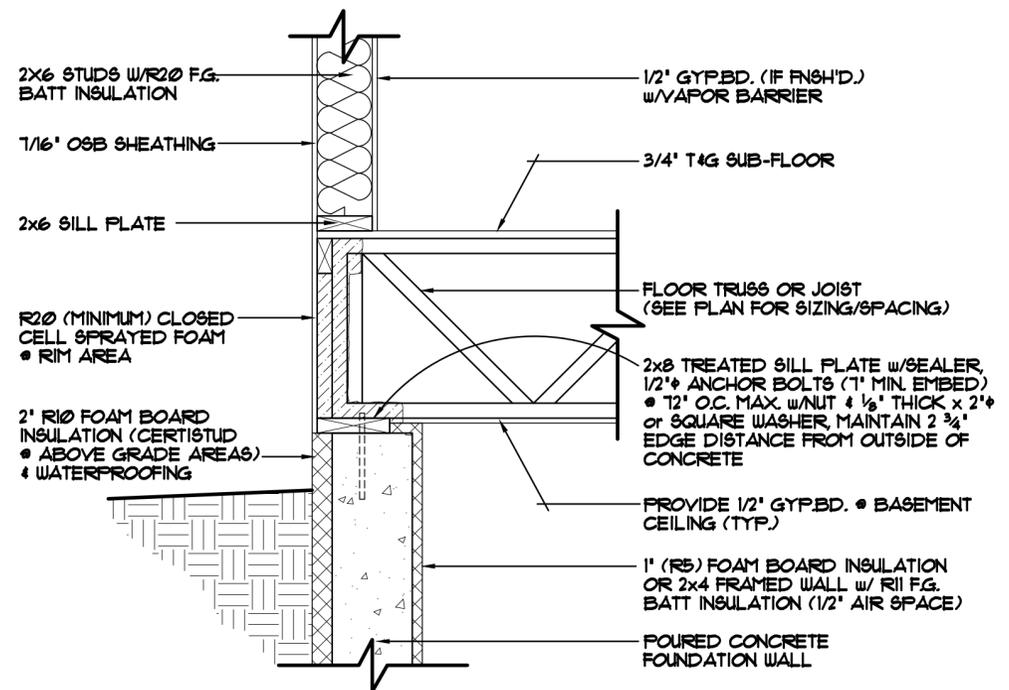
UPPER LEVEL LIGHT FIXTURE PLAN 1/4"=1'-0"



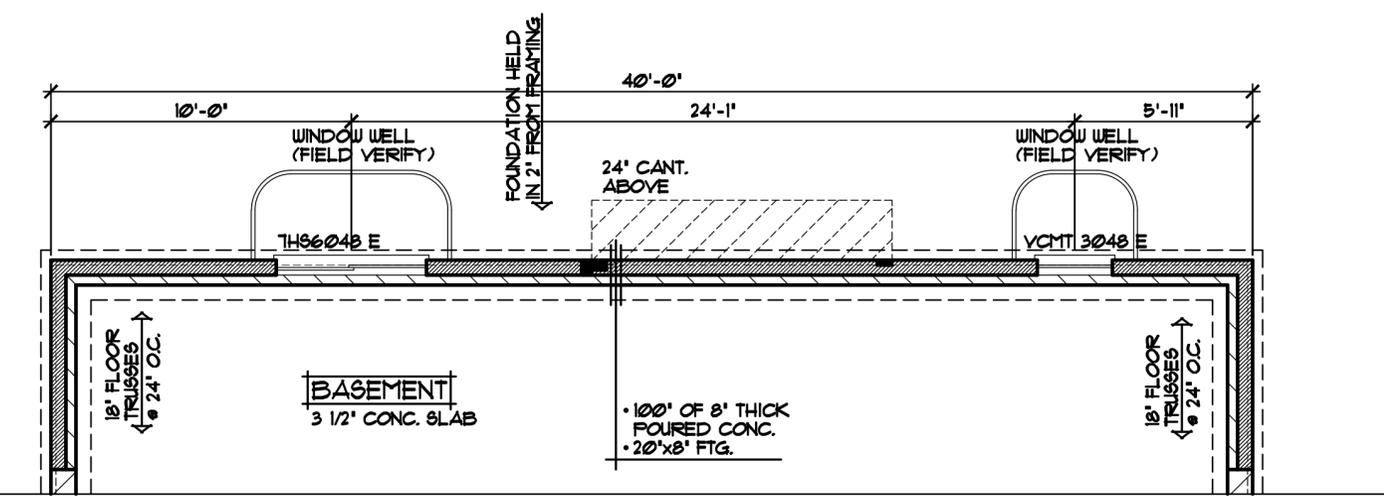
FOUNDATION/RIM AREA DETAIL "B-1" 1"=1'-0"
 STANDARD DAYLIGHT SILL/FOUNDATION AREA
 FOUNDATION HELD IN 2"



DAYLIGHT BASEMENT OPTION
FOUNDATION PLAN 1/4"=1'-0"



FOUNDATION/RIM AREA DETAIL "C-1" 1"=1'-0"
 STANDARD RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
 FOUNDATION HELD IN 2"



FULL BASEMENT OPTION
FOUNDATION PLAN 1/4"=1'-0"

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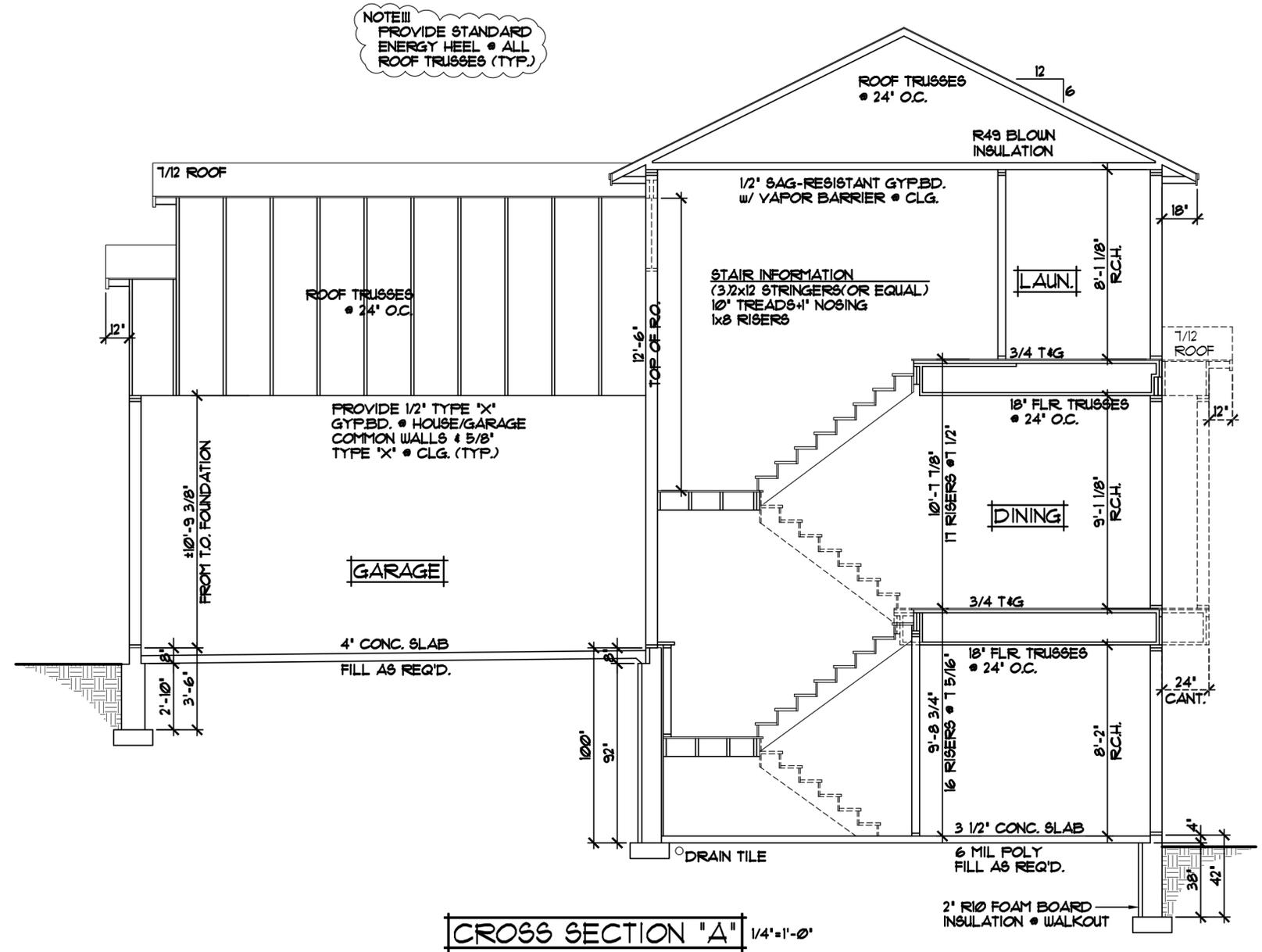
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NOTE III
 PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (TYP.)

ROOF CONSTRUCTION:

- FREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY-SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 1/16" ROOF SHEATHING
- 15# ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
- 30 YEAR RAISED TAB SHINGLES

SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

WALL CONSTRUCTION:

- SIMILAR TO ABOVE

SILL CONSTRUCTION:

- 2x8 SILL PLATE & SEALER (2x6 PLATE • WALKOUT AREAS)
- 1/2" ANCHOR BOLTS • 48" O.C.

FOUNDATION INSULATION:

- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
- FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

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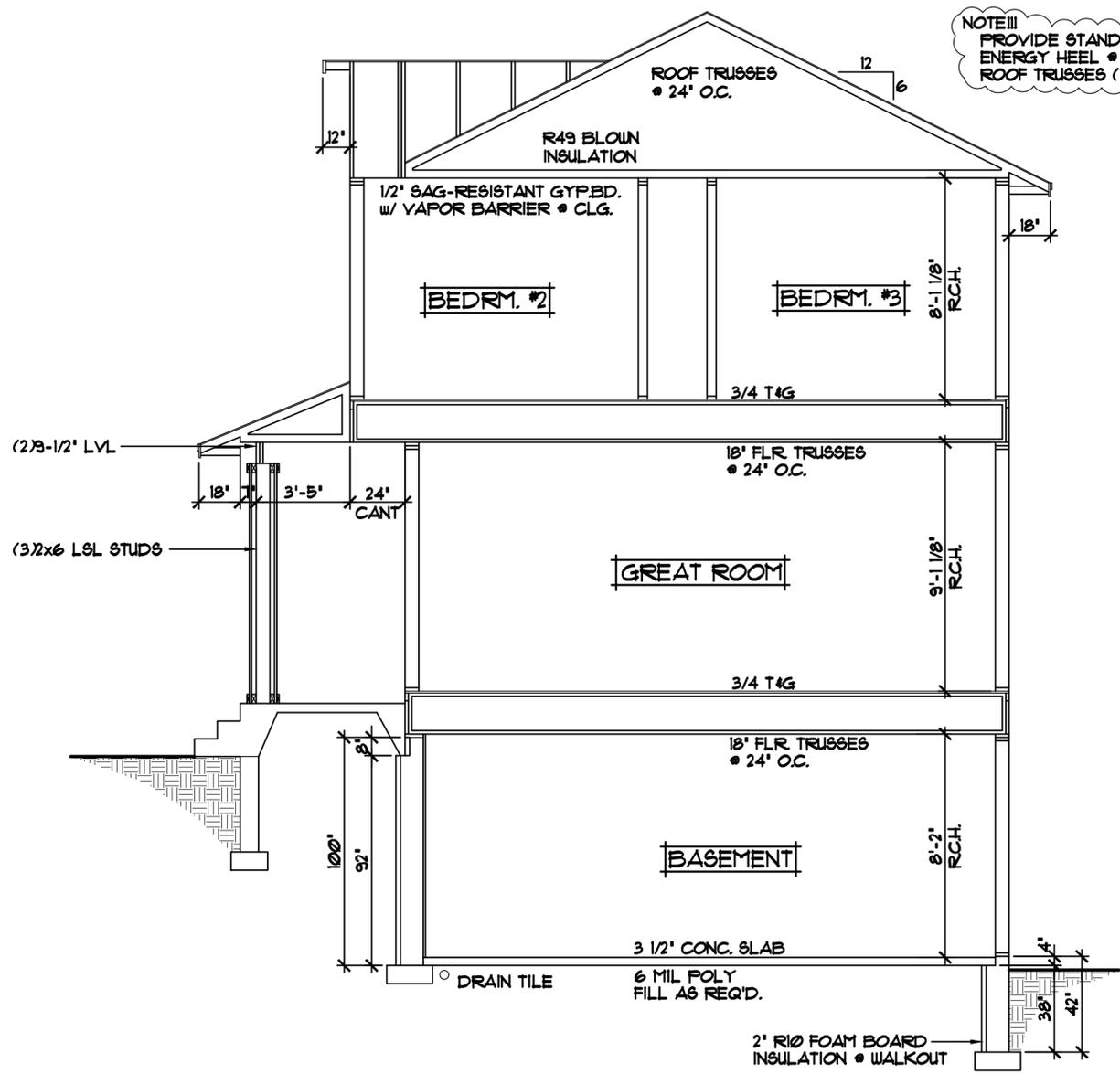
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CROSS SECTION "B" 1/4"=1'-0"

ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES-ENGINEERED BY SUPPLIER-SLOPES VARY-SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 1/16" ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
- 30 YEAR RAISED TAB SHINGLES

SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 FG. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

WALL CONSTRUCTION:

- TYVEK HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 FG. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

WALL CONSTRUCTION:

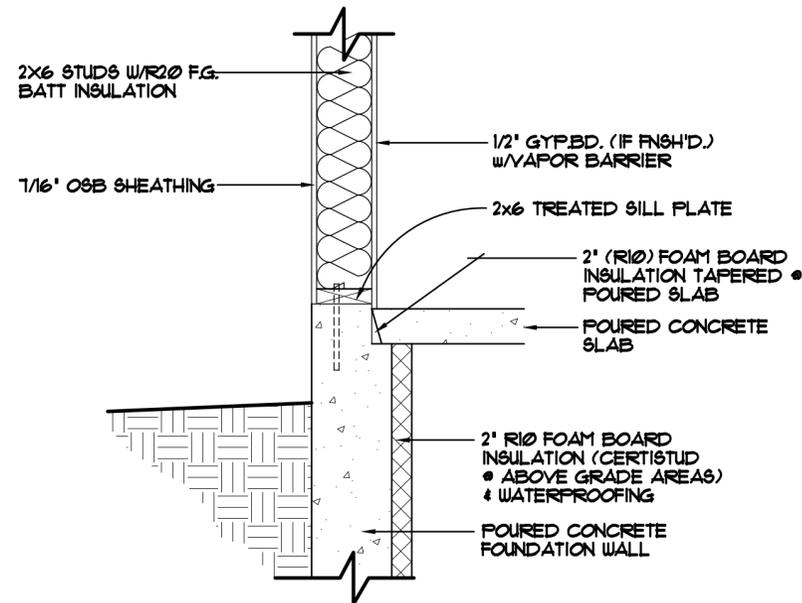
- SIMILAR TO ABOVE

SILL CONSTRUCTION:

- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
- 1/2" ANCHOR BOLTS @ 48" O.C.

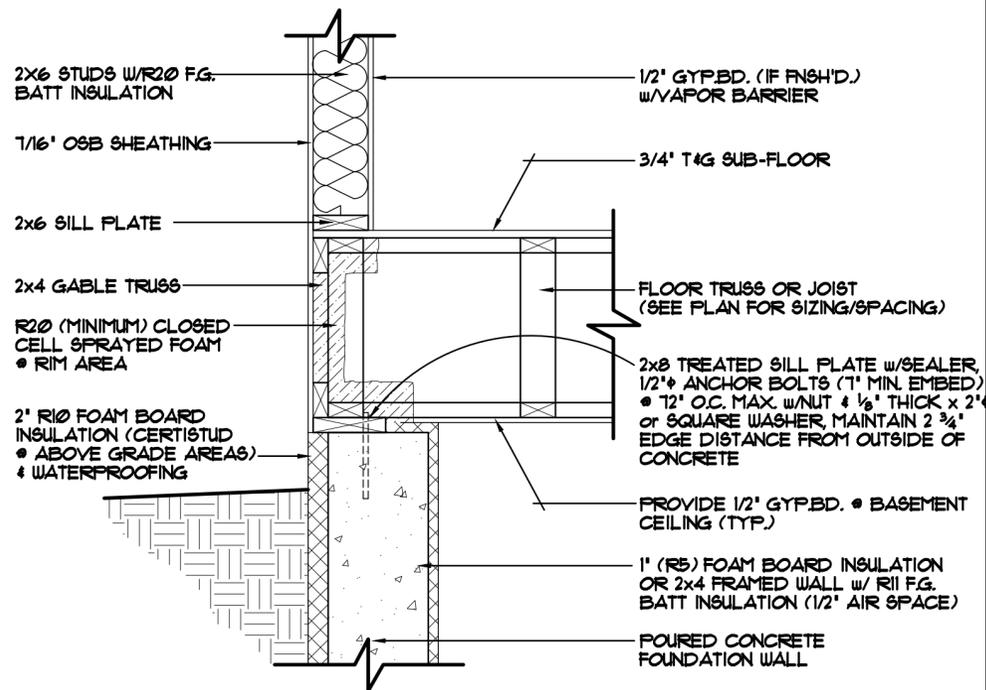
FOUNDATION INSULATION:

- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
- FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION



FOUNDATION/RIM AREA DETAIL "A-1" 1"=1'-0"

STANDARD WALKOUT SILL/FOUNDATION AREA
FOUNDATION NOT HELD IN



FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"

STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL
FOUNDATION HELD IN 2'

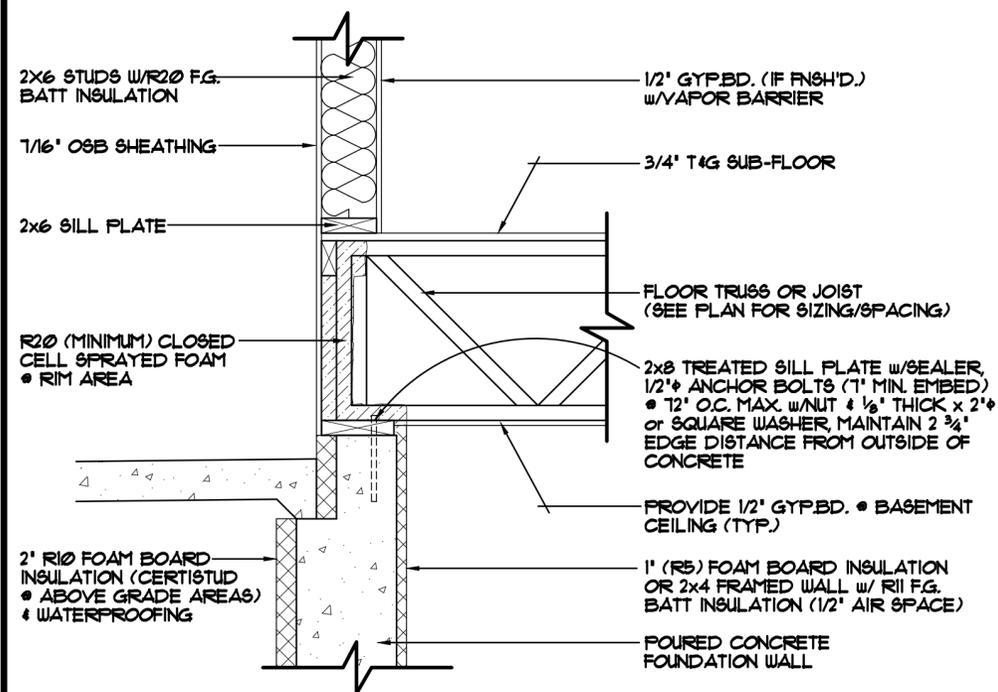
BLOCKING/SHEATHING FILLER
IF NEEDED (TYP.)

HEADER TO JACK-STUD STRAP
PER TABLE R602.10.5.4 ON BOTH
SIDES OF OPENING OPPOSITE
SIDE OF SHEATHING

16d SINKER NAILS IN
2 ROWS @ 3' O.C.

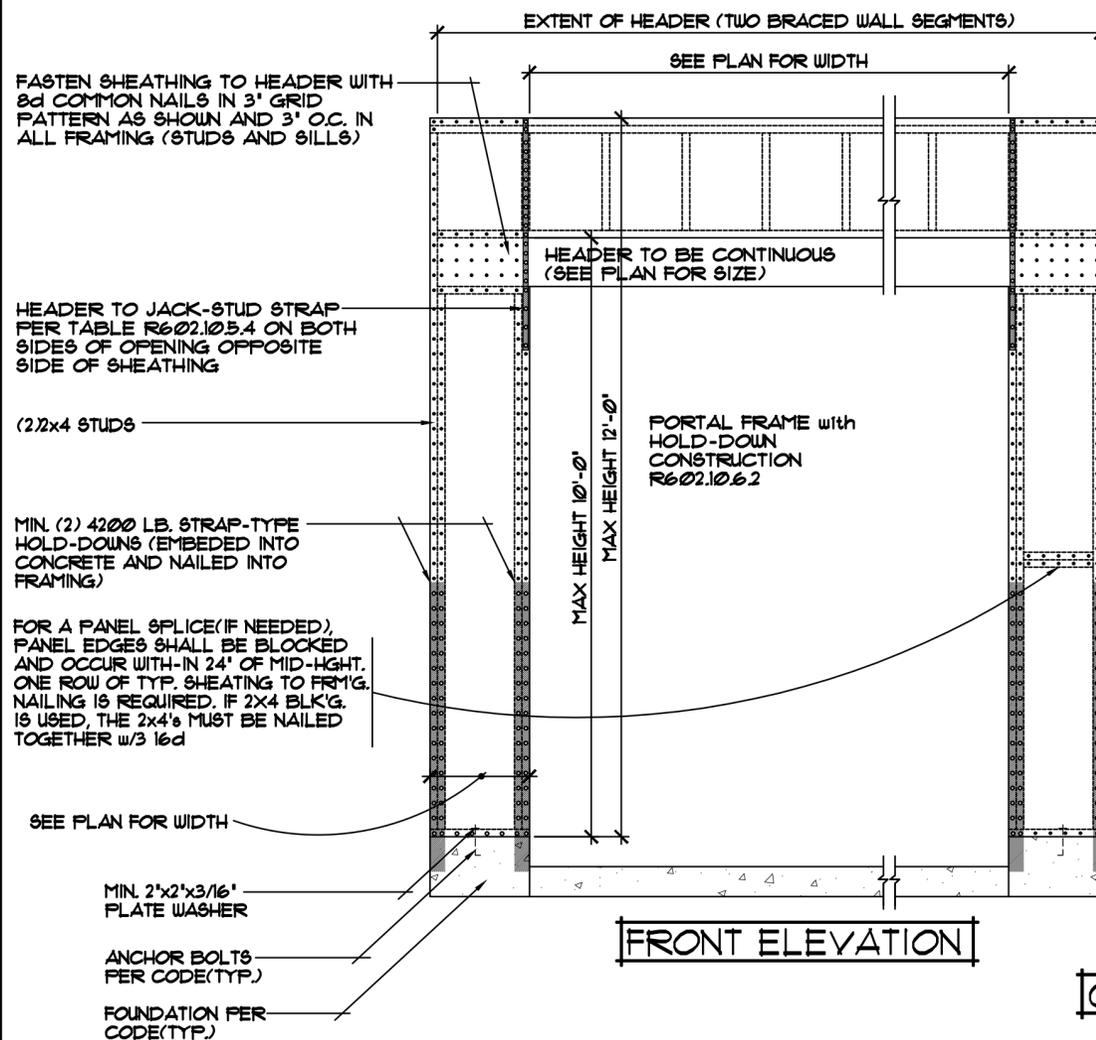
(2)2x6 STUDS w/OSB EXTERIOR
SHEATHING

SIDE ELEVATION



FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"

BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
FOUNDATION HELD IN 2'



FRONT ELEVATION

CORNER FRAMING DETAIL

PORTAL FRAMING WITH HOLD-DOWNS CONSTRUCTION 1/2"=1'-0"

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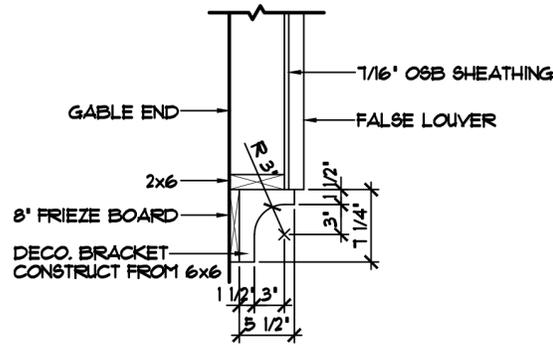
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WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
•SINGLE HUNG UNIT	
U-VALUE = 0.30	
SHGC = 0.23	
STC = 21	
•SLIDER UNIT	
U-VALUE = 0.30	
SHGC = 0.23	
STC = 26	
•FIXED UNIT	
U-VALUE = 0.29	
SHGC = 0.24	
STC = 26	
•SLIDING PATIO DOOR	
U-VALUE = 0.28	
SHGC = 0.23	
STC = 28	



BUILT OUT LOUVER DETAIL 1/4"=1'-0"

NOTE!!!
SEE SHEETS 6,
FOR OPTIONAL DAYLIGHT
AND FULL BASEMENT
INFORMATION

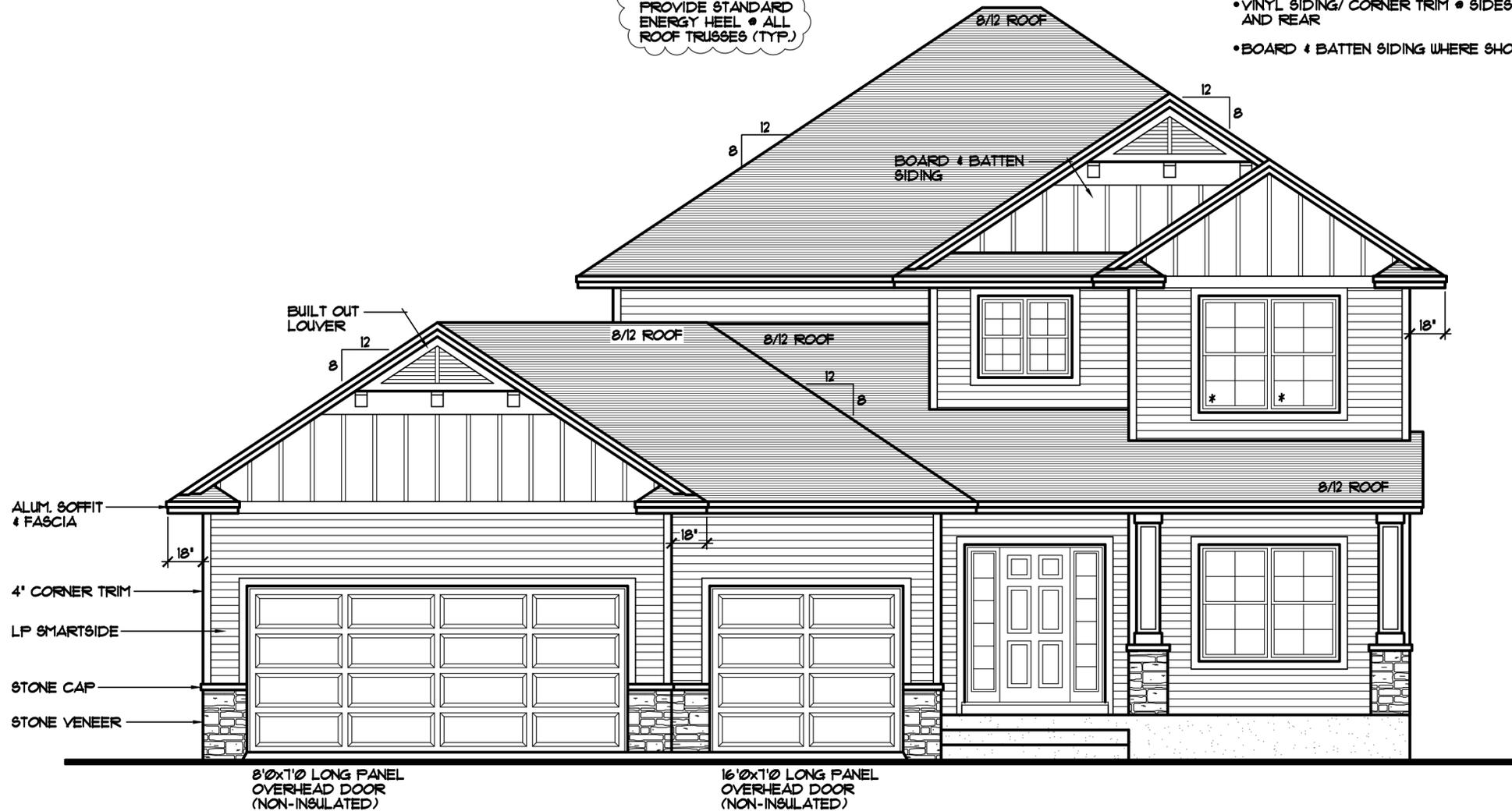
NOTE!!!
WINDOWS w/ '*' REQUIRE
SASH LIMITER (TYP.)

NOTE!!!
TOP OF RO. FOR ALL
WINDOWS @ MAIN LEVEL
TO BE 6'-10 1/2" FROM
SUB FLOOR (UNO.)

NOTE!!!
9'-1 1/8" PLATE
HEIGHT @ ENTIRE
MAIN LEVEL (UNO.)

- JELD WEN WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- LP SMARTSIDE @ FRONT
- VINYL SIDING/ CORNER TRIM @ SIDES AND REAR
- BOARD & BATTEN SIDING WHERE SHOWN

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL @ ALL
ROOF TRUSSES (TYP.)



FRONT ELEVATION 1/4"=1'-0"

1159 SQFT. MAIN LEVEL
1298 SQFT. UPPER LEVEL
2457 SQFT. TOTAL

THE:
THORTON II

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16328	RB

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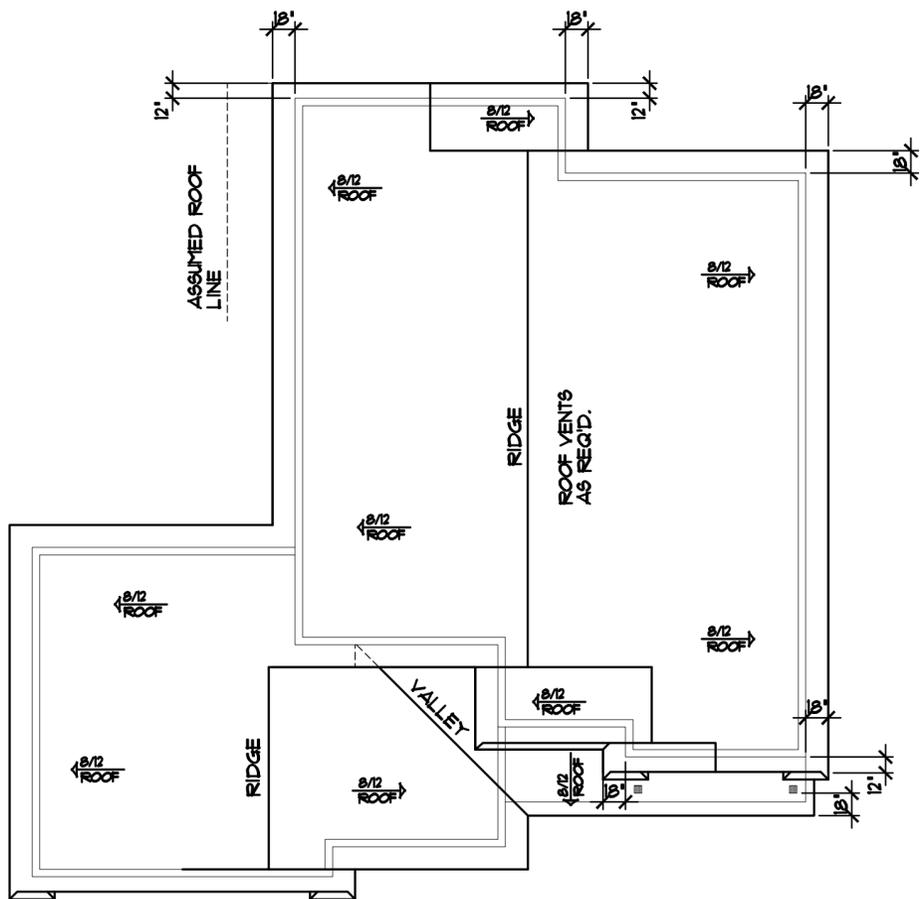
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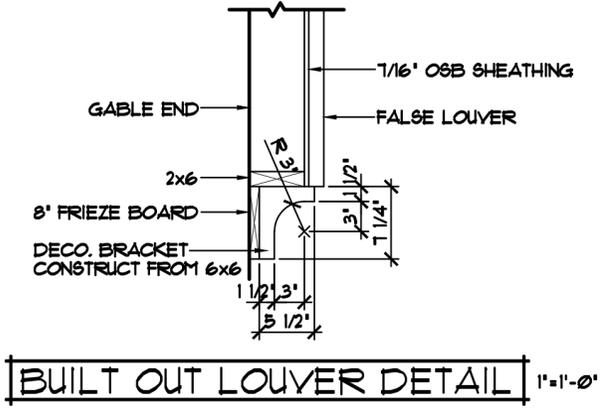
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DRAIN L.V.
CHECKED RB
DATE: 12/18/2017
SCALE: AS NOTED
CADD FILE # 11423



BIRDS EYE ROOF PLAN 1/8"=1'-0"

NOTE!!!
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)



NOTE!!!
SEE SHEETS 6,
FOR OPTIONAL DAYLIGHT
AND FULL BASEMENT
INFORMATION

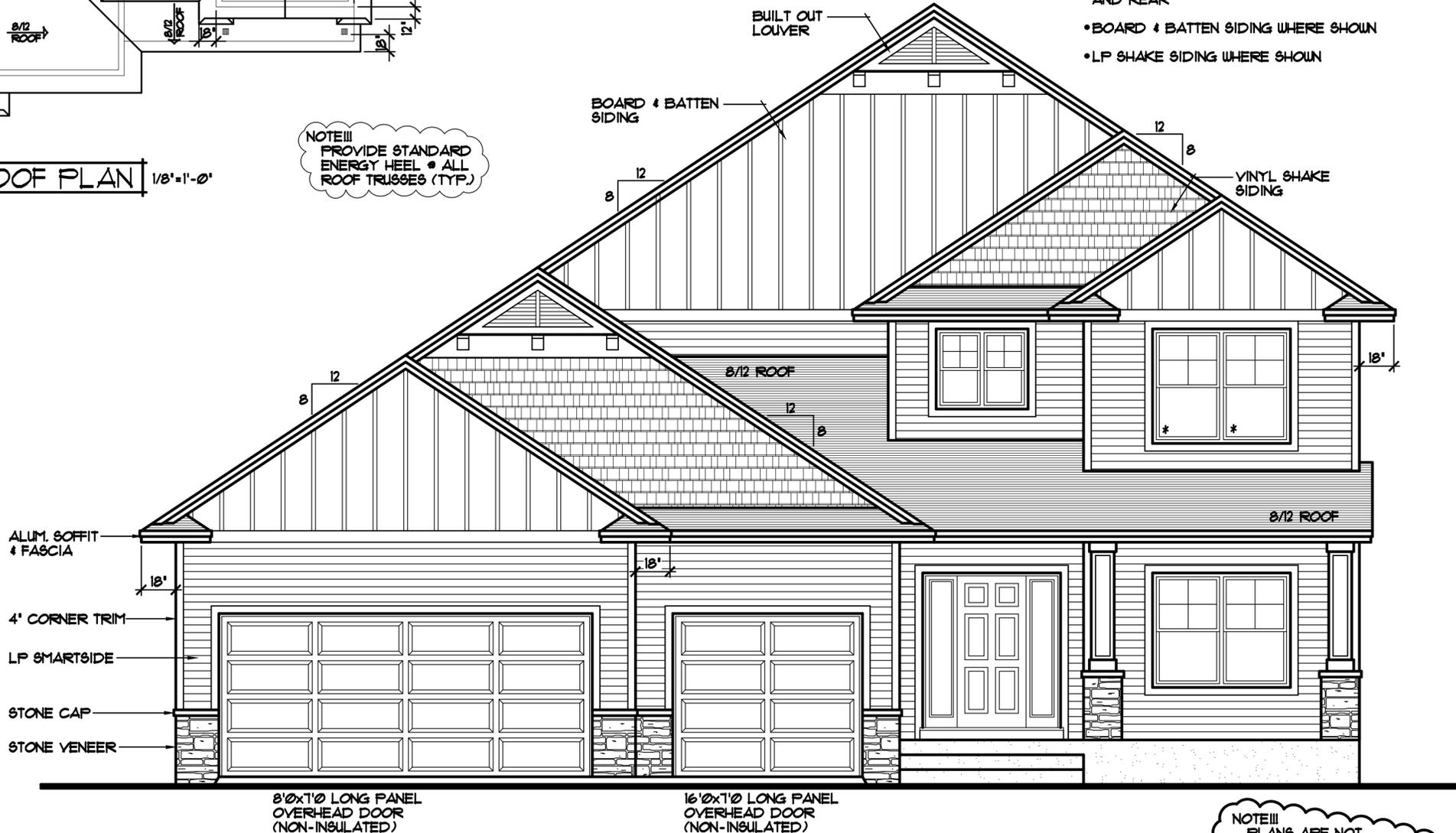
NOTE!!!
WINDOWS w/ "*" REQUIRE
SASH LIMITER (TYP.)

NOTE!!!
TOP OF RO. FOR ALL
WINDOWS @ MAIN LEVEL
TO BE 6'-10 1/2" FROM
SUB FLOOR (UNO.)

NOTE!!!
3'-1 1/8" PLATE
HEIGHT @ ENTIRE
MAIN LEVEL (UNO.)

- JELD WEN WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- LP SMARTSIDE @ FRONT
- VINYL SIDING/ CORNER TRIM @ SIDES AND REAR
- BOARD & BATTEN SIDING WHERE SHOWN
- LP SHAKE SIDING WHERE SHOWN

WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
• SINGLE HUNG UNIT	U-VALUE = 0.30 SHGC = 0.23 STC = 21
• SLIDER UNIT	U-VALUE = 0.30 SHGC = 0.23 STC = 26
• FIXED UNIT	U-VALUE = 0.29 SHGC = 0.24 STC = 26
• SLIDING PATIO DOOR	U-VALUE = 0.28 SHGC = 0.23 STC = 28



FRONT ELEVATION "A" 1/4"=1'-0"

1159 SQFT. MAIN LEVEL
1298 SQFT. UPPER LEVEL
2457 SQFT. TOTAL

NOTE!!!
PLANS ARE NOT
REPRESENTATIVE OF
OPTIONAL ELEVATIONS

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16265	WLC
16328	RB

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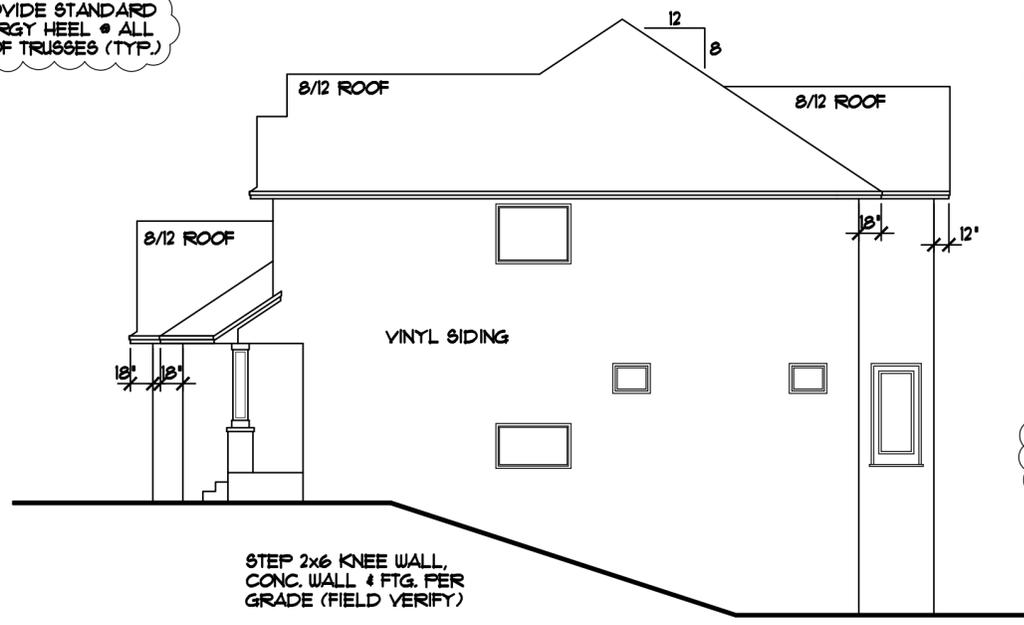
DESIGN and DRAFTING BY:

ARCHITECTURAL DESIGN and DRAFTING SERVICE • HOME PLAN SERVICE • CUSTOM HOMES • REMODELING • PHONE: 763.757.5997 • ANDOVER, MINNESOTA • WWW.CROIXDESIGN.COM

BUILT BY:
JP BROOKS

DRAIN L.V.
CHECKED RB
DATE: 12/18/2017
SCALE: AS NOTED
CADD FILE # 11423

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL • ALL
ROOF TRUSSES (TYP.)



RIGHT ELEVATION 1/8"=1'-0"

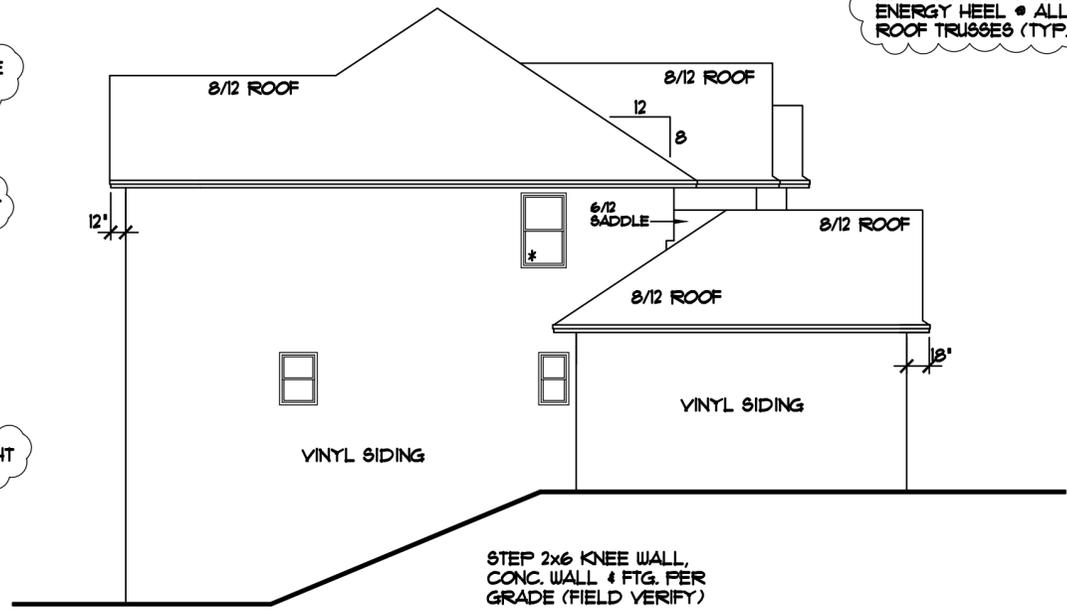
NOTE!!!
WINDOWS w/ "*" REQUIRE
SASH LIMITER (TYP.)

NOTE!!!
TOP OF RO. FOR ALL
WINDOWS • MAIN LEVEL
TO BE 6'-10 1/2" FROM
SUB FLOOR (UNO.)

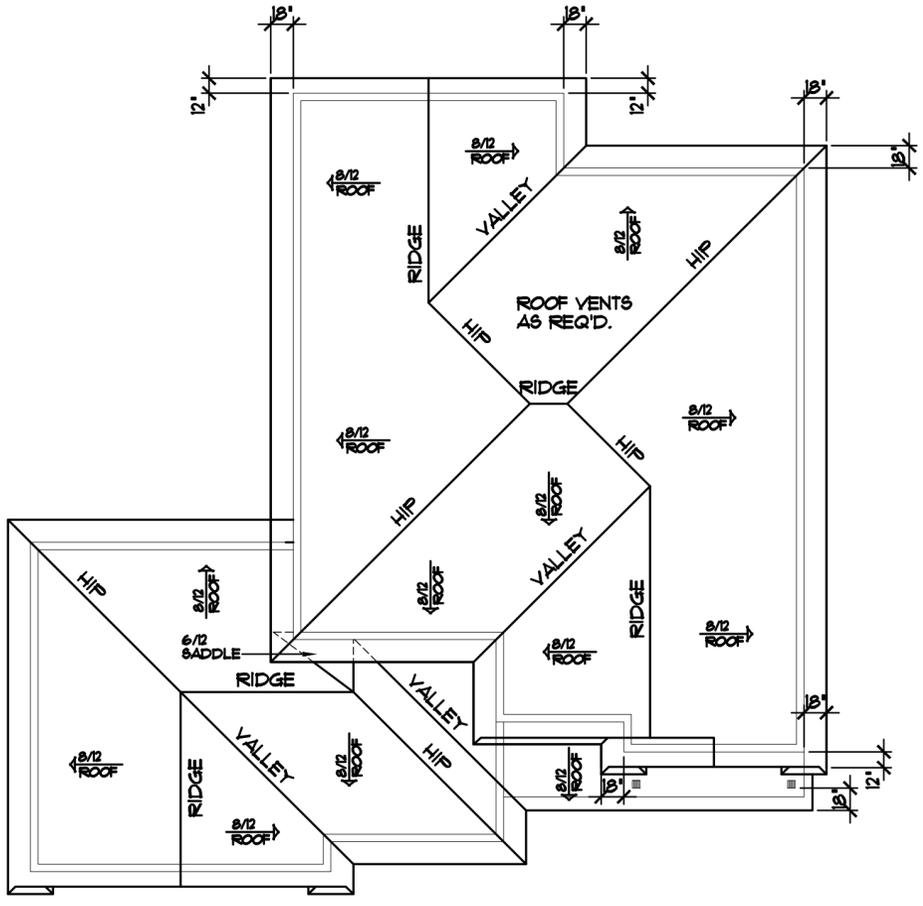
NOTE!!!
3'-1 1/8" PLATE
HEIGHT • ENTIRE
MAIN LEVEL (UNO.)

NOTE!!!
SEE SHEETS 6,
FOR OPTIONAL DAYLIGHT
AND FULL BASEMENT
INFORMATION

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL • ALL
ROOF TRUSSES (TYP.)

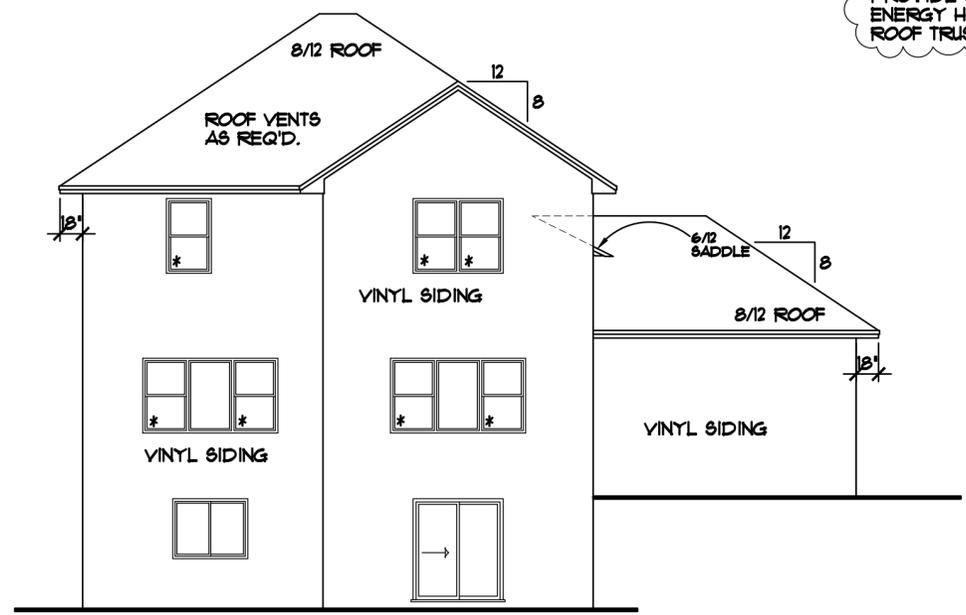


LEFT ELEVATION 1/8"=1'-0"



BIRDS EYE ROOF PLAN 1/8"=1'-0"

NOTE!!!
PROVIDE STANDARD
ENERGY HEEL • ALL
ROOF TRUSSES (TYP.)



REAR ELEVATION 1/8"=1'-0"

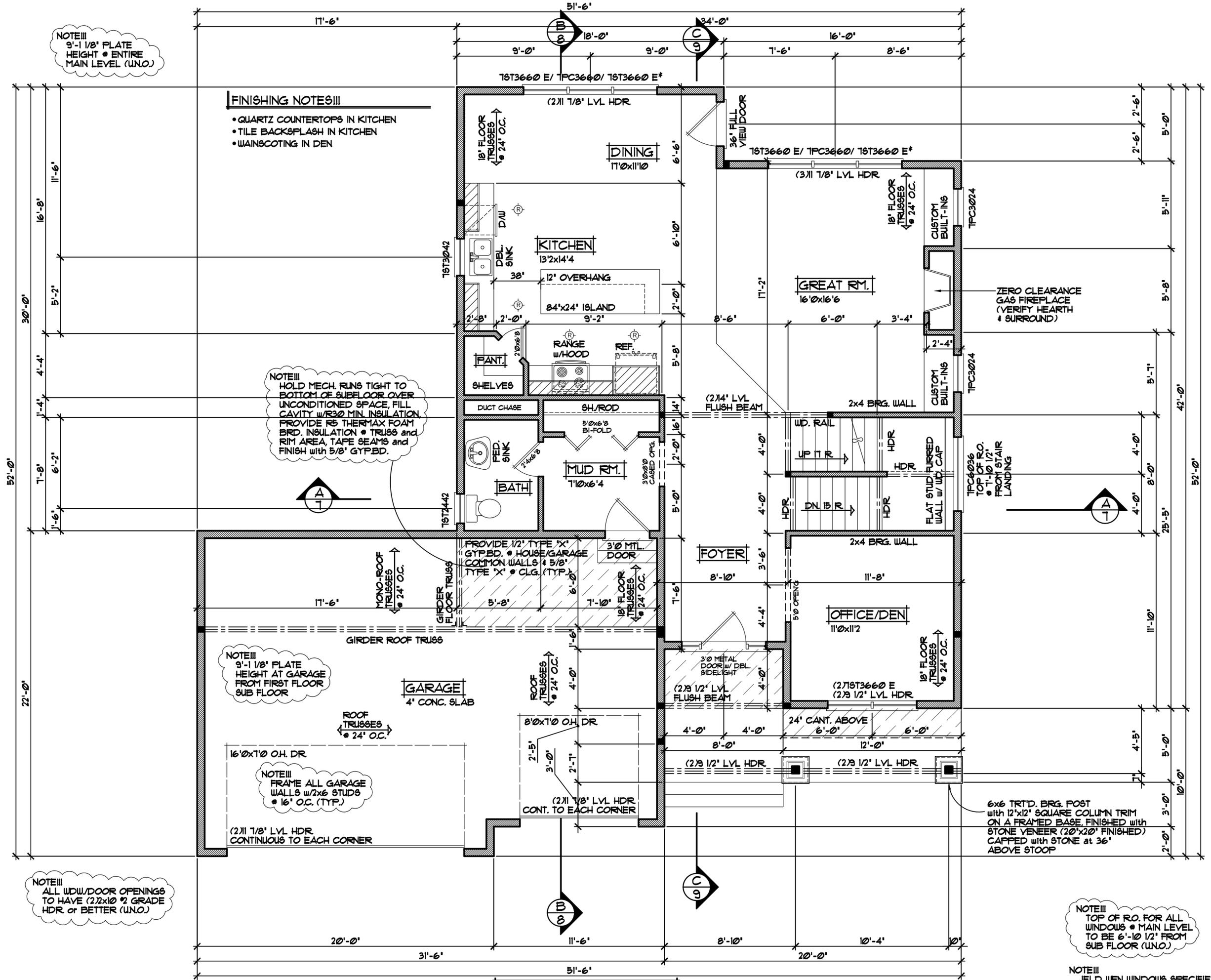
NOTE!!!
SEE SHEETS 6,
FOR OPTIONAL DAYLIGHT
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INFORMATION

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NOTE III
9'-1 1/8" PLATE
HEIGHT • ENTIRE
MAIN LEVEL (UNO.)

FINISHING NOTES!!!

- QUARTZ COUNTERTOPS IN KITCHEN
- TILE BACKSPASH IN KITCHEN
- WAINSCOTING IN DEN

NOTE III
HOLD MECH. RUNS TIGHT TO
BOTTOM OF SUBFLOOR OVER
UNCONDITIONED SPACE. FILL
CAVITY w/R30 MIN. INSULATION.
PROVIDE R5 THERMAX FOAM
BRD. INSULATION • TRUSSES and
RIM AREA, TAPE BEAMS and
FINISH with 5/8" GYPBD.

NOTE III
9'-1 1/8" PLATE
HEIGHT AT GARAGE
FROM FIRST FLOOR
SUB FLOOR

NOTE III
FRAME ALL GARAGE
WALLS w/2x6 STUDS
• 16" O.C. (TYP.)

NOTE III
ALL WDW/DOOR OPENINGS
TO HAVE (2)2x10 1/2 GRADE
HDR. or BETTER (UNO.)

NOTE III
TOP OF RO. FOR ALL
WINDOWS • MAIN LEVEL
TO BE 6'-10 1/2" FROM
SUB FLOOR (UNO.)

NOTE III
JELD WEN WINDOWS SPECIFIED
VERIFY ALL DOOR & WINDOW ROUGH
OPENINGS w/SUPPLIER (* INDICATES
SASH LIMITER REQUIRED)

MAIN LEVEL PLAN 1/4" = 1'-0"
1159 SQFT. MAIN LEVEL

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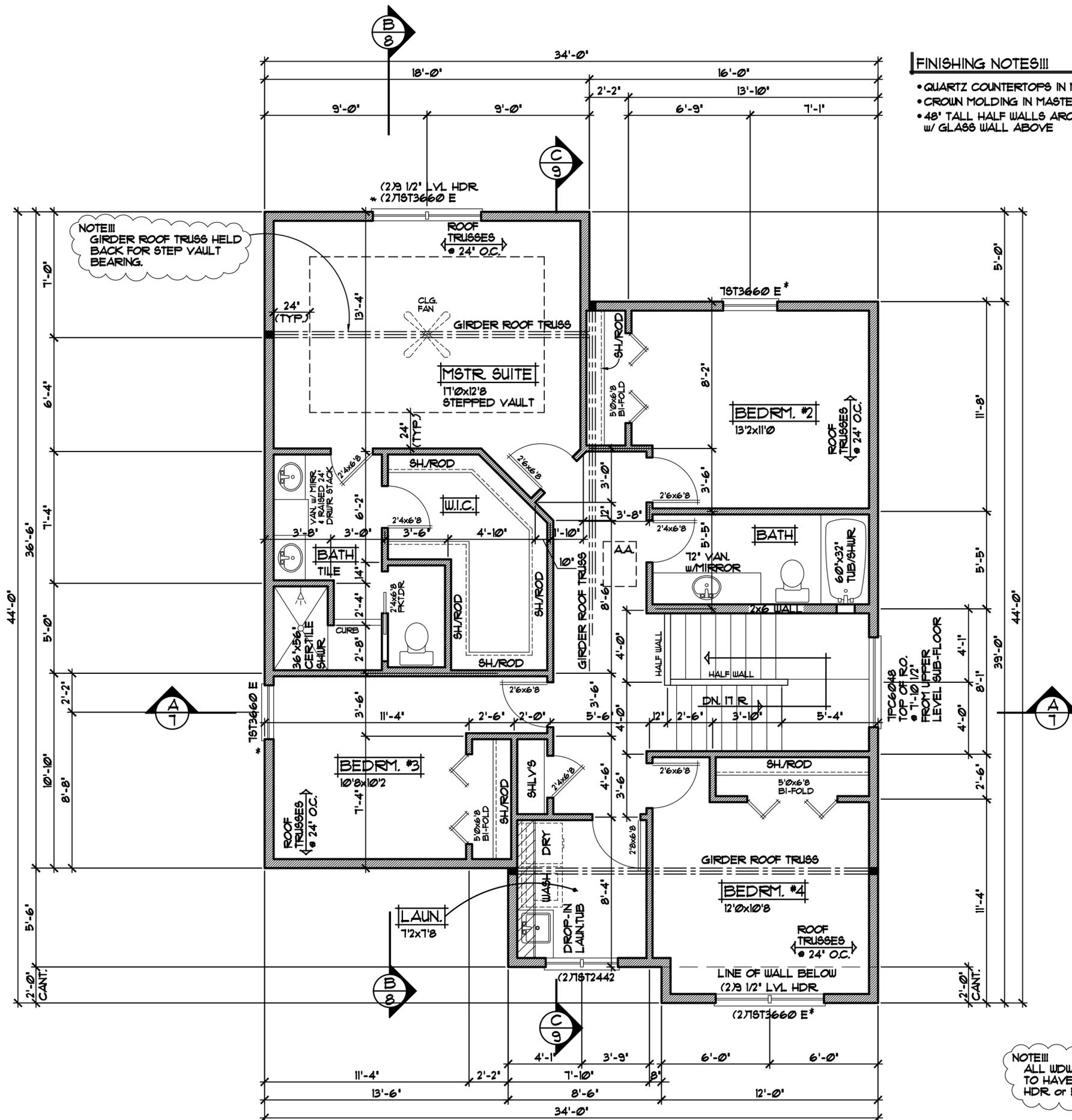
WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

•SINGLE HUNG UNIT
U-VALUE = 0.30
SHGC = 0.23
STC = 21

•SLIDER UNIT
U-VALUE = 0.30
SHGC = 0.23
STC = 26

•FIXED UNIT
U-VALUE = 0.29
SHGC = 0.24
STC = 26

•SLIDING PATIO DOOR
U-VALUE = 0.28
SHGC = 0.23
STC = 28



- FINISHING NOTES!!!**
- QUARTZ COUNTERTOPS IN MASTER BATH
 - CROWN MOLDING IN MASTER SUITE
 - 48" TALL HALF WALLS AROUND SHOWER w/ GLASS WALL ABOVE

NOTE!!!
GIRDER ROOF TRUSS HELD BACK FOR STEP VAULT BEARING.

NOTE!!!
ALL WDW/DOOR OPENINGS TO HAVE (2.2x10 #2 GRADE HDR OR BETTER (UNO.))

NOTE!!!
JELD WEN WINDOWS SPECIFIED
VERIFY ALL DOOR & WINDOW ROUGH OPENINGS w/SUPPLIER (* INDICATES SASH LIMITER REQUIRED)

SECOND LEVEL PLAN 1/4"=1'-0"
1298 SQFT. SECOND LEVEL

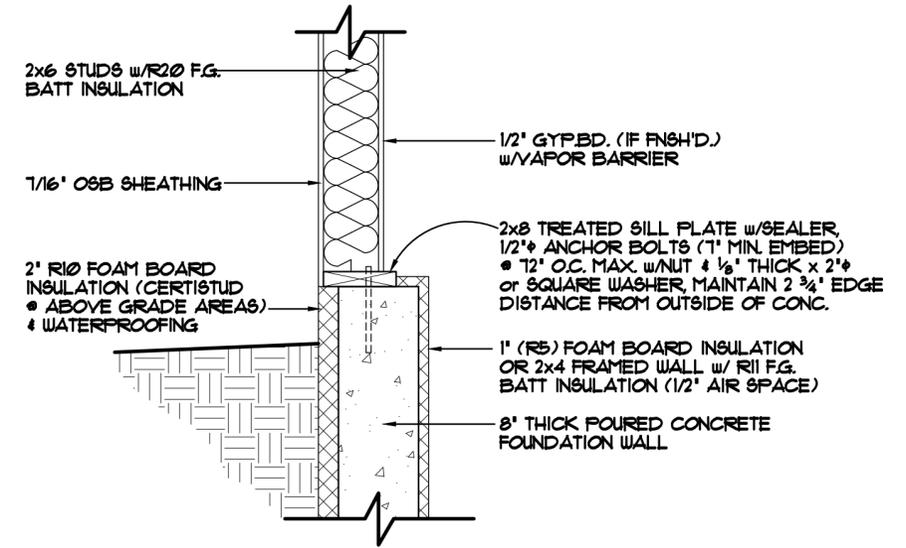
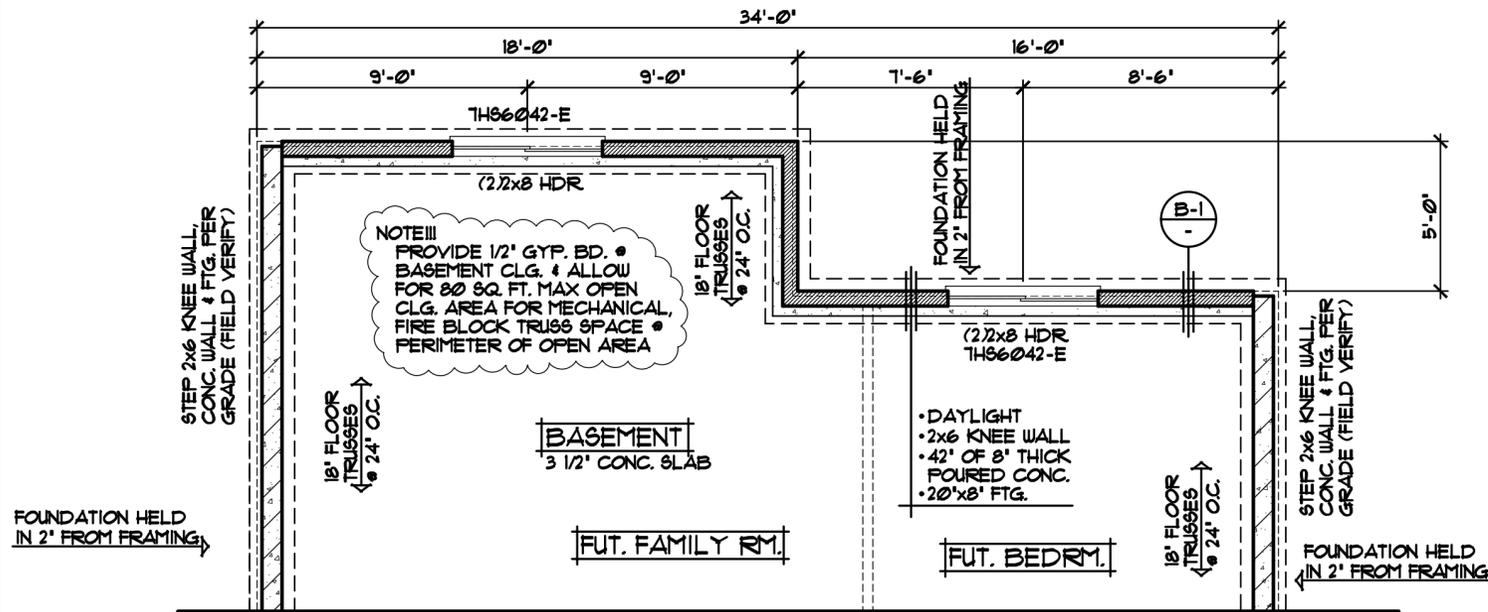
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FOUNDATION OPTION "B" PLAN 1/4"=1'-0"
DAYLIGHT FOUNDATION

FOUNDATION/RIM AREA DETAIL "B-1" 1"=1'-0"
DAYLIGHT FOUNDATION (FOUNDATION HELD IN 2')

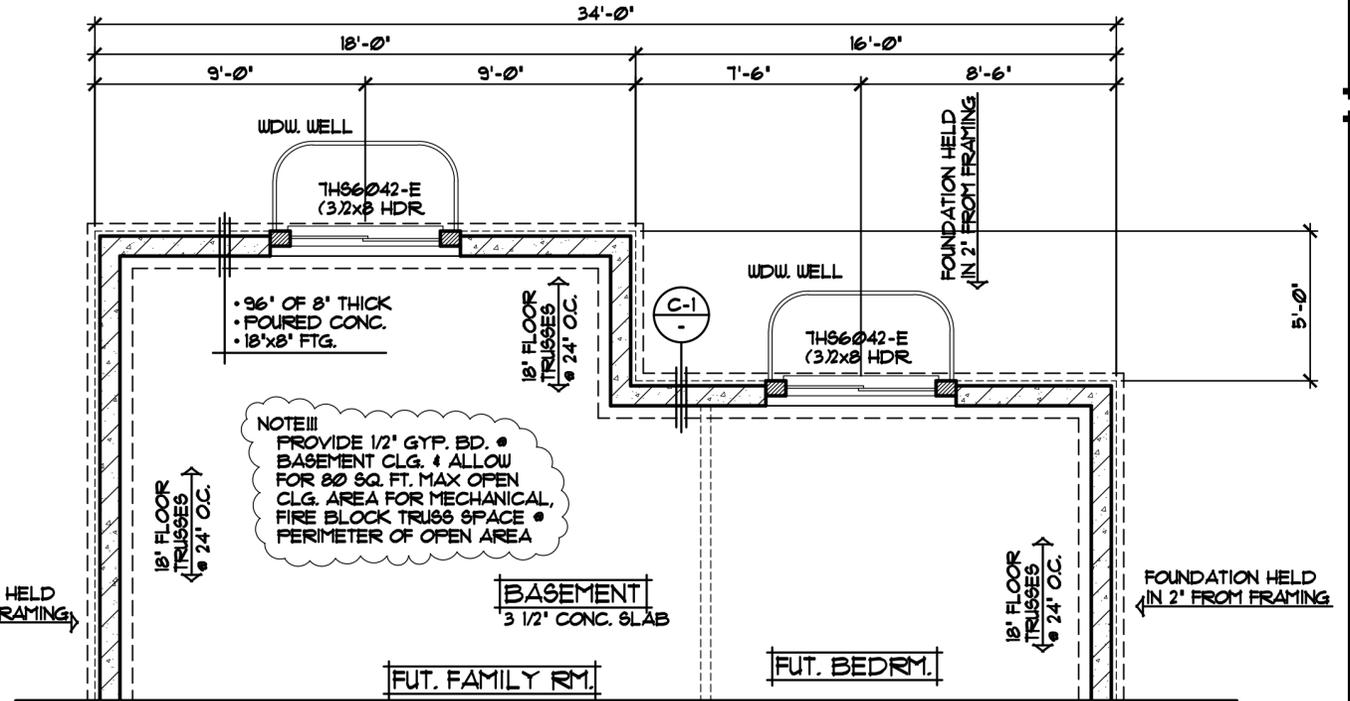
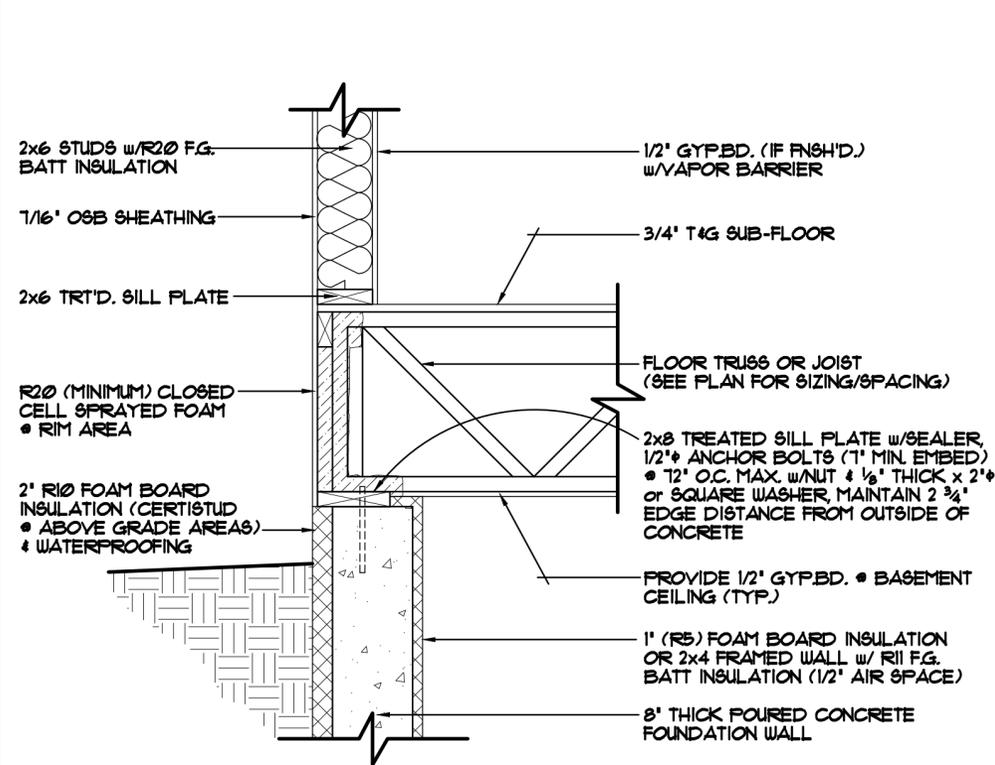
NOTE!!!
POURED CONC. WALL FOUNDATION
VERIFY WALL DIMENSIONS
w/FOUNDATION CONTRACTOR

NOTE!!!
DO NOT HOLD RIM JOIST IN!!!
RIM AREA TO BE INSULATED
with CLOSED CELL SPRAYED
FOAM INSULATION(TYP.)

NOTE!!!
INSULATION & AIR BARRIER
TO BE CONTINUOUS OVER
TOP OF FOUNDATION WALLS
(TYP.)

NOTE!!!
CONC. FOUNDATION WALLS TO
BE HELD IN 2" FROM MAIN LEVEL
FRAMING & TO BE MEASURED FROM
EXTERIOR OF SHEATHING SO
OUTSIDE FACE OF INSULATION IS
IN SAME PLANE AS OUTSIDE
FACE OF SHEATHING (USE CERTISTUD
INSUL. • AREAS ABOVE GRADE)
(SEE DETAIL, SHEET #1)

NOTE!!!
PROVIDE 2" R10 FOAM BOARD
INSULATION • EXTERIOR CONC.
FOUNDATION HOUSE WALLS & 1"
R5 (MIN.) FOAM BOARD INSULATION
• INTERIOR CONC. FOUNDATION
HOUSE WALLS (TYP.)



FOUNDATION/RIM AREA DETAIL "C-1" 1"=1'-0"
STANDARD RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL
(FOUNDATION HELD IN 2')

FOUNDATION OPTION "C" PLAN 1/4"=1'-0"
FULL BASEMENT

NOTE!!!
JELD WEN WINDOWS SPECIFIED
VERIFY ALL DOOR & WINDOW ROUGH
OPENINGS w/SUPPLIER (* INDICATES
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ROOF CONSTRUCTION:

- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
- R49 BLOWN FIBERGLASS INSULATION
- 1/150 ROOF VENT AT SOFFITS, 1/150 VENT AT RIDGE
- AIR CHUTE AT EACH TRUSS SPACE
- 1/2" ROOF SHEATHING
- 15° ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
- ASPHALT SHINGLES,

SOFFIT / FASCIA:

- 2x6 SUB-FASCIA
- MAINTENANCE FREE FASCIA COVER
- MAINTENANCE FREE VENTED SOFFIT

WALL CONSTRUCTION:

- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 FG. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

WALL CONSTRUCTION:

- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPEC'S.
- R-20 FG. BATT INSULATION
- 4 MIL POLY VAPOR BARRIER
- 1/2" GYPSUM BOARD

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WALL CONSTRUCTION:

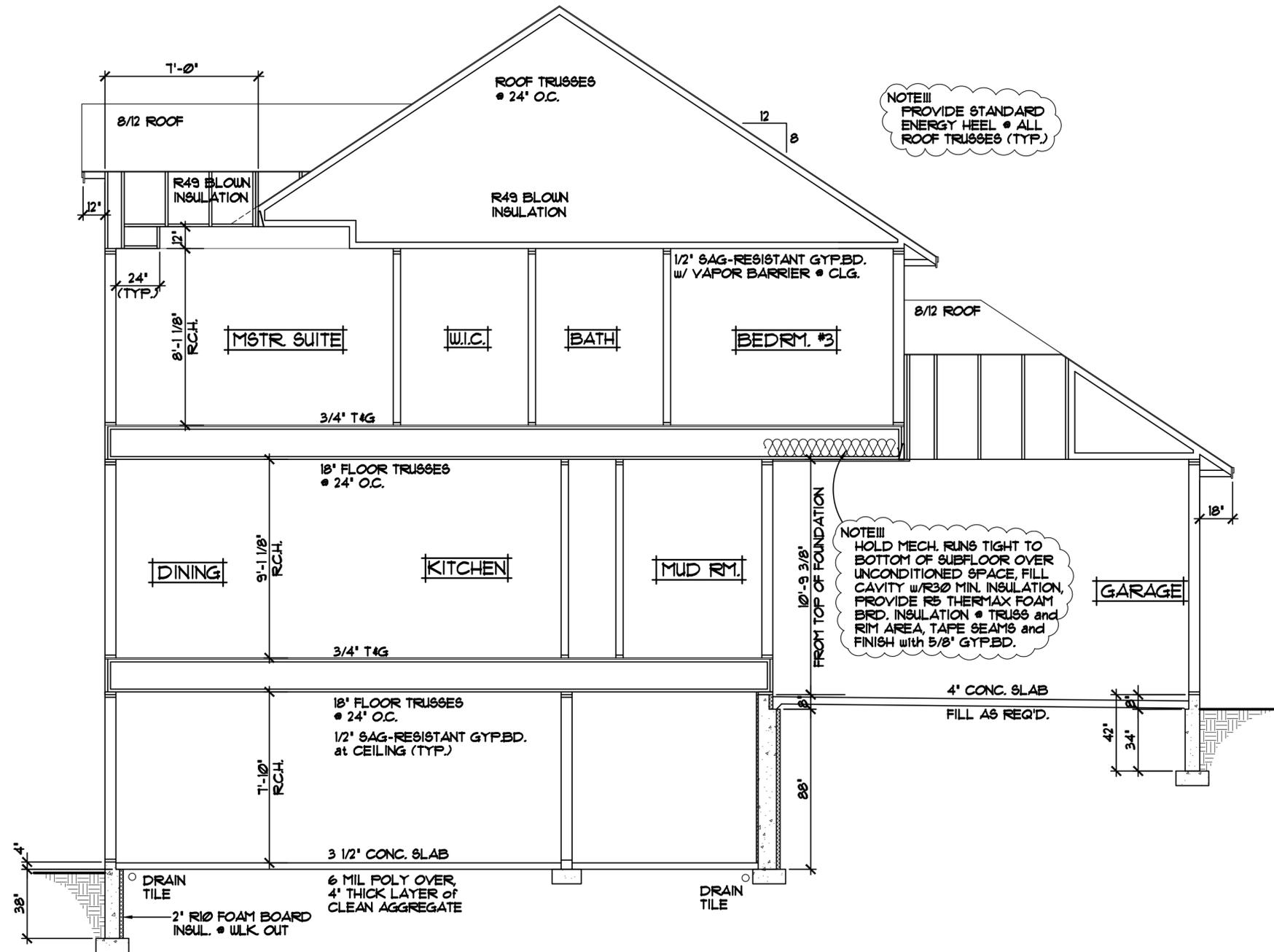
- SIMILAR TO ABOVE

SILL CONSTRUCTION:

- 2x6 SILL PLATE & SEALER
- 1/2" ANCHOR BOLTS @ 12" O.C.

FOUNDATION INSULATION:

- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
- FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION



CROSS SECTION "B" 1/4"=1'-0"

NOTE III
PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP.)

NOTE III
HOLD MECH. RUNS TIGHT TO BOTTOM OF SUBFLOOR OVER UNCONDITIONED SPACE, FILL CAVITY w/R30 MIN. INSULATION. PROVIDE R5 THERMAX FOAM BRD. INSULATION @ TRUSS and RIM AREA, TAPE SEAMS and FINISH with 5/8" GYP.BD.

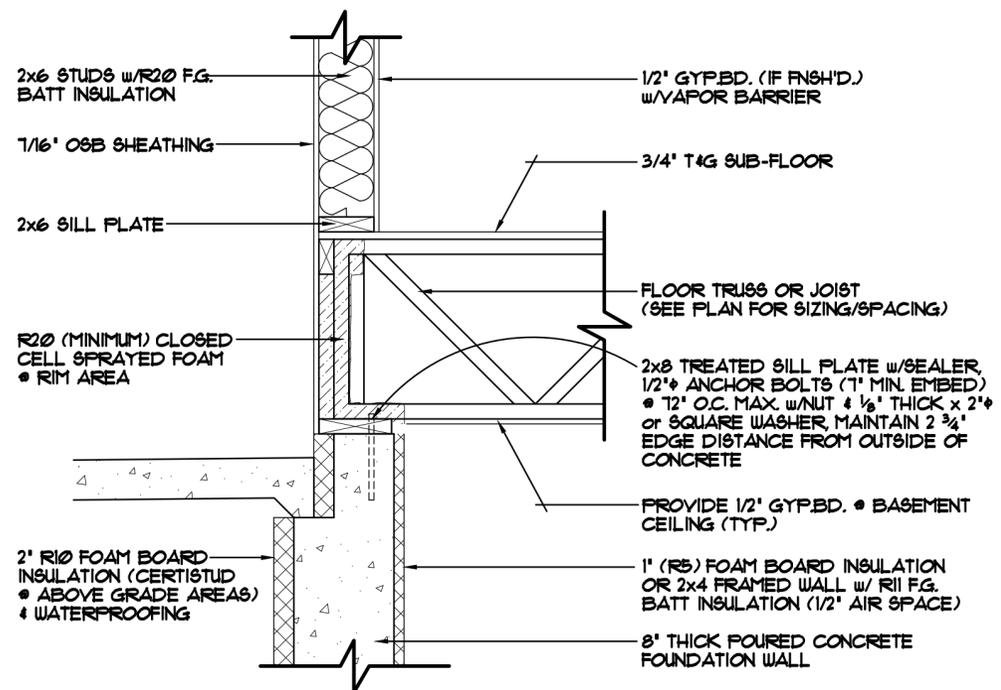
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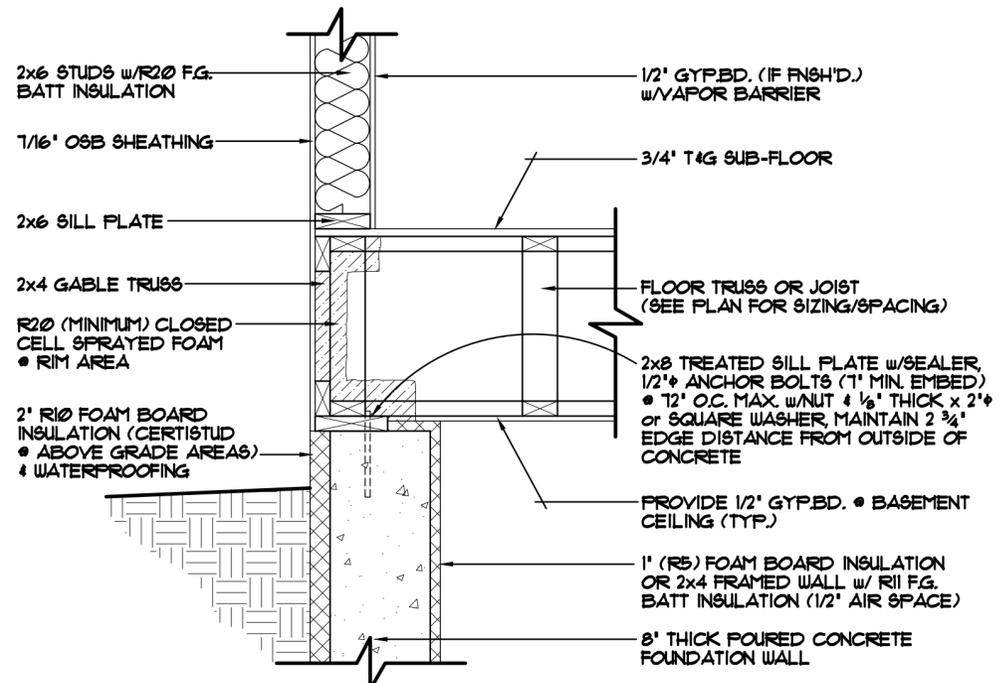


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FOUNDATION/RIM AREA DETAIL "A-2" 1"=1'-0"
BRICK LEDGED FOUNDATION (TOP 8" OF FOUNDATION HELD IN 2')



FOUNDATION/RIM AREA DETAIL "A-3" 1"=1'-0"
STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL (FOUNDATION HELD IN 2')

BLOCKING/SHEATHING FILLER IF NEEDED (TYP.)

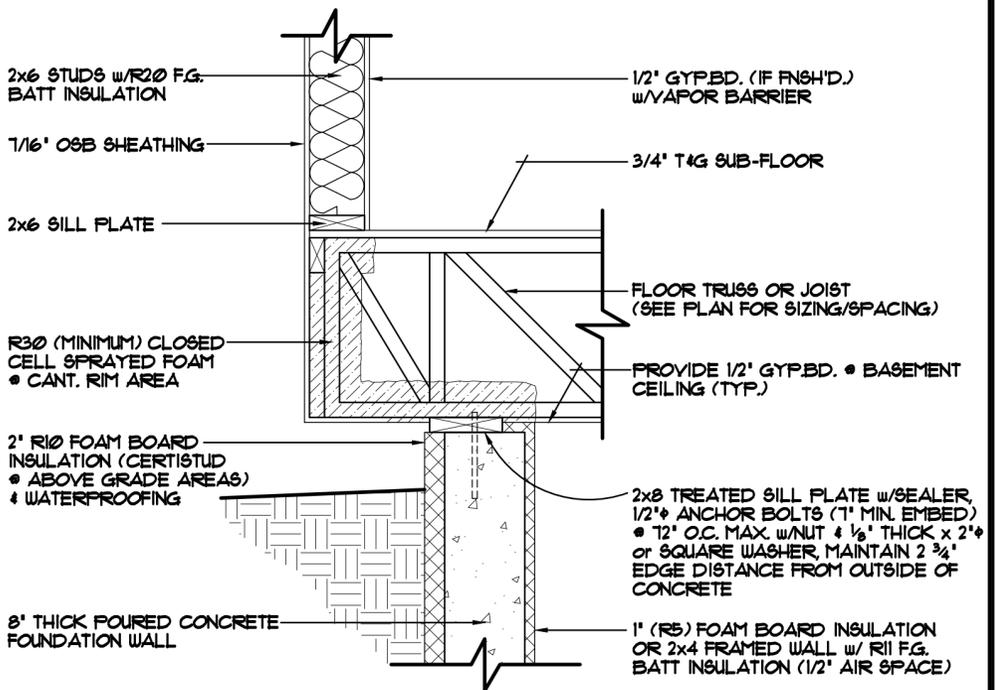
HEADER TO JACK-STUD STRAP PER TABLE R602.10.5.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

16d SINKER NAILS IN 2 ROWS @ 3' O.C.

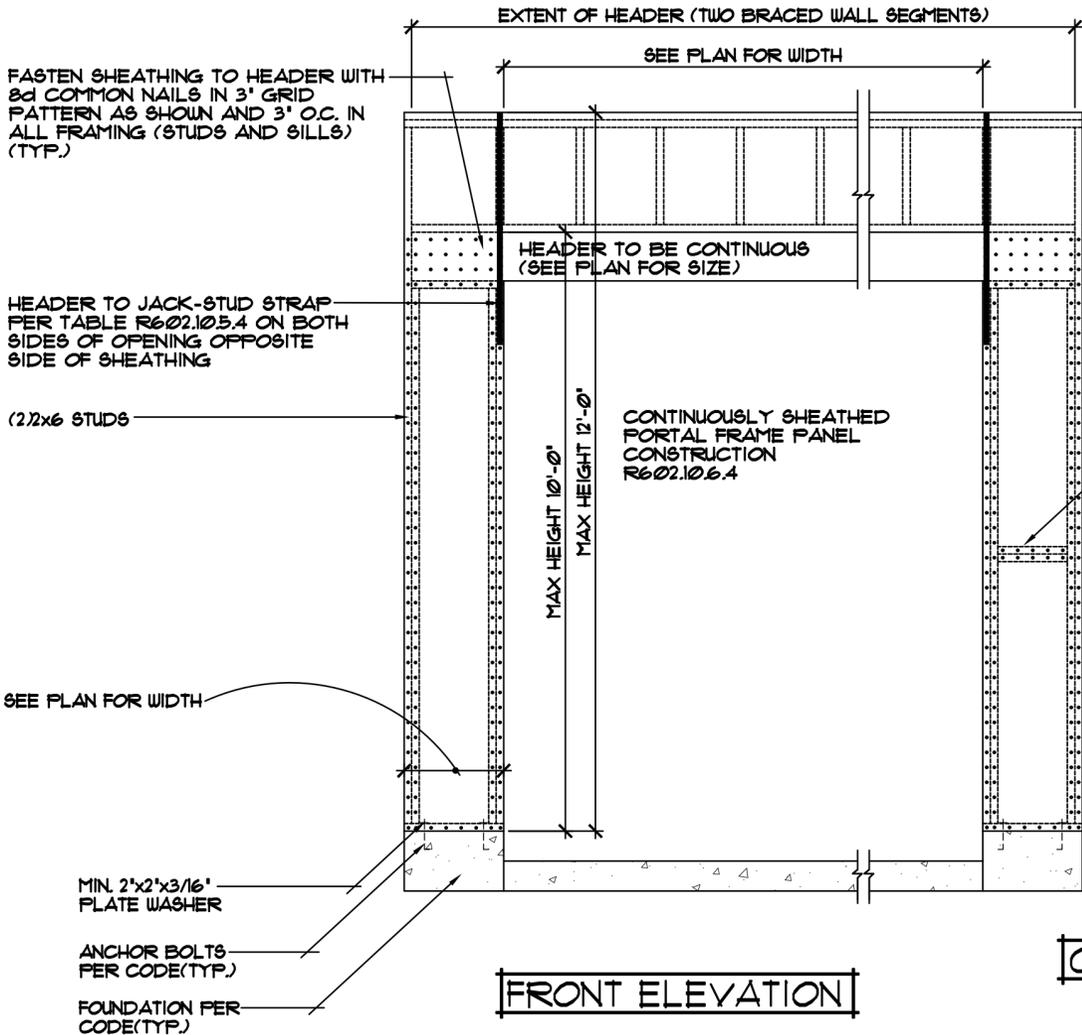
(2)2x6 STUDS w/OSB EXTERIOR SHEATHING

REVISIONS
XX/XX/XX 0000 BY:XX
XX/XX/XX 0000 BY:XX

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FOUNDATION/RIM AREA DETAIL "A-4" 1"=1'-0"
CANTILEVERED TRUSSES/JOISTS (FOUNDATION HELD IN 2')



FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

SIDE ELEVATION

CORNER FRAMING DETAIL

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