

**CITY OF HANOVER
PLANNING COMMISSION MEETING
MAY 22, 2019
AGENDA**

CHAIR
STAN KOLASA

COUNCIL LIAISON
DOUG HAMMERSENG

BOARD MEMBERS
JIM SCENDEL
MICHAEL CHRISTENSON
MICHELLE ARMSTRONG
DEAN KUITUNEN

- 1. Call to Order and Pledge of Allegiance: 7:00 p.m.**
- 2. Approval of Agenda**
- 3. Approval of Minutes from April 22, 2019, Regular Meeting**
- 4. Citizen's Forum**
- 5. Public Hearing**
 - a. Variances at 500 Kadler Avenue NE**
 - b. Amendment to Official Zoning Map and Zoning Ordinance**
- 6. Unfinished Business**
- 7. New Business**
 - a. Final Plat for River Town Villas**
- 8. Reports and Announcements**
 - a. Planning Commission Reports**
 - b. Liaison Report**
 - c. Staff Reports**

**Joint Meeting of Council and Planning Commission on June 10, 2019,
at 6:30 pm at the Fire Hall**
- 9. Adjournment**

**CITY OF HANOVER
PLANNING COMMISSION MEETING
APRIL 22, 2019
DRAFT MINUTES**

Call to Order/Pledge of Allegiance

Stan Kolasa called the April 22, 2019, Planning Commission Meeting to order at 7:00 pm. Members present were Stan Kolasa, Jim Schendel, Michelle Armstrong, Dean Kuitunen, and Mike Christenson. Also present City Planner Cindy Nash, City Administrator Brian Hagen, Council Liaison Doug Hammerseng and Administrative Assistant Amy Biren. Guests were present.

Approval of Agenda

MOTION by Schendel to approve the amended agenda, seconded by Armstrong.
Motion carried unanimously.

Approval of Minutes from the March 25, 2019, Regular Meeting

MOTION by Armstrong to approve the March 25, 2019, minutes, seconded by Schendel.
Motion carried unanimously.

Citizen's Forum

None

Public Hearing

Interim Use Permit at 10467 Beebe Lake Road NE

Kolasa closed the Planning Commission meeting and opened the Public Hearing at 7:02 pm.

Nash reviewed the information provided by the Interim Use Permit (IUP) applicant. The property is currently zoned Residential-Agriculture and he has applied to have a home occupation in an accessory building. Per the current ordinance, home occupations may either exist within the primary dwelling or exist via an IUP in an accessory building.

The conditions outlined in the IUP are as follows:

- Hours of operation are from 8:30 am to 6:30 pm Monday through Friday, 9 am to 1 pm on Saturday, and no operating on Sunday or holidays.
- The business must be conducted within the accessory building.
- Two (2) vehicles may be parked outside awaiting service.
- The business must conform to the home occupation ordinance requirements.
- Hazardous waste must be disposed of properly.
- Only one person that lives on the property may be employed within the business.
- The IUP will terminate on May 31, 2024. If the property is still eligible at the time of termination, a renewal may be considered.

Schendel asked if any complaints have been received by the City. Hagen responded that one was received last year which initiated this process.

Julie Hank, investor of 875 Kayla: Thank you for taking the time to listen to me today. Last April, the property at 875 Kayla was purchased with the intent to renovate and update the house and then sell it. Due to a title issue, the house could not be sold until it was resolved, so they rented it. Hank said that she has received feedback from showings that was negative about the property next door and the amount of traffic going in and out of the property. She wants the business to be shut down and not be given any variance. She does not believe the business owner has the necessary permits for hazardous waste disposal and is

afraid of groundwater contamination. The driveway of the adjacent property is located right next to the Kayla property. If people are on the deck, the traffic is very close and she worries if a buyer has children there may be an accident.

Kuitunen asked Nash what the set back from the property line to the deck was. Nash measured on the Beacon GIS and said that it was approximately 20 feet.

Christenson asked if there was any fencing between the properties. Hank said no, but she has had trees planted to block it off.

Armstrong asked if the property next door is different from when Hank purchased the home. Hank replied that there were cars parked there but it got busier later. Armstrong asked if Hank recognized that when purchasing the home. Hank said no.

Hammerseng asked for more clarification on the distance from the deck to the property line. Nash said that by today's standards, the deck is too close to the property line. She went on to say that she doesn't have the history of the property, so does not know whether or not that was allowed at the time of construction.

Hammerseng asked Hank what makes it different now compared to when she purchased the property. Hank stated that there is too much stuff going on with cars and trailers.

Kuitunen asked the applicant if the trailer traffic is related to the business or was personal to the owner. Elroy Grambart answered that it was personal as he has classic cars stored on the property and they were located behind a security fence.

Christenson asked what hours was when the traffic was occurring. Hank stated the renter said it was happening all of the time and that the renter worked from home.

Hammerseng asked for a review of what had been discussed last year when the home occupation ordinance was updated. Nash said that small modifications were approved such as increasing the number of parked vehicles from one to two; and allowing the home business to operate from an accessory building only in the Residential Agriculture district along a county road. She went on to say that no outdoor storage would be allowed other than the two parked vehicles. The rest of the home occupations conditions were compliant.

Hammerseng asked for clarification on the number of vehicles. Nash said that for a home occupation it is one vehicle and two vehicles for a home occupation with an IUP.

Hank questioned why the applicant was even being allowed to operate as he did not have an IUP. Hagen said that direction had been given by Council for the applicant to apply for an IUP and to continue to operate as before pending consideration of the IUP application.

Joel Grambart responded to the trailer question by explaining that there may have been more than two vehicles during the time when people were picking up or dropping off vehicles. It was usually no longer than 15 minutes. He added that there is one trailer being loaded with scrap metal that will not be there once the metal has been recycled.

Christenson asked Joel Grambart if he was fine with the conditions and complying with the other conditions in the home occupation ordinance. He responded yes.

Hammerseng asked if working with the door open had been discussed. Joel Grambart said he did have the doors open the other day when it was nice out. Nash replied that the ordinance says that the doors need to be closed. Hammerseng said that his recollection was that the business was to comply with the home occupation ordinance regulations and that it was just in an accessory building rather than the home.

Elroy Grambart said that the property is torn up right now as the house was hooked up to City water and sewer and was very muddy. Restoration still needs to be done. Nash clarified that work such as that is not related to the operation of the business.

Nash reminded the Board that if a home occupation with an IUP is not in compliance with the ordinance, then Council can revoke the IUP. Applicants need to be given the chance to comply.

Kolasa closed the Public Hearing and re-opened the Planning Commission meeting at 7:27 pm.

MOTION by Armstrong to recommend forwarding the IUP application to Council for approval with the conditions outlined, seconded by Christenson.

Motion carried unanimously.

Unfinished Business

None

New Business

Final Plat for Crow River Heights West Fourth Addition

Nash reminded the Board that everything in the packet was reviewed last summer and the Planning Commission recommended sending it forward to Council for approval. After that meeting, the developer withdrew the application. There will be some minor revisions that will be presented to Council such as engineering specifics.

Armstrong asked why the developer had withdrawn the application. Buck Backes responded that sales were slow and the homes in the Third Addition were not selling as quickly as planned. He has since increased the number of builders to five as well as sold a few lots to individuals. Most of the lots in the Third Addition have been sold.

MOTION by Armstrong to recommend forwarding the Crow River Heights West Fourth Addition Final Plat to Council for approval with the twenty conditions listed in the memo, seconded by Kuitunen.

Motion carried unanimously.

Backes asked about going ahead with grading. Nash responded that she would have to get back to him.

First Review of Ordinance 2019-XX Amending the Official Zoning Map of the City of Hanover to bring Map into Conformance with the City of Hanover Comprehensive Plan

Nash said that the zoning map discussion needs to be started as it will need to be amended to be in sync with the Comprehensive Plan 2040 that was approved. A public hearing will take place at a later date. A draft of the zoning map has been given to each member and should match up with the land use map.

One difference is found in the Residential Agriculture district. The district was split into two new districts: agriculture and rural residential. The reason for the differentiation is agricultural use. Some of the current properties are more neighborhood-like and would not be able to accommodate an agricultural use or house animals. However, if a property is currently farming or has animals, the property would be grandfathered in and would be able to continue operating.

Armstrong said that this is a wise decision and gives clear distinction on what can happen on a property that is more rural in nature.

Kuitunen asked what the difference was between Institutional and Public and used the Hanover Historical Society property as an example. Hagen replied that churches, schools, cemeteries, and non-profits would be considered Institutional and that City-owned property and parks would be Public.

Nash asked the Board to review the map and send questions to either her or Hagen.

Reports and Announcements

Biren reminded the members of the Joint meeting on May 4th.

Nash informed the members that the City Council had ordered an Environmental Assessment Worksheet (EAW) for the Mahler Pit. Fehn will be applying for an extension and expansion of the gravel pit this summer. He would like to expand the pit southward and increase the side to approximately 160 acres.

Hammerseng thanked the members for allowing him to be gone over the winter and for the people that filled in for him.

Schendel asked that No Parking signs be put up along River Road by the River Inn as people are not seeing the yellow curbs. Kolasa agreed and asked that staff go through the downtown area to see where parking signs were needed.

Adjournment

MOTION by Schendel to adjourn, seconded by Christenson.

Motion carried unanimously.

Meeting adjourned at 7:50 pm.

ATTEST:

Amy L. Biren
Administrative Assistant

Collaborative Planning, LLC

Memorandum

To: Planning Commission
From: Cindy Nash, AICP, EDFP
Date: May 16, 2019
Subject: 500 Kadler - variances

The City has received a variance application for review and consideration.

Overview of Request

The subject property is a lot of record in Crow River Heights. A variance request is being made to permit the construction of a home and driveway in locations that would be within thirty (30) feet from the wetland, would be within the rear yard setback, and would not meet a typical orientation to the road right of way.



Crow River Heights received preliminary plat and planned unit development approval prior to the adoption of the current wetland setback requirements. This portion of the development was not final platted until after 2003, however, which means it is not exempted from the wetland buffer provisions as it was not a lot of record in 2003. This lot, along with the adjacent lot (520 Kadler) were approved as a part of the Crow River Heights PUD. Because of the various regulations in place today, it is difficult to site a home on either of these lots in a manner that is in compliance with the zoning ordinance.

The applicant has designed a custom home for this lot with a goal towards requesting as minimal amount of variance as possible while working with the natural resources present on the property. Per their application, they are also proposing that this lot be combined with 520 Kadler to eliminate that existing lot of record. The home is tilted as compared to the front of building pad as shown on the original plat in order to minimize impacts to the wetland. This tilting also decreases the amount of encroachment into the rear yard setback. To compensate for the tilting as compared to the street line, the home has garage on one side and the front entrance on the other side, both visible from Kadler at angles.

Legal Background on Variances

Minnesota statutes on variances were amended in 2011 to reflect a “practical difficulties” standard, rather than the previously used “undue hardship” standard.

Evaluation of Request

In evaluating variance requests, the following questions should be considered:

1. Is the request a reasonable use of the land?
Staff Note: The proposed request to build a single-family home is a reasonable use of the land. The lots were designed and approved by the City under a PUD and each lot was intended to have a single-family home. The building pad for 500 Kadler is located per the original plans in the general location of the proposed home. The home was designed to minimize to the extent to locate the home as far away from the wetlands as possible. However, as noted on the plans there is a 1' eave overhang in the wetland buffer area. In addition, there would be some disturbance of the ground in the wetland buffer area associated with the construction of the home. In order to minimize impacts to the wetland buffer, the home is situated on the building pad as it was originally planned which puts it toward the back of the lot into the rear yard setback, as well as at an angle relative to the street. Finally, because a driveway is needed to serve the property, the driveway and a retaining wall would be encroaching into the wetland buffer but are set as far away as possible while still meeting side yard setbacks on the opposite side. Further, the applicant has proposed combining this lot with the adjacent lot so that further impacts to the wetland buffer are not caused by building on the other remaining lot of record.
2. Is the plight of the landowner due to circumstances unique to the property not created by the landowner?
Staff Note: The situation was not created by the landowner. The lot is an existing lot of record. The encroachment is the minimal amount needed to accommodate a home on the property.
3. Will the variance, if granted, alter the essential character of the locality?
Staff Note: The variance will not alter the essential character of the locality. Homes were always planned for this (and other) similarly situated lots in this neighborhood.

Recommendation

Staff recommends approval of the variance with the following conditions:

1. The home shall be constructed in substantial conformance with the Certificate of Survey prepared by E.G. Rud & sons, Inc. Land Services, Inc. and dated April 30, 2019.
2. No grading or land disturbing activities are permitted to occur within the existing easement containing the wetland or within a 10' buffer strip surrounding that easement except within the area containing the driveway and retaining wall. Heavy duty silt fence shall be installed at the edge of the buffer strip to provide redundant erosion control methods and to demarcate the location past which no grading, filling or land disturbing activities shall be permitted. This silt fence is in addition to any other erosion and sediment control measures required by the City.
3. The buffer strip shall be maintained in accordance with City ordinances, as amended from time to time.

4. Following completion of construction, signs approved by the City Engineer shall be installed along the edge of the buffer strip in locations approved by the City Engineer denoting that a wetland/conservation area exists on the other side of the line. The signs shall also be installed on the rear property line.
5. The applicants shall file an administrative subdivision to formally combine 500 and 520 Kadler into one lot, and the combination shall be completed prior to the issuance of a building permit.
6. Prior to the issuance of a building permit an escrow of \$10,000 must be provided to the City to ensure compliance with the conditions of this variance and may be used by the City as it determines necessary to complete any conditions of the variance or to restore or mitigate any damage to the wetland caused by the construction on the site. Following completion of the project and conditions in a manner determined satisfactory by the City Engineer, any remaining escrow balance shall be returned to the applicant without interest.



Hanover, MN 55341-0278
 Phone: 763.497.3777 fax: 763.497.1873
www.hanovermn.org
cityhall@ci.hanover.mn.us

For Office Use Only	
Case Number:	
Fee Paid:	Rec 10132
Received by:	AJH
Date Filed:	5-2-19
Date Complete:	
Base Fee:	300 Escrow: 1000

DEVELOPMENT APPLICATION

TYPE OF APPLICATION		
<input type="checkbox"/> Annexation <input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text or Map) <input type="checkbox"/> Planned Unit Development (Concept/Gen)	<input checked="" type="checkbox"/> Site Plan & Building Plan <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Conditional Use Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Vacation	<input type="checkbox"/> Simple Land Division <input type="checkbox"/> Subdivision Sketch Plan <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other
PROPERTY INFORMATION		
Street Address: 500/520 Kadler Avenue NE Hanover, MN 55341		
Property Identification Number (PIN#):		
Legal Description (Attach if necessary): The two lots to be combined into one lot.		
APPLICANT INFORMATION		
Name: David and Auri Anna Mooers		Business Name:
Address: 18715 232nd Avenue NW		
City: Big Lake	State: MN	Zip Code: 55309
Telephone: (763) 647-8216	Fax:	E-mail: mooers7@yahoo.com
Contact: David Mooers	Title:	
OWNER INFORMATION (if different from applicant)		
Name: Scott Boie (owner of lots)		Business Name:
Address: 5237 Sumac Lane		
City: Walker	State: MN	Zip Code: 56484
Telephone: (952) 847-0213	Fax:	E-mail:
Contact: Scott Boie	Title:	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: Empty lots		
Nature of Proposed Use: Building a residential home		
Reason(s) to Approve Request: It allows the two "problem" lots to be combined into one lot with one residential property. Thus, eliminating the 520 lot building issue altogether and increasing the surrounding property values.		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See Application Instructions and City Code		

APPLICATION FEES AND EXPENSES:

The City of Hanover required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner:

E-mail moers7@yahoo.com Fax _____ USPS – Certified Mail
arboie16@gmail.com

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: [Signature] Date: 5/1/19

Owner: Scott R. Bue Date: 5.1.19

**NOTE: Applications only accepted with ALL required support documents.
See Application Checklist and City Code**



SUPPLEMENTAL APPLICATION – VARIANCE

Name: David and Auri Anna Moders

Phone: (903) 647-8216

Address: 18715 232nd Avenue NW Big Lake, MN 55309 PID #: _____

1. Present zoning of above described property: Single family residential
2. The request(s) which we desire for our property are in conflict with the following section of the Hanover City Code.
Section: 10.26 Section _____ Section _____
3. Proposed Non-Conformance(s): Variance from wetland set back
4. Would the variance be in harmony with the purposes and intent of the City Code? Attach additional pages if needed. yes, making full use of the property.
5. Is the variance consistent with the Comprehensive Plan? If yes, how so? Attach additional pages if needed? Yes, the first variance is for the driveway leading up to the home. The second variance is for the one foot overhang on the North corner of the home.
6. Does the proposal put property to use in a reasonable manner? Explain. Yes, it places a residence within the buildable portion on lot 500, which in turn allows us to combine lot 500 and lot 520 into one lot.
7. Do special conditions and circumstances result from your own actions? Explain. (If answer is 'yes,' you may not qualify for a variance.) No
8. Are there circumstances unique to the property? Explain. Wetland set backs
9. Will the variance, in granted, alter the essential character of the city of Hanover? Explain. No

10. Will the granting of the variance result in a condition which impairs an adequate supply of light and air to adjacent properties? Yes No
11. Will the granting of the variance result in a condition which diminishes the established property values in the surrounding area? Yes No
12. Will the granting of the variance result in a condition that impairs the public health, safety or welfare of the citizens of the city? Yes No
13. Could the goal be accomplished with a smaller variance? Yes No
If No, explain: _____

14. Attach to this application any materials outlined in the "Required Material Submission Checklist" for variance applications.

Applicant Signature: 

Date: 5/1/19

Owner Signature: Scott R. Bue

Date: 5.1.19

Minnesota Wetland Conservation Act

Notice of Decision

Local Government Unit (LGU) Wright SWCD	Address 311 Brighton Ave S, Suite C Buffalo, MN 55313
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1. PROJECT INFORMATION

Applicant Name David Sibley	Project Name 520 Kadler Ave Delineation	Date of Application 4-28-16	Application Number
<input checked="" type="checkbox"/> Attach site locator map.			

Type of Decision:

<input checked="" type="checkbox"/> Wetland Boundary or Type	<input type="checkbox"/> No-Loss	<input type="checkbox"/> Exemption	<input type="checkbox"/> Sequencing
<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Banking Plan		

Technical Evaluation Panel Findings and Recommendation (if any):

<input type="checkbox"/> Approve	<input type="checkbox"/> Approve with conditions	<input type="checkbox"/> Deny
Summary (or attach): No comments received.		

2. LOCAL GOVERNMENT UNIT DECISION

Date of Decision: 6-1-16		
<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Approved with conditions (include below)	<input type="checkbox"/> Denied

LGU Findings and Conclusions (attach additional sheets as necessary):

<p>Ben Carlson (Kjolhaug Env. Services) submitted a wetland boundary/type application on behalf of the applicant, David and Nancy Sibley on 4-28-16. The assessment area is located in T120N, R24W, Sec. 34 (City of Hanover) – PID's 108040004020 and 108040004010.</p> <p>A wetland delineation was originally completed for PID 108040004020 on July 23rd, 2015 and submitted to the Wright SWCD on 9-3-15. A WCA Notice of Decision approving that application was issued by the Wright SWCD on 10-5-15.</p> <p>The LGU (Andrew Grean – Wright SWCD) conducted a site visit on 5-11-16 to verify the wetland boundary/type. The LGU determined that the wetland boundary/type was accurate as shown and described within the current application.</p>

For Replacement Plans using credits from the State Wetland Bank:

Bank Account #	Bank Service Area	County	Credits Approved for Withdrawal (sq. ft. or nearest .01 acre)
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Replacement Plan Approval Conditions. In addition to any conditions specified by the LGU, the approval of a Wetland Replacement Plan is conditional upon the following:

- Financial Assurance:** For project-specific replacement that is not in-advance, a financial assurance specified by the LGU must be submitted to the LGU in accordance with MN Rule 8420.0522, Subp. 9 (List amount and type in LGU Findings).
- Deed Recording:** For project-specific replacement, evidence must be provided to the LGU that the BWSR "Declaration of Restrictions and Covenants" and "Consent to Replacement Wetland" forms have been filed with the county recorder's office in which the replacement wetland is located.
- Credit Withdrawal:** For replacement consisting of wetland bank credits, confirmation that BWSR has withdrawn the credits from the state wetland bank as specified in the approved replacement plan.

Wetlands may not be impacted until all applicable conditions have been met!

LGU Authorized Signature:

Signing and mailing of this completed form to the appropriate recipients in accordance with 8420.0255, Subp. 5 provides notice that a decision was made by the LGU under the Wetland Conservation Act as specified above. If additional details on the decision exist, they have been provided to the landowner and are available from the LGU upon request.		
Name Andrew Grean	Title Wetland Specialist	
Signature 	Date 6-1-16	Phone Number and E-mail 763.682.1933 andrew.grean@mn.nacdnet.net

THIS DECISION ONLY APPLIES TO THE MINNESOTA WETLAND CONSERVATION ACT. Additional approvals or permits from local, state, and federal agencies may be required. Check with all appropriate authorities before commencing work in or near wetlands.

Applicants proceed at their own risk if work authorized by this decision is started before the time period for appeal (30 days) has expired. If this decision is reversed or revised under appeal, the applicant may be responsible for restoring or replacing all wetland impacts.

This decision is valid for three years from the date of decision unless a longer period is advised by the TEP and specified in this notice of decision.

3. APPEAL OF THIS DECISION

Pursuant to MN Rule 8420.0905, any appeal of this decision can only be commenced by mailing a petition for appeal, including applicable fee, within thirty (30) calendar days of the date of the mailing of this Notice to the following as indicated:

Check one:

<input type="checkbox"/> Appeal of an LGU staff decision. Send petition and \$0 fee (if applicable) to: Wright SWCD 311 Brighton Ave S, Suite C Buffalo, MN 55313	<input checked="" type="checkbox"/> Appeal of LGU governing body decision. Send petition and \$500 filing fee to: Executive Director Minnesota Board of Water and Soil Resources 520 Lafayette Road North St. Paul, MN 55155
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4. LIST OF ADDRESSEES

- SWCD TEP member: **Andrew Grean, Wright SWCD, andrew.grean@mn.nacdnet.net**
- BWSR TEP member: **Ben Meyer, BWSR, ben.meyer@state.mn.us**
- LGU TEP member (if different than LGU Contact): **Mark Johnson, Wright County Highway Dept., mark.johnson@co.wright.mn.us**
- DNR TEP member: **Jason Neuman, DNR, jason.neuman@state.mn.us**
- DNR Regional Office (if different than DNR TEP member)
- WD or WMO (if applicable):
- Applicant (notice only) and Landowner (if different)

David and Nancy Sibley (landowner), n.sibley@outlook.com
Ben Carlson (Kjolhaug Env. Services – Agent), ben@kjolhaugenv.com

- Members of the public who requested notice (notice only):

Frank Svoboda, franks@gpsinnovations.com
Cody Okeson, USFWS, cody_okeson@fws.gov

- Corps of Engineers Project Manager (notice only):

Andrew Beaudet, ACOE, Andrew.D.Beaudet@usace.army.mil

- BWSR Wetland Bank Coordinator (wetland bank plan applications only)

5. MAILING INFORMATION

➤ For a list of BWSR TEP representatives: www.bwsr.state.mn.us/aboutbwsr/workareas/WCA_areas.pdf

➤ For a list of DNR TEP representatives: www.bwsr.state.mn.us/wetlands/wca/DNR_TEP_contacts.pdf

➤ Department of Natural Resources Regional Offices:

<u>NW Region:</u>	<u>NE Region:</u>	<u>Central Region:</u>	<u>Southern Region:</u>
Reg. Env. Assess. Ecol. Div. Ecol. Resources 2115 Birchmont Beach Rd. NE Bemidji, MN 56601	Reg. Env. Assess. Ecol. Div. Ecol. Resources 1201 E. Hwy. 2 Grand Rapids, MN 55744	Reg. Env. Assess. Ecol. Div. Ecol. Resources 1200 Warner Road St. Paul, MN 55106	Reg. Env. Assess. Ecol. Div. Ecol. Resources 261 Hwy. 15 South New Ulm, MN 56073

For a map of DNR Administrative Regions, see: http://files.dnr.state.mn.us/aboutdnr/dnr_regions.pdf

➤ For a list of Corps of Project Managers: www.mvp.usace.army.mil/regulatory/default.asp?pageid=687
 or send to:

US Army Corps of Engineers
 St. Paul District, ATTN: OP-R
 180 Fifth St. East, Suite 700
 St. Paul, MN 55101-1678

➤ For Wetland Bank Plan applications, also send a copy of the application to:

Minnesota Board of Water and Soil Resources
 Wetland Bank Coordinator
 520 Lafayette Road North
 St. Paul, MN 55155

6. ATTACHMENTS

In addition to the site locator map, list any other attachments:

- Wetland Boundary Figure**

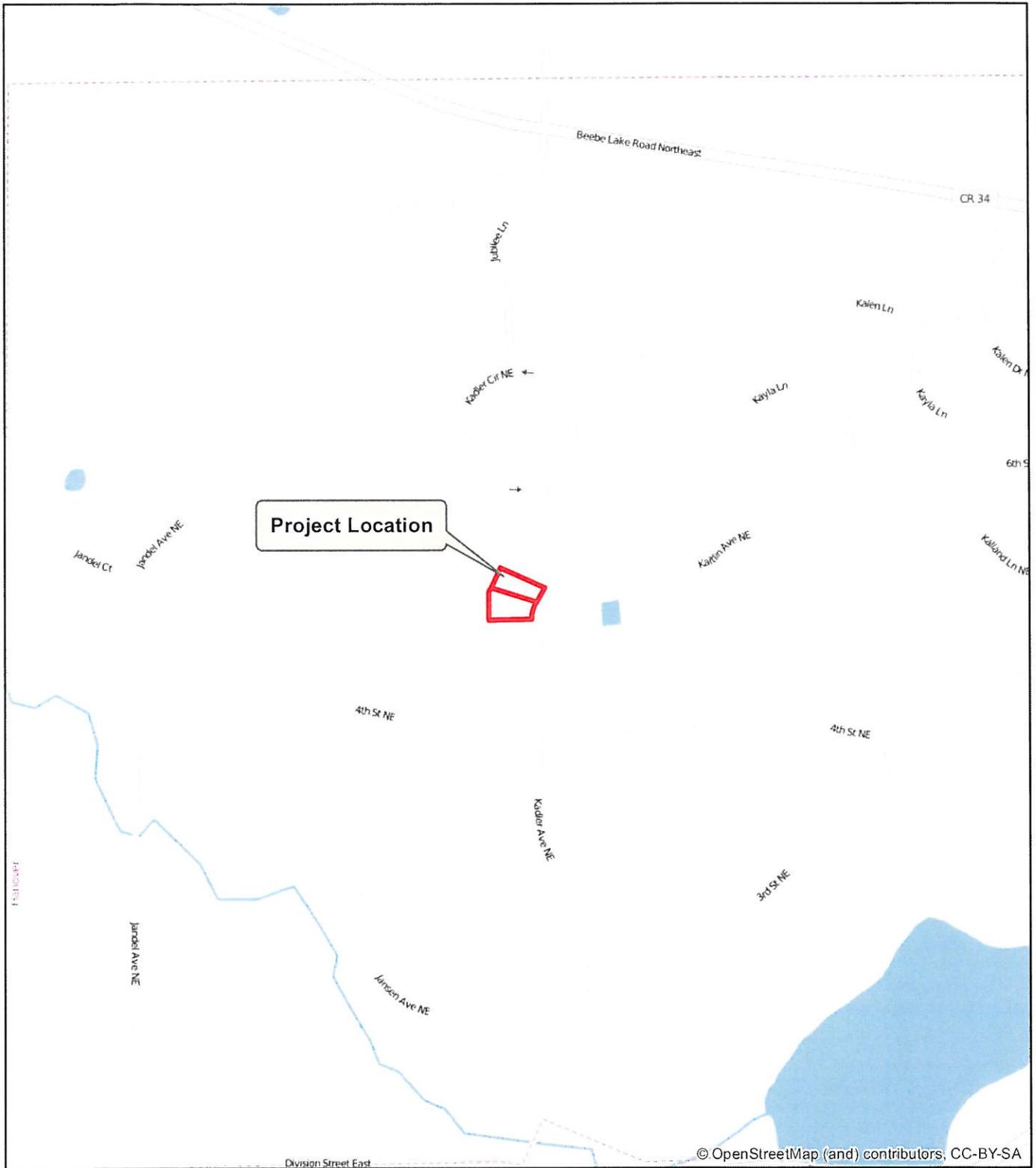


Figure 1 - Site Location Map



N



0 0.125 0.25



Miles

Crow River Heights (KES 2016-058)
Hanover, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

KJØLHAUG ENVIRONMENTAL SERVICES COMPANY

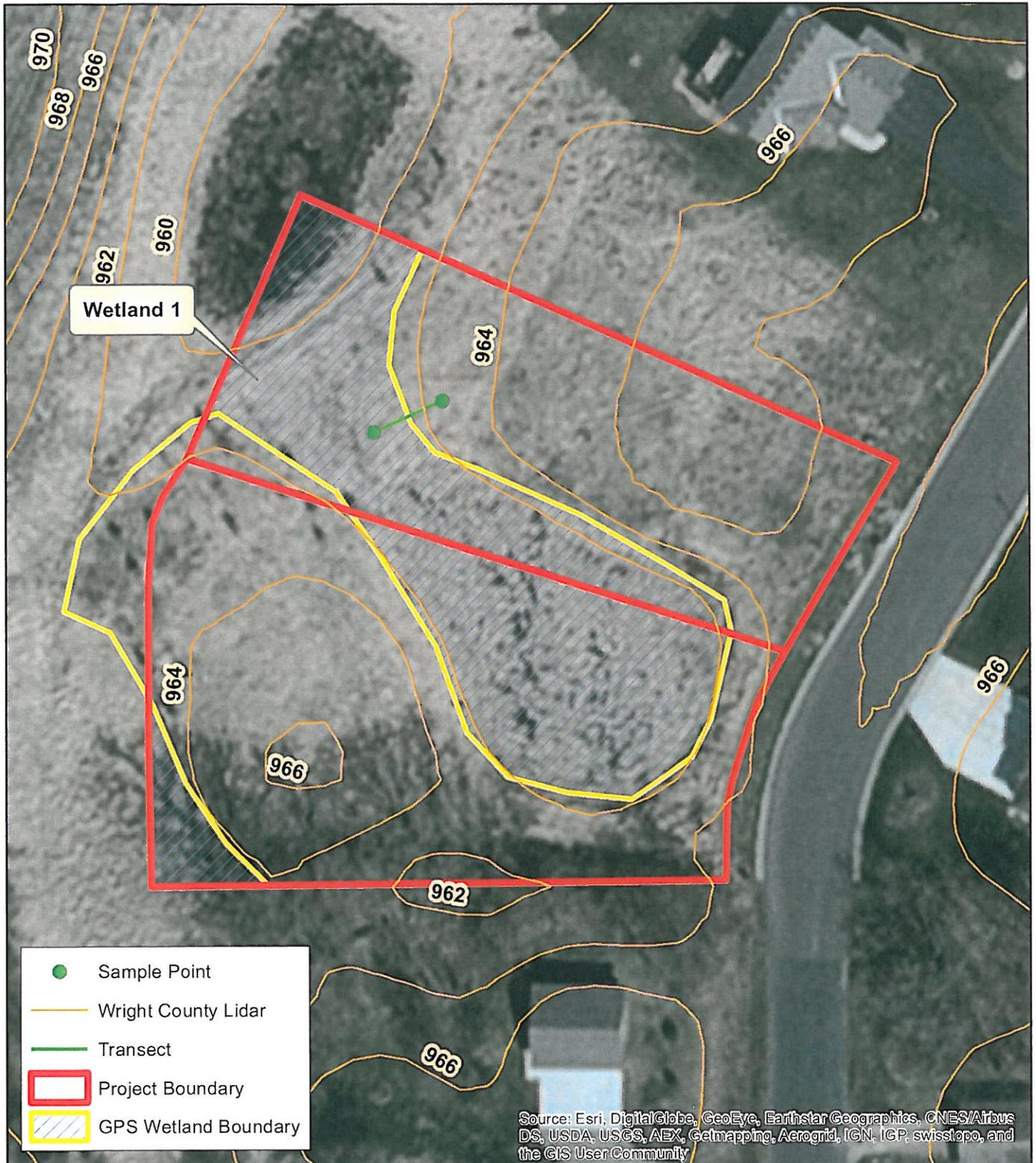


Figure 2 - Existing Conditions Map (2013 FSA Photograph)



N



0 50 100

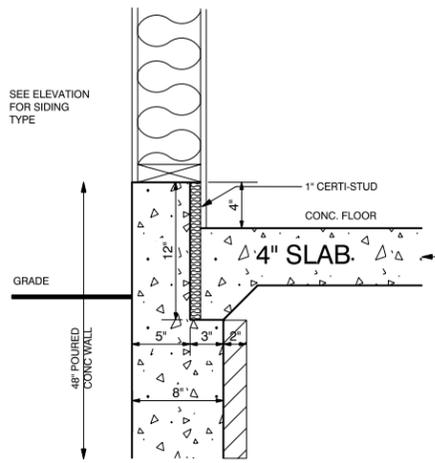


Feet

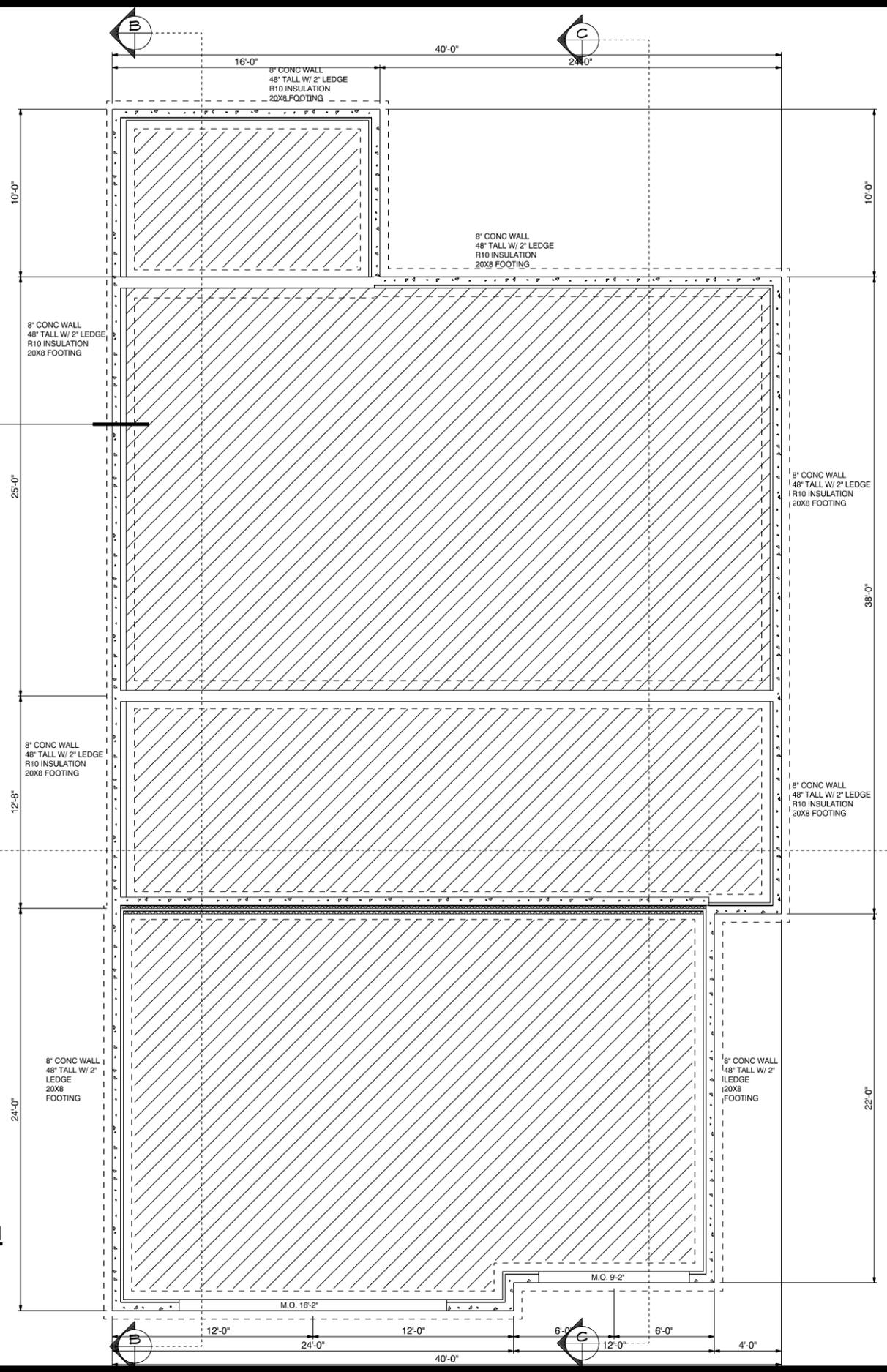
KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Crow River Heights (KES 2016-058)
Hanover, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.



8" POURED CONC. WALL



LOWER FLOOR PLAN

INTERIOR FRAMING
TO BE 24" O.C.

NOTES

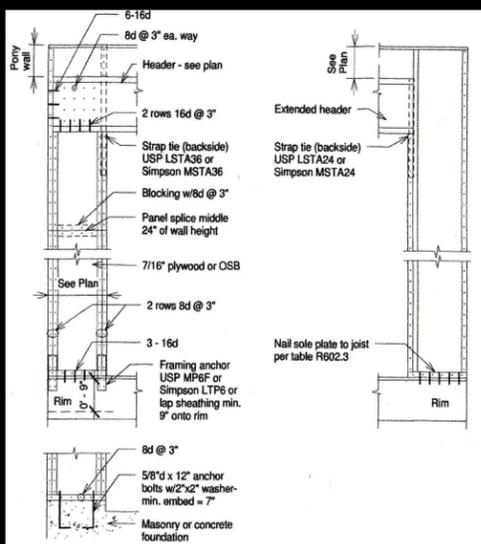
- ALL HEADERS AND POSTS DESIGNED BY SUPPLIER
- ALL HEADERS 2-2X10 UNLESS OTHERWISE NOTED
- ALL RAILINGS TO HAVE LESS THAN 4" SPACE BETWEEN BALUSTERS
- 2 BEADS CAULKING ON ALL INTERIOR AND EXTERIOR WALL PLATES
- STANDARD HEADER HEIGHT ON 8'-4" BASEMENTS TO BE 6'-11 3/8" UNLESS NOTED
- STANDARD HEADER HEIGHT ON 9'-0" BASEMENTS TO BE 7'-11 3/8" UNLESS NOTED
- NOTE: WHERE CERTISTUD APPLIED TO FOUNDATION HOLD FRAMING OUT FLUSH UP WITH CERTISTUD
- 8'-4" HGT. POURED WALLS, 8'-1" +/- FINISHED CEILING UNLESS NOTED
- UNDERSIZE FOUNDATION 2" EACH SIDE FROM EXTERIOR FOR EXTERIOR FOAM, EXCEPT AT WALKOUT WALL. SEE SHEETS E1 AND E2 FOR DETAILS.

SQUARE FOOTAGE

AREA	Gross
UPPER LEVEL	1,680
BONUS SUITE	720
MAIN LEVEL	1,592
TOTAL FINISHED	3,992
UNFIN.	90
GRAND TOTAL AREA	4,082
GARAGE	840

PRELIM DATE	4/10/2019
PRELIM REVISIONS	
CHANGE ORDERS	

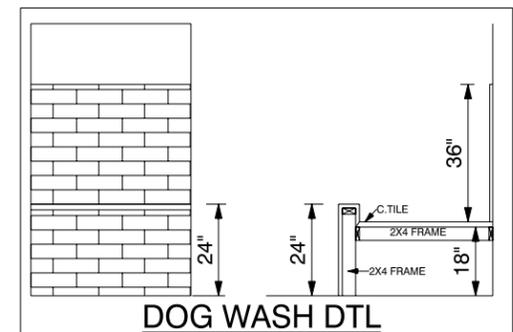
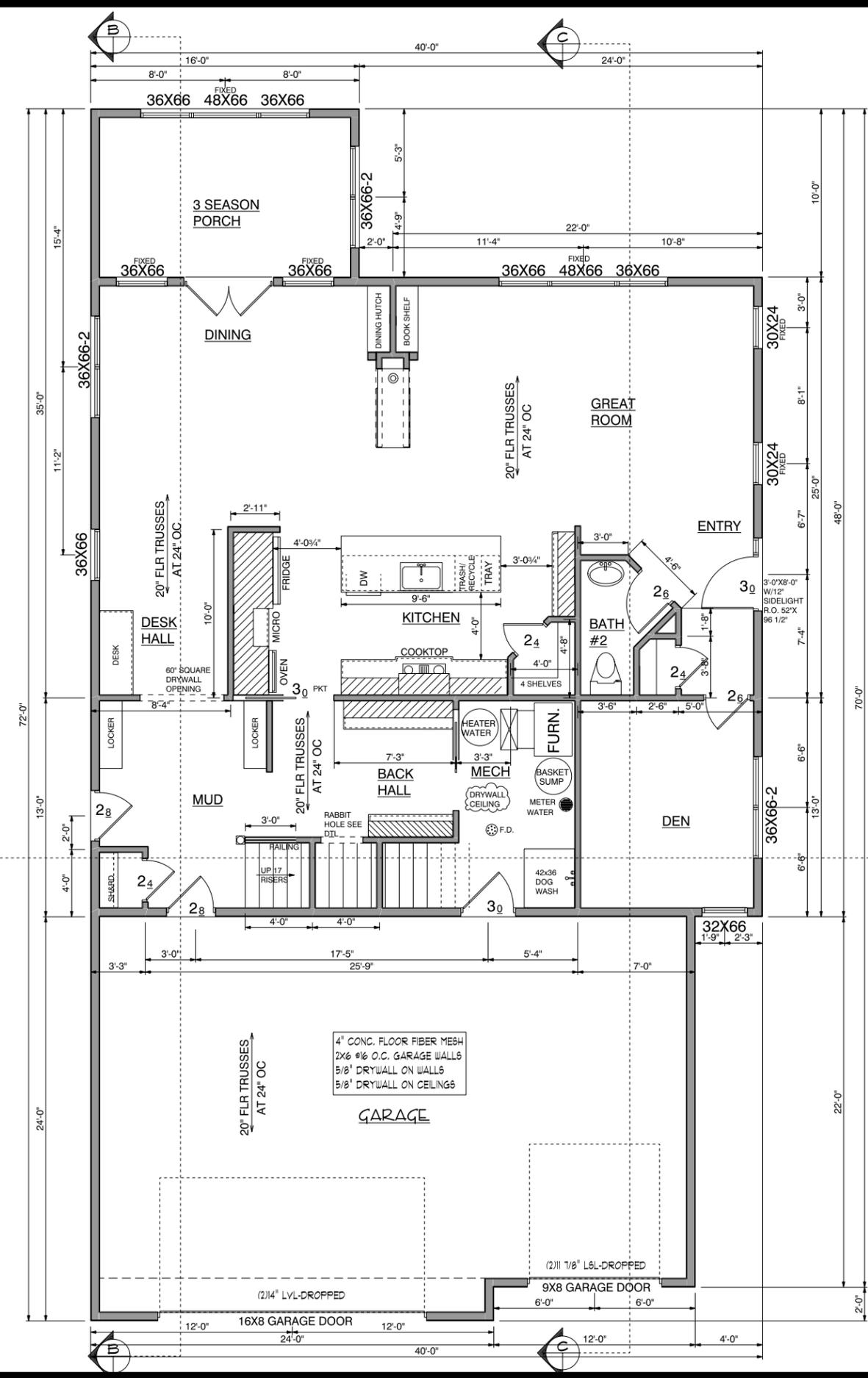
RESIDENCE FOR:
MOOERS
500 KADLER AVE NE
CUSTOM



PORTAL FRAME PANEL

ALTERNATE BRACED PANEL

MAIN FLOOR PLAN



INTERIOR FRAMING
TO BE 24" O.C.

NOTES

- ALL HEADERS AND POSTS DESIGNED BY SUPPLIER
- ALL HEADERS 2-2X10 UNLESS OTHERWISE NOTED
- ALL RAILINGS TO HAVE LESS THAN 4" SPACE BETWEEN BALUSTERS
- 2 BEADS CAULKING ON ALL INTERIOR AND EXTERIOR WALL PLATES
- 9'-0" CEILING HEIGHT AT THIS LEVEL UNLESS NOTED
- STANDARD HEADER HEIGHT ON 9'-0" MAIN LEVEL TO BE 7'- 11 3/8" UNLESS NOTED

SQUARE FOOTAGE

AREA	Gross
UPPER LEVEL	1,680
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GARAGE	840

PRELIM DATE 4/10/2019
CHANGE ORDERS

PRELIM REVISIONS

RESIDENCE FOR:
MOOERS
500 KADLER AVE NE
CUSTOM



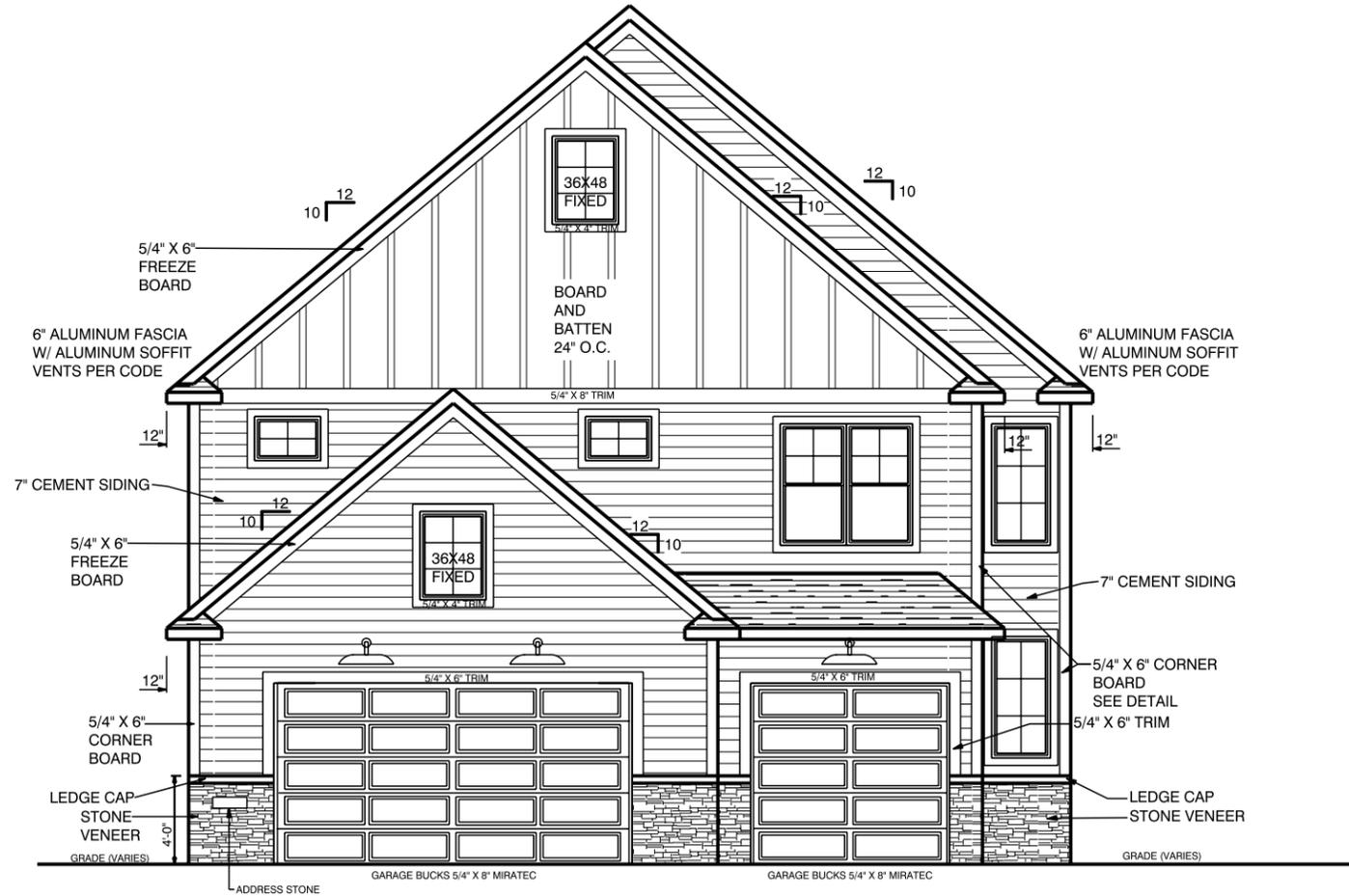
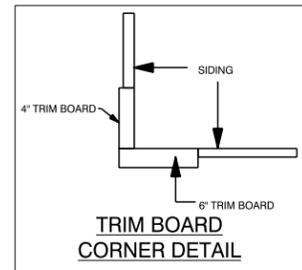
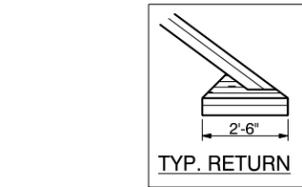
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



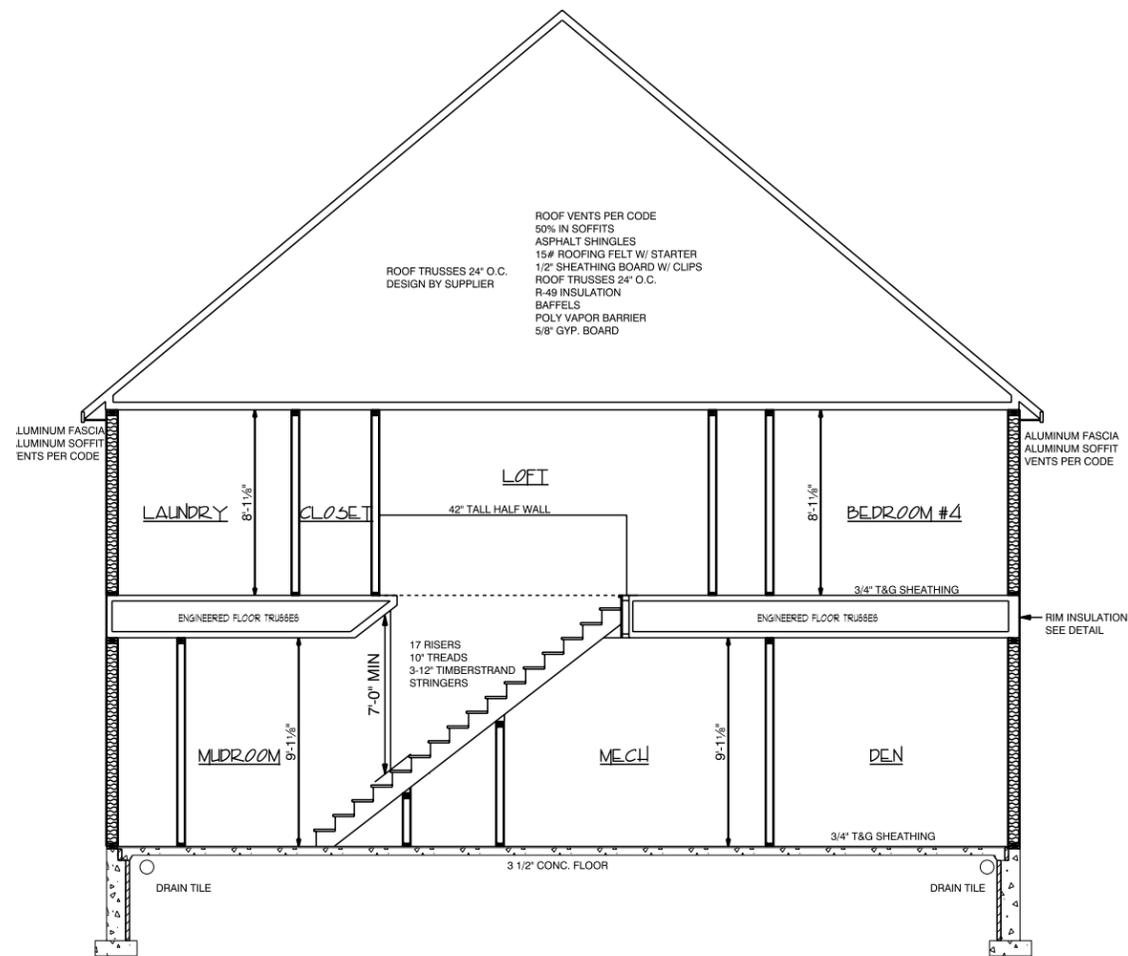
FRONT ELEVATION

PRELIM DATE
4/10/2019

PRELIM REVISIONS
CHANGE ORDERS

RESIDENCE FOR:

MOOERS
500 KADLER AVE NE
CUSTOM



CROSS SECTION A

7/16" O.S.B. SHEATHING

NOTES

- ALL HEADERS AND POSTS DESIGNED BY SUPPLIER
- NOTE: WHERE CERTISTUD APPLIED TO FOUNDATION HOLD FRAMING OUT FLUSH UP WITH CERTISTUD
- ALL OPENINGS UP TO 4'-11" ONE TRIMMER, 5'-0" AND GREATER TWO TRIMMERS UNLESS NOTED OTHERWISE
- ALL HEADERS 2-2X10 UNLESS OTHERWISE NOTED
- PROVIDE IRRIGATION ANTI-SIPHON VALVE
- 8'-4" HGT. POURED WALLS, 8'-1" +/- FINISHED CEILING
- UNDERSIZE FOUNDATION 2" EACH SIDE FROM EXTERIOR FOR EXTERIOR FOAM, EXCEPT AT WALKOUT WALL. SEE SHEETS E1 AND E2 FOR DETAILS.

RESIDENCE FOR:

MOOERS
500 KADLER AVE NE
CUSTOM

PRELIM DATE
4/10/2019

PRELIM REVISIONS
CHANGE ORDERS

Collaborative Planning, LLC

Memorandum

Date: May 16, 2019
To: Planning Commission
From: Cindy Nash, City Planner
RE: Amendments to Zoning Map and Zoning Ordinance

In the Fall of 2018, the City Council adopted an updated Comprehensive Plan. The Zoning Ordinance and Zoning Map are tools to implement the plans included in the Comprehensive Plan. To that end, revisions are proposed to the Zoning Map to align the zoning districts with the Future Land Use Map, and also to separate the existing RA zoning district into both an Agriculture and Rural Residential district.

Attached please find a draft ordinance that separates these zoning districts and adopts the new map. Notes are located in the margins to assist in identifying the changes and to also guide discussion regarding various topics at the meeting.

Careful consideration is needed as to which uses are allowed to continue in which districts (both or only one).

In addition, certain properties that are currently RA will no longer carry that designation. For the most part, this does not result in impacts to those properties, unless there is something that only applied in the RA district. Notations on these issues are made in the margins of the ordinance for discussion as to how to move forward. An example of this would be whether steel siding can be used on an accessory building, or whether an accessory building can be used for a home occupation under an IUP.

A public hearing is scheduled for this meeting to obtain public comment on the proposed changes.

Attachments:

- 1) Draft Ordinance
- 2) Zoning Map

**CITY OF HANOVER
COUNTIES OF WRIGHT AND HENNEPIN
STATE OF MINNESOTA**

ORDINANCE NO. 2019-03

**AN ORDINANCE AMENDING THE HANOVER ZONING ORDINANCE
REGARDING OFFICIAL ZONING MAP AND RELATING TO THE RA, AG, AND RR
DISTRICTS**

THE CITY COUNCIL OF THE CITY OF HANOVER, WRIGHT AND HENNEPIN COUNTY, MINNESOTA, DOES ORDAIN AS FOLLOWS:

Section 1. Amend section. Section 10.17 F. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.17 F. is added as follows:

F. An Accessory Apartment as may be permitted in the AG zoning district is not counted as the use of a Building Eligibility for the purpose of this section.

Commented [CN1]: Only changed name....but did not allow it in the RR zone.

Section 2. Amend section. Section 10.22 of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.22 is added as follows:

SEC. 10.22. ZONING DISTRICTS AND THE MAP.

(a) For the purpose of this chapter, the city is hereby divided into the following zoning districts.

Symbol	District Name
AG	Agricultural
RR	Rural Residential
R-1	Neighborhood Residential
R-2	Multifamily Residential
B-1	Downtown River Commercial District
B-1A	Downtown River District
B-2	Highway Commercial District
I-1	Limited Industrial District
I-2	General Industrial District
I-3	Industrial Park District
CD	Conservation Design Overlay District
EC	Ecological Corridor Overlay District

PUD	Planned Unit Development Overlay District
-----	-------------------------------------------

(b) The location and boundaries of the districts and overlay districts established by this chapter is set forth on the zoning map which is hereby incorporated as part of this chapter. It shall be the responsibility of the Administrator to maintain and update this map and the amendments to such map shall be recorded on such map within 30 days after official adoption of zoning amendments.

Section 3. Amend section. Section 10.23 of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.23 is added as follows:

SEC. 10.23. ANNEXED TERRITORY.

Annexed territory shall be placed in the **AG** zoning district until such time as a detailed study determining its proper use district is undertaken.

Commented [CN3]: Only changed the name of the districts

Section 4. Amend section. Section 10.25 of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.25 is added as follows:

SEC. 10.25. RESIDENTIAL DISTRICT USE CHART

ALLOWABLE LAND USES WITHIN RESIDENTIAL DISTRICTS

The uses permitted or authorized with a conditional use permit are listed below:

RESIDENTIAL USES AND ZONING DISTRICTS

P= Permitted Use A=Accessory Use CUP=Conditional Use
PUD = Planned Unit Development
Blank space indicates Not Permitted

Type of Land Use	Qualifier	AG	RR		R-1	R-2
Accessory buildings (garages, tool houses, storage sheds, recreational buildings and similar buildings for storage of domestic supplies and non-commercial recreation equipment)	Clearly incidental to main use	A	A		A	A
Accessory Apartment	See Section 10.72	A	A			

Commented [CN4]: Deleted RA district, and added new AG and RR districts along with uses for each. Please review each use to ensure it is a use you want in those districts. Did not make any changes to other districts.

Type of Land Use	Qualifier	AG	RR		R-1	R-2
Agriculture, farming, including farm dwellings and agricultural related buildings and structures subject to Minnesota Pollution Control Standards, but not including commercial feedlots or other commercial operations	In Districts other than AG, farming is a permitted use while the property is not developed.	P	P		P	P
Bed and breakfast establishments		C	C			
Boarding or renting of rooms	Not more than two (2) persons per dwelling (four (4) persons in AG district)	A	A		A	A
Daycare facilities, state licensed	Serving 12 or fewer persons	P	P		P	P
Daycare facilities, state licensed	Serving 13 or more persons	C	C		C	C
Facilities for flood and erosion control		A	A		A	A
Fences		A	A		A	A
Garages	For residential use	A	A		A	A
Golf courses/golf clubhouses, commercial outdoor recreational areas, public swimming pools and similar facilities		C	C		C	C
Type of Land Use	Qualifier	AG	RR		R1	R-2
Government Facility		C	C		C	C

Commented [CN4]: Deleted RA district, and added new AG and RR districts along with uses for each. Please review each use to ensure it is a use you want in those districts. Did not make any changes to other districts.

Type of Land Use	Qualifier	AG	RR		R-1	R-2
Home occupations	Clearly incidental to main use	P	P		P	P
Keeping of “one animal unit equivalent”	One per 3.5 productive acres, and one additional for every acre thereafter; waste material must be at least 75 feet from property line; not permitted in SD, FW, or FF overlay districts	P				
Land filling and excavation/grading operations 50-250 cubic yards (not minimum)		P	P		P	P
Mineral Extraction		I	I		I	I
Multiple family dwelling structures, containing two (2)-eight (8) dwelling units	No more than six (6) units if in a row; No more than eight (8) units per structure					P
Multiple family dwelling structures, containing nine (9) or more dwelling units						C
Nurseries and greenhouses (non-commercial)	200 square feet or less in area	A	A		A	
Commercial nurseries and greenhouses, commercial	For growing plants only	P				
Parking and loading – off street	For multifamily dwellings					A

Commented [CN4]: Deleted RA district, and added new AG and RR districts along with uses for each. Please review each use to ensure it is a use you want in those districts. Did not make any changes to other districts.

Type of Land Use	Qualifier	AG	RR		R-1	R-2
Parking lots for five or more vehicles	For multifamily dwellings					A
Parking of one commercial motor vehicle of not over 3 tons per axle weight and 26 feet in length		A				
Parking of one passenger vehicle for sale		A	A		A	
Personal wireless service antennas	Not located on a public structure or existing tower	C				
Pet enclosures	If screened and located in side or rear yard 10 feet from property line	A	A		A	
Private swimming pools, tennis courts, sports courts and other recreational facilities	Clearly incidental to main use	A	A		A	A
Radio and television receiving antennas including single satellite dish TVROs three (3) meters or less in diameter, short wave radio dispatching antennas, or those necessary for the operation of household electronic equipment including radio receivers, federal licensed amateur radio stations and television receivers.		A				

Commented [CN4]: Deleted RA district, and added new AG and RR districts along with uses for each. Please review each use to ensure it is a use you want in those districts. Did not make any changes to other districts.

Type of Land Use	Qualifier	AG	RR		R-1	R-2
Public Parks and Facilities		P	P		P	P
Residential care facilities as regulated and licensed by the State, per Minn. Stat. § 462.357, as amended		C	C		C	C
Riding stables, dog kennels and similar uses (commercial)	At least 10 acres of land	I				
Senior housing complex	80% of units occupied by one person 50 or older/20% open space				C	C
Single detached family dwellings		P	P		P	
Tennis courts, private		A	A			A
Two unit dwellings						P

Commented [CN4]: Deleted RA district, and added new AG and RR districts along with uses for each. Please review each use to ensure it is a use you want in those districts. Did not make any changes to other districts.

Section 5. Amend section. Section 10.26 of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.26 is added as follows:

SEC. 10.26. RESIDENTIAL USE PERFORMANCE STANDARDS CHART

**LAND USES DIMENSIONAL REQUIREMENTS AND PERFORMANCE STANDARDS
RESIDENTIAL DISTRICTS:**

Performance Standard	AG	RR		R1	R-2
Minimum Lot Area	2.5 acres (1.5 buildable)	2.5 acres (1.5 buildable)		Interior: 12,000 sq. ft	Two Family Dwellings: 15,000 sq. ft

Commented [CN5]: Deleted RA, and added in AG and RR districts. Please ensure that the standards that are created for each of these districts are what you want to have. Did not make changes to any other districts.

Performance Standard	AG	RR		R1	R-2
				Corner: 15,000 sq. ft.	Multiple Family Dwellings: 15,000 sq. ft plus 2,000 sq. ft for each dwelling unit in excess of two (2)
Minimum Lot Width	200 feet	200 feet		80 feet	Two Family Dwellings: 100 feet Multiple Family Dwellings: 150 feet with 15 feet of separation
Minimum Lot Depth	200 feet	200 feet			150 feet
Minimum Single Family Detached Home Floor Area	1000 sq. ft.	1000 sq. ft.		1000 sq. ft.	1000 sq. ft.
Maximum Building Height (except church spires and chimneys)	2.5 stories, or 35 feet, whichever is less	2.5 stories, or 35 feet, whichever is less		2.5 stories, or 35 feet, whichever is less	2.5 stories, or 35 feet, whichever is less
Front yard setback	50 feet	50 feet		30 feet	25 feet
Side yard setback	20 feet	20 feet		10 feet	15 feet

Commented [CN5]: Deleted RA, and added in AG and RR districts. Please ensure that the standards that are created for each of these districts are what you want to have. Did not make changes to any other districts.

Performance Standard	AG	RR		R1	R-2
Side yard on Corner lot abutting Street	Same as front yard setback	Same as front yard setback		Same as front yard setback	Same as front yard setback
Rear yard setback	35 feet	35 feet		30 feet	30 feet
Arterial road setback	50 feet	50 feet		50 feet	50 feet
Collector road setback	45 feet	45 feet		45 feet	45 feet
Wetland setback	30 feet	30 feet		30 feet	30 feet
Bluff setback (from top of bluff)	30 feet	30 feet		30 feet	30 feet
GD and RD waters setback	75 feet	75 feet		75 feet	75 feet
NE waters setback	200 feet	200 feet		200 feet	200 feet
Impervious coverage in shoreland area	25%	25%		25%	30%
Minimum garage size	576 sq. ft.	576 sq. ft.		576 sq. ft.	

Commented [CN5]: Deleted RA, and added in AG and RR districts. Please ensure that the standards that are created for each of these districts are what you want to have. Did not make changes to any other districts.

Section 6. Amend section. Section 10.33 C. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.33 C. is added as follows:

- C. **PERMITTED USES:** The following uses are permitted within the SD, Shoreland Management Overlay District provided the use is permitted in the underlying Zoning District.
1. Agricultural uses such as pasture, grazing, outdoor plant nurseries, horticulture, truck farming, forestry, and wild crop harvesting.

2. Parks and wayside, which do not maintain overnight camping facilities.
3. Nature areas, hiking and riding trails, wildlife preserves, and designated official wetland areas.
4. Designated historical sites.
5. Permitted uses allowed in the following zoning districts:

- AG Agricultural District
- RR Rural Residential
- R-1 Neighborhood Residential District
- R-2 Multiple Family Residential District
- B-1 Downtown River Commercial District
- B-2 Highway Business District
- I-1 Limited Industrial District
- I-2 General Industrial District
- I-3 Industrial Park
- INS Institutional District
- CD Conservation Design Overlay
- FP Floodplain Overlay District
- FW Floodway District
- FF Flood Fringe District
- PUD Planned Unit Development Overlay District
- SD Shoreland Management Overlay District
- W Wetlands Overlay District

Commented [CN6]: Only changed out the names.

Section 7. Amend section. Section 10.33 D. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.33 D. is added as follows:

- D. **CONDITIONAL USES:** The following uses are permitted by conditional use permit within the SD; Shoreland Management Overlay District provided the use is permitted as a conditional use in the underlying zoning district
1. All approved aerial or underground utility line crossings such as electrical, telephone, telegraph or gas lines that cannot be reasonably located in other than an SD, Shoreland Management Overlay District.
 2. Non-residential structures used solely in conjunction with raising wild animals or fish provided the structures are of a design approved by the Commissioner and City as being compatible with other general allowable uses of the district.
 3. Other uses of the same general character as listed in Section 10.33(C) (Shoreland Management Overlay District – Permitted Uses) of this Article.
 4. Conditional uses allowed in the following zoning districts:

- AG Agricultural District
- RR Rural Residential
- R-1 Neighborhood Residential District
- R-2 Multiple Family Residential District
- B-1 Downtown River Commercial District
- B-2 Highway Business District
- I-1 Limited Industrial District
- I-2 General Industrial District
- I-3 Industrial Park
- INS Institutional District
- CD Conservation Design Overlay
- FP Floodplain Overlay District
- FW Floodway District
- FF Flood Fringe District
- PUD Planned Unit Development Overlay District
- SD Shoreland Management Overlay District
- W Wetlands Overlay District

Commented [CN7]: Deleted RA, and added in AG and RR districts. Please ensure that the standards that are created for each of these districts are what you want to have. Did not make changes to any other districts.

5. Signs permitted by conditional use identified in Section 10.67 (Signs) of this Chapter
6. Organized group camps.
7. Water supply buildings, reservoirs, wells, elevated tanks, regional pipe lines and power lines, public sewage treatment facilities, sanitary landfill operation and similar essential public utility and service structures.
8. Public swimming pool, private swimming pools serving more than one family.

Section 8. Amend section. Section 10.33 F.1. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.33 F.1. is added as follows:

- AG and RR – Shoreland Management Overlay District Requirements:
 - a. Lot Area: 2.5 acres (all uses)

Commented [CN8]: Deleted RA, and added in AG and RR districts. Please ensure that the standards that are created for each of these districts are what you want to have. Did not make changes to any other districts.

Section 9. Amend section. Section 10.48 A. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.48 A. is added as follows:

- A. *Residential districts.* In residential districts:
 1. No accessory buildings installed on slab or with footings may be located within ten feet of the side lot lines nor within ten feet of the rear lot lines or within a drainage and utility easement; and provided that if the accessory building is moveable, in such event, the side and rear setbacks shall not be less than five feet.
 2. No detached accessory storage type building (excluding garages) shall be located in any yard other than a rear yard. For properties located in the Agriculture District

Commented [CN9]: Do you also want to allow in RR? For discussion, have it in here. Could affect some larger properties in different zoning districts that were RA.

(AG) or Rural Residential District (RR) accessory buildings may be allowed in the side yard upon receiving a Conditional Use Permit (CUP).

3. No accessory building shall exceed the height of the principal building. For properties located in the Agriculture District (AG) accessory buildings may be allowed to exceed the height of the principal building upon receiving a Conditional Use Permit (CUP).
4. An accessory building shall be considered an integral part of the principal building if it is connected to the principal building by a covered, enclosed passageway built on a slab or other suitable foundation. If detached, it shall not be located closer than six feet from the principal structure.
5. One-family and two-family dwellings constructed after November 1, 1989, are required to have two enclosed spaces per unit attached to the dwelling.
6. A site plan shall be submitted with all requests for an accessory detached building permit in all residential districts, and shall include the following information (and other information required by zoning officials):
 - a. Existing buildings and their relationship to property lines.
 - b. Indication of location for well, septic system and driveways.
 - c. Any easements.
 - d. Property lines and setback requirements.
8. All detached accessory buildings shall be both designed and constructed to meet minimum standards as required for residential accessory structures under the state building code and shall be compatible with the principal building and general neighborhood environments, including, but not limited to, exterior finish, materials, overhangs, soffits and fascia. Properties located in the AG and RR Districts are allowed to construct accessory structures with steel siding as long as it is compatible with the principal structure color. Prefabricated sheds not exceeding 120 square feet are allowed in all districts.
9. All accessory buildings shall be constructed to comply with the following side wall height, eaves and overhang restrictions:

Commented [CN10]: Did not carry the height exception over to RR...can change if that is what the city wants. Could affect some larger properties in different zoning districts that were RA.

Commented [CN11]: Do you want to allow RR homes to have steel siding on accessory buildings? Could affect some larger properties in different zoning districts that were RA.

Side	Wall	Eaves (inches)	Overhang (inches)
Heights (feet)			
10 or less		12	12
12 or less		12	18
AG and RR District only: 20 or less		12	18

(A sidewall height greater than 12 feet in any zoning district except AG and RR, and greater than 20 feet in the AG and RR zoning district, shall not be constructed except after obtaining a conditional use permit authorizing the same.)

10. In all districts except the AG and RR District, an accessory building shall not be a pole barn nor of pole barn type construction. As used in this subsection, pole barn is defined as a structure, the basic support and framework of which is provided by wooden poles inserted vertically into the ground similar to telephone poles. A permitted accessory building exceeding 120 square feet in size shall be an on-site custom-made stick-built structure, and is to mean a building which is wholly constructed on the lot. A building shall be deemed constructed on the lot if 90 percent of the value of the building is constructed on the lot from individual block, board, plywood, siding, roofing, finishing and other individual construction materials. Value shall be measured on the basis of the cost of the materials used in the construction of the building.
11. The combination of all accessory structures, including detached garages, shall not exceed the following area limitations:

Parcel Size	Maximum Floor Area (sq. ft.)
Smaller than ¼ acre	1,000 *
¼ - 2.49 acres	1,500 *
2.5 – 5 acres	3,000 *
Greater than 5 acres	Up to the floor area of the principal structure, but may exceed the floor area of the principal structure if a Conditional Use Permit is obtained.

- *Provided that the total maximum floor area of all accessory structures is not greater than the floor area of the principal structure. The total maximum floor area of all accessory structure may exceed the floor area of the principal structure if approved by Conditional Use Permit, but the Conditional Use Permit may not permit a total maximum floor area for accessory structures that is greater than that allowed for the parcel size as shown in the table above.
12. An accessory building constructed on Farms, for the exclusive use of sheltering agricultural machinery and storage of agricultural products shall be exempt from building permit requirements. Description of the proposed use must be submitted in writing, and signed by the property owner. Administrative review of the site plan is required.
 13. An accessory building constructed for the use of a shelter or stabling facility shall provide a minimum of one hundred (100) square feet of enclosure per “Animal Unit Equivalent” and shall be located a minimum of seventy-five (75) feet from any adjacent lot. This type of building shall be exempt from building permit fees and agricultural standards. Administrative review of the application and site plan are required.

Section 10. Amend section. Section 10.48 D. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.48 D. is added as follows:

D. *In all districts.*

1. No accessory building or use shall be constructed or developed on a lot prior to construction of the principal building.
2. Accessory structures located on properties subject to the Section 10.33 related to the shoreland district may be located between the public road and the principal structure provided it is clearly demonstrated that physical conditions require such a location. In no event, however, shall the structure be located closer than 20 feet to the public road right-of-way.
3. An accessory building may be located within the rear yard setback provided that the lot is not a through lot and said accessory building does not occupy more than the allowed maximum floor area for the lot size.
4. No accessory building may be used as a dwelling unit except as may be permitted in the AG District.

Commented [CN12]: Propose to only allow this in AG. Desire to allow in RR as well? Could affect some larger properties in different zoning districts that were RA.

Section 11. Amend section. Section 10.52 F. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.52 F. is added as follows:

F. The number of access points to a residential lot shall be restricted to one driveway, unless the following conditions are met. If the following conditions are met, no more than two access points shall be allowed.

1. The lot is within the AG, RR, or R1 District.
2. The lot has a minimum of two hundred and fifty (250) feet of road frontage.
3. If the property has two street frontages, the driveways must be on separate frontages. If the property has only one street frontage, then the driveways must be located not less than 50 feet apart.
4. If the driveway is proposed to connect from a County road, the applicant must first obtain a permit from the County.
5. All other driveway requirements of Section 10.52 are met.

Commented [CN13]: Only changed the names of the districts

Section 12. Amend section. Section 10.67 G. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.67 G. is added as follows:

G. RESIDENCE DISTRICT SIGNS

1. Sign Regulations: The following signs are permitted in residence districts (also refer to chart on next page):

- a. Single-Family, Duplex: Exclusive of house numbers, 1 nameplate sign for each single-family or duplex dwelling unit which shall not exceed three square feet in area per surface and no sign shall be so constructed as to have more than two display surfaces and must be at least ten feet from the street right-of-way line..
 - b. Multiple-Family Units: Exclusive of house numbers, one nameplate sign for each dwelling group of 6 to 12 units which shall not exceed 6 square feet in area per surface. One nameplate sign for each dwelling group of 12 to 24 units which shall not exceed 24 square feet in area per surface. One nameplate sign for each dwelling unit group above 24 units which shall not exceed 1 square foot per unit in the dwelling group to a maximum of 100 square feet in area per surface. Such nameplate signs may be attached to the wall of a building or may be freestanding. In no case shall more than 1 sign be allowed for each dwelling group. All such signs shall conform to setback requirements of the Code. No sign shall be constructed so as to have more than two display surfaces. Said signs may indicate the names of the buildings, project names, may be a directory for occupants or state any combination of the permitted information.
2. Institutional Uses: Churches, schools and other permitted institutional uses in residence districts may have an illuminated nameplate sign not greater than 50 square feet in gross surface area.

SIGNS ALLOWED IN RESIDENCE DISTRICTS				
	AG, RR, R-1, R-2 Districts			
<i>Type</i>	<i>Maximum Number Allowed</i>	<i>Maximum Sign Area Allowed</i>	<i>Placement, Location & Height</i>	<i>Restrictions</i>
Home Occupation	1	2 sq. ft.	In front yard. 2 foot maximum height for freestanding sign.	Non-illuminated
Complex “project” Signage	1 per complex or residential development	50 sq. ft.	5 foot minimum from a property line. 6 foot maximum height.	Can be located on building front or be freestanding.
Institutional Use Signs (school/church)	1 per specified use within the	50 sq. ft. maximum on a single sided sign or 100 sq. ft.	5 foot minimum from a property	Illumination allowed.

Commented [CN14]: Only changed the names of the districts.

	structure or campus. EXCEPT on corner lot where a Master Sign Plan is required.	maximum on a double sided sign.	line. 6 foot maximum height.	
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Section 13. Amend section. Section 10.68 B. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.68 B. is added as follows:

B. HOME OCCUPATIONS ALLOWED AS INTERIUM USE

1. Only properties that are zoned **AG or RR** consisting of at least 2 acres and having a driveway access to a county road may be permitted for a home occupation as an interim use under the conditions outlined below.
2. No Home Occupation shall require internal or external alterations or involve construction features not customarily found in a Dwelling Unit except where required to comply with local and State fire and police recommendations.
3. Conduct of the Home Occupation does not generate more noise, vibration, glare, fumes, odors, or electrical interference than normally associated with residential occupancy in the neighborhood.
4. The Home Occupation is not of a scale requiring the use of commercial vehicles that are different from those typically used for routine deliveries to homes (FedEx, USPS, or similar home delivery commercial vehicles) for the delivery of materials to or from the premises.
5. The use shall not generate sewage of a nature or rate greater than that normally associated with residential occupancy nor shall it generate hazardous waste or solid waste at a rate greater than that normally associated with residential occupancy.
6. The Home Occupation may increase vehicular traffic flow and parking by no more than two additional vehicles at a time and any need for parking generated by the conduct of a Home Occupation shall be met off the street, other than in a required front yard, and, if in a driveway, in such a manner that access to the garage is not eliminated.

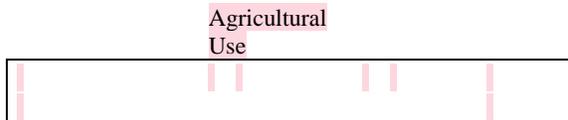
Commented [CN15]: Currently only changed the names of districts. Could affect some larger properties in different zoning districts that were RA.

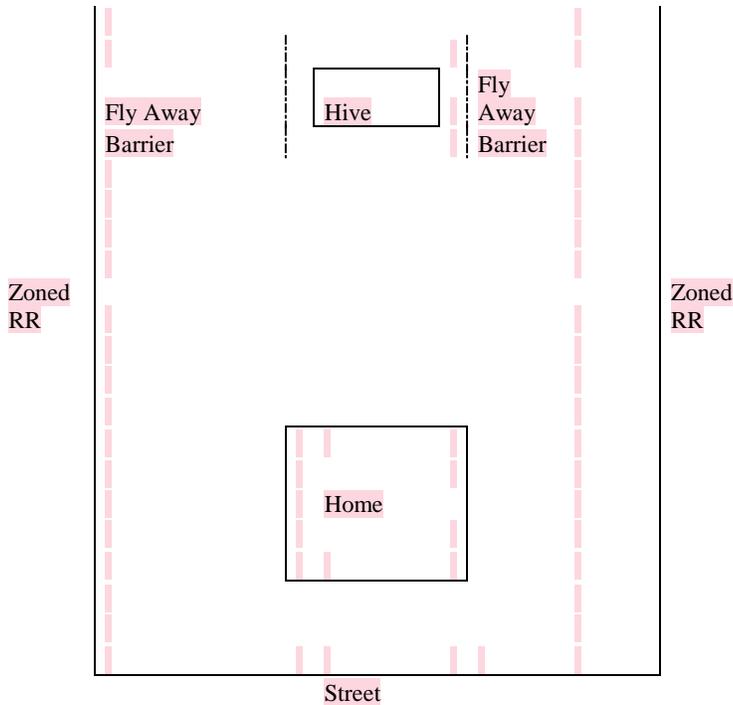
7. No more than one person other than those living in the residence may be employed in the Home Occupation.
8. No outdoor display of goods or outside storage of equipment or materials shall be permitted.
9. Accessory buildings may be used for operations, display of goods or the storage of equipment or materials used in the Home Occupation.
10. No Home Occupation will be allowed that jeopardizes the health and safety of residents of the City.
11. There shall be no renting of space in a residence for non-residential purposes.
12. Retail is not a permitted home occupation.
13. There shall be no exterior display or exterior signs or interior display or interior signs that are visible from outside the dwelling with the exception of one (1) directional or identification/business sign not to exceed two (2) square feet in area.

Section 14. Amend section. Section 10.69 C. of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.69 C. is added as follows:

B. COLONY DENSITY

A colony must be kept not less than 50 feet from the property line of the lot upon which it is located. Except as otherwise provided in this ordinance, the beekeeper shall establish and maintain a flyway barrier at least 6 feet in height. The flyway barrier may consist of a wall, fence, dense vegetation or a combination there of, such that bees will fly over rather than through the material to reach the colony. If a flyway barrier of dense vegetation is used, the initial planting may be 4 feet in height, so long as the vegetation normally reaches 6 feet in height or higher. The flyway barrier must continue parallel to the apiary lot line for 10 feet in either direction from the hive, or contain the hive or hives in an enclosure at least 6 feet in height. A flyway barrier is not required if the property adjoining the apiary lot line (1) is used for agricultural uses and is not less than twenty acres in size, or (2) is a wildlife management area or naturalistic park land with no horse or foot trails located within 50 feet of the apiary lot line.





1. No person is permitted to keep more than the following numbers of colonies on any lot within the AG and RR Zoning District of the City, based upon the size or configuration of the apiary lot:
 - a. Less than 2.5 acres: not permitted
 - b. 2.5 acres but less than 5 acres: 4 colonies
 - c. 5 acres to less than 10 acres: 8 colonies
 - d. Larger than 10 acres: no restriction

2. If the beekeeper serves the community by removing a swarm or swarms of honey bees from locations where they are not desired, the beekeeper shall not be considered in violation the portion of this ordinance limiting the number of colonies if he temporarily houses the swarm on the apiary lot in compliance with the standards of practice set out in this ordinance for no more than 30 days from the date acquired.

Commented [CN16]: Changed names of districts.

Commented [CN17]: Only changed names of districts. Could affect some larger properties in different zoning districts that were RA.

Section 15. Amend section. Section 10.71 of the Hanover Zoning Ordinance is hereby deleted in its entirety and a new Section 10.71 is added as follows:

SEC. 10.71. SINGLE FAMILY DESIGN STANDARDS

A. BUILDING ORIENTATION

1. The placement of a principle building in a perpendicular or sideways orientation on an interior lot or through lot is prohibited.
2. All single family detached dwellings shall be designed such that a primary entrance and windows face street right-of-way, except when the lot is within the AG or RR zoning district.

Commented [CN18]: Only changed names of districts. Could affect some larger properties in different zoning districts that were RA.

Section 16. Repeal and Replace Zoning Map. The existing Zoning Map is repealed and a new Zoning Map as attached hereto is adopted.

Commented [CN19]: New zoning map is adopted to take the place of the old one. See zoning map in the packet.

Section 17. Effective Date. This Ordinance shall be in force and effect upon adoption and publication in the official newspaper of the City in accordance with applicable law. The City may publish a summary of this Ordinance.

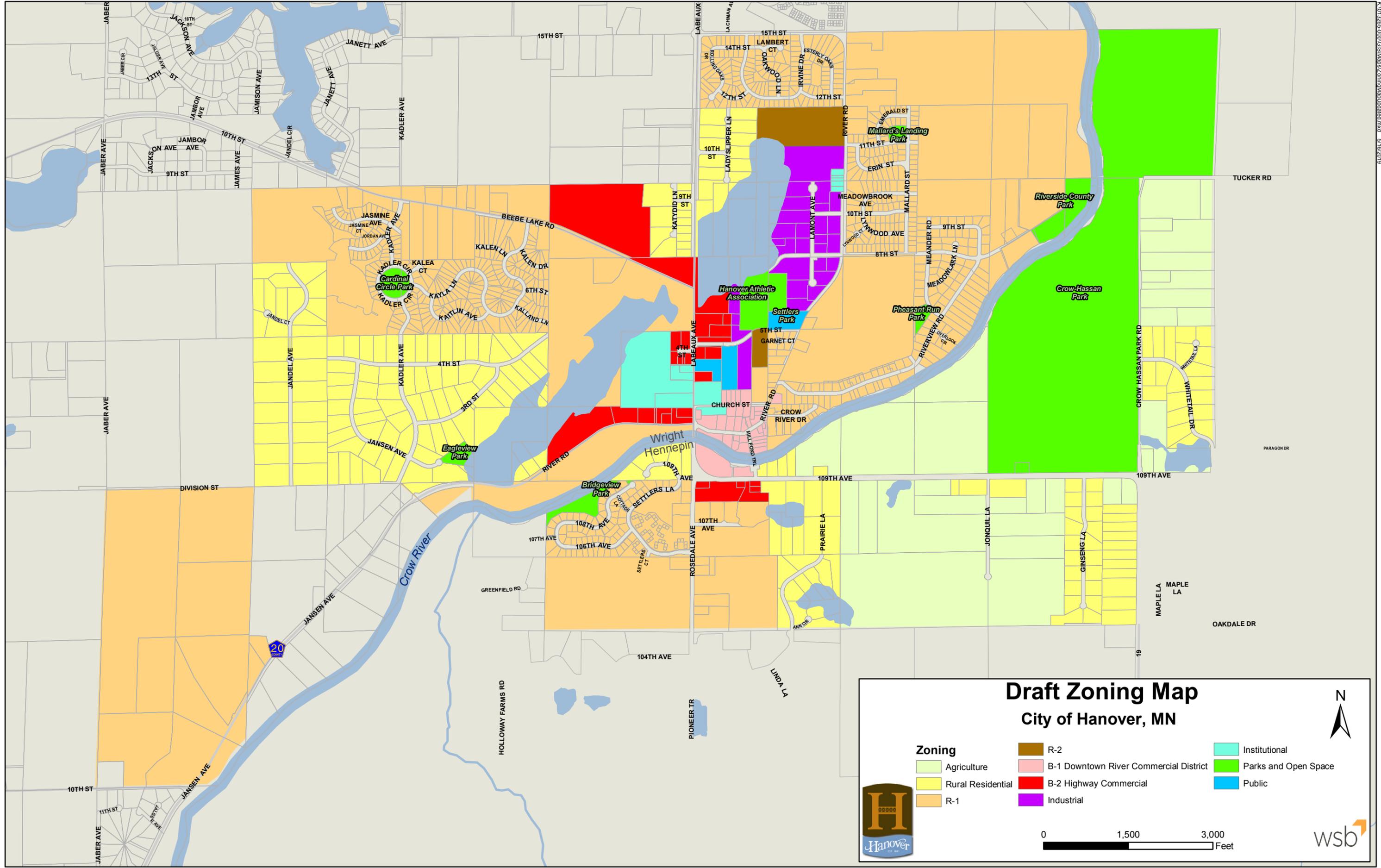
Section 18. Codification. City staff is directed to codify the revisions to the Zoning Ordinance as enacted in this Ordinance.

Passed and adopted by the City Council of the City of Hanover on the ____ day of _____, 2019.

Chris Kauffman, Mayor

ATTEST:

Brian Hagen, City Administrator



Draft Zoning Map

City of Hanover, MN

Zoning	R-2	Institutional
Agriculture	B-1 Downtown River Commercial District	Parks and Open Space
Rural Residential	B-2 Highway Commercial	Public
R-1	Industrial	

0 1,500 3,000 Feet



Collaborative Planning, LLC

MEMORANDUM

TO: Planning Commission

FROM: Cindy Nash, AICP, City Planner

DATE: May 19, 2019

SUBJECT: **River Town Villas of Hanover** for Final Plat

APPLICANT: Wits Realty

LOCATION: Generally located west of River Road, and north of Church Street

COMPREHENSIVE PLAN: Multi-Family Residential

Description of Request

Wits Realty has submitted an application for final plat. The property consists of approximately 4.08 acres and is located west of River Road and north of Church Street.

The Developer is proposing to develop the site into 18 detached residential units. All of the housing units would be villas and would have associated-maintained yards and driveways. The proposed builder is Bellin Construction.

Patio homes will occupy all lots on the site. A characteristic of this type of development is that not only are the lots smaller, but the homes are constructed closer together with a reduced side yard setback. This is a type of unit that allows for higher density construction, but in an ownership that does not share walls as a townhome neighborhood would. A homeowner's association provides exterior maintenance of snow removal and lawn care. The buildings are maintained by the property owner.

The following items are included in the packet for review:

1. City Engineer Comment letter
2. City Planner Comment letter
3. Architectural Renderings
4. Final Plat and Plan Set

Item 1: Recommendation on Final Plat

The Final Plat is the plat that is recorded at the Wright County Recorders office. A development agreement is also prepared at the time the final plat is approved, which specifies the terms under which the development of the property proceeds. It is common that there are various conditions to final plat approval, which are addressed either prior to recording the plat or prior to allowing construction to commence.

Land Use

The proposed land use is 18 single-family lots, and outlots for stormwater ponding and private neighborhood amenities (driveway, parking and landscaping).

Access, Roads, Guest Parking Pedestrian Circulation

Two private streets are proposed to be constructed. Instead of cul-de-sacs, the end of the private driveway is proposed to function as a hammerhead style turn-around.

The proposed 25-foot front yard setbacks for garages will typically provide room for 2 cars to park on the driveway. There are also 13 parking spaces proposed.

No sidewalks or trails are proposed. When interior to the development, this is acceptable with the low traffic volume. A sidewalk should be added to that portion of Church Street fronting the Subject Property to provide pedestrian access to the existing trail/sidewalk network on River Road.

Utilities

Utilities are proposed to be installed within the rights of way.

Ponding is located in outlots that will be deeded to the City.

Park Dedication

Park dedication is required for this plat, and will be calculated at the time of execution of the developer's agreement. No parks are proposed for this area in the Comprehensive Plan, and this development is within walking distance of Settler's Park. Estimated park dedication is 18 units at \$3,272 per unit for a total of \$58,896.

Landscaping and Tree Preservation

Sheet L1-1 contains the proposed landscaping plan. The landscaping plans generally identify more than 2 trees per lot to be planted, but given lot size the trees are proposed to be installed in the HOA owned area rather than on the individual lots. This variation can be approved as part of the PUD.

Information on tree removal proposed is included in the plan set on Sheet L2-1. All existing trees are proposed to be removed in order to grade the site.

Engineering and Planning

The development should comply with the requirements of the City Engineer's and City Planner's memos.

Planning Commission Recommendation

The Planning Commission recommended approval subject to the conditions below:

1. Villas are the permitted use on Lots 1 – 18, Block 1.
2. Ownership and maintenance of the outlots shall be addressed in a manner satisfactory to the City.
3. All comments contained within the memo from WSB dated May 15, 2019 and the memo from Collaborative Planning dated May 16, 2019 are incorporated herein (collectively referred to as the "Staff Memos").
4. The Subject Property shall be constructed in substantial compliance with the Site Plans as revised to conform to the requirements of the Staff Memos.
5. No construction shall be permitted on the Subject Property until updated Site Plans addressing the comments of the Staff Memos and the conditions of this Resolution are provided for review and approval by the City Engineer and City Planner. Following approval by the City Engineer and City Planner, these plans shall collectively be known as the "Approved Construction Plans".
6. If the updated Site Plans addressing the comments of the resolutions, Staff Memos, or outside agencies necessitate revisions to any of the lot lines or easements on the Subject Property, then the Final Plat shall be revised by the Developer and submitted for amended approval by the City Council. If an off-site easement is required to address a

comment, then a separate easement document shall be provided to the City for review and approval prior to release of the Final Plat for recording.

7. To the extent that there are differences or conflicts between the Approved Construction Plans and this resolution, the terms of this resolution shall be controlling.
8. The timing of the construction of the infrastructure improvements on the Subject Property will be subject to the conditions of a Developer's Agreement between the City and the Developer, and City staff is authorized to negotiate such Developers Agreement.
9. Prior to the release of the Final Plat for recording, a Developer's Agreement must be entered into which Agreement(s) will include, but not be limited to, the following:
 - a. PUD details and information.
 - b. Street and utility construction details, processes, plans and financial guaranties.
 - c. Park dedication requirements.
 - d. All required approvals from other governmental agencies.
 - e. Final grading and drainage plans.
 - f. Maintenance requirements during construction.
 - g. Landscaping plans.
10. The approval of the Final Plat shall terminate if a Developer's Agreement has not been entered into between the City and Developer by _____, 2019.
11. The approval of the Final Plat shall terminate unless all conditions of this resolution are completed and the Final Plat is recorded no later than _____, 2019.
12. A title commitment shall be provided for the review of the City Attorney before the plat is released for recording.
13. Financial security in a form approved by the City Attorney and in an amount approved by the City Engineer must be provided by the Developer prior to release of the final plat for recording. The Developer's Agreement shall specify the amount of the financial security.
14. The Developer must reimburse the City for all costs incurred by the City and its consultants in relation to review of the proposed development plans as well as the preparation of the Developer's Agreement.
15. Any new utility lines installed to serve the Subject Property are required to be placed underground.

16. The Developer shall be responsible for securing necessary easements and for constructing all streets, utility, trail, stormwater, and other improvements shown on the Approved Construction Plans at their own expense. However, to the extent that such utilities are oversized at the request of the City, the City shall reimburse the Developer for the cost of the extra diameter of the pipe. All reimbursements by the City under this paragraph are subject to the submittal by the Developer of the engineer's estimate and other supporting information as requested by the City. The engineer's estimate will be reviewed by the City to verify that the costs requested for reimbursement are reasonable at the sole determination of the City, and the amount determined by the City to be eligible for reimbursement shall be included within the Developers Agreement.
17. The Developer shall be responsible for obtaining and complying with all necessary permits from the Wright County Soil and Water Conservation District, Minnesota Department of Health, DNR, MPCA, and any other governmental agencies prior to commencement of development activities on the site.
18. The Developer shall incorporate the standards and procedures of the Best Management Practices Handbook for site restoration and erosion control measures during the construction process.
19. The Developer must submit details on corrected building pads including compaction tests, limits of the pads and elevations of the excavations. The general soils report for the development must also be submitted to the City Engineer for review and approval prior to the issuance of building permits.
20. The Developer shall submit foundation and grading as-builts for each lot at the time required by city staff.
21. Homeowners association documents shall be provided for the review of the City Attorney before the final plat is released for recording.
22. Retaining walls are not permitted to be in any outlots that will be owned by the City. In the event retaining walls are shown within any drainage and utility easements, they must be owned and maintained by either the property owner or the HOA.
23. Park dedication, sanitary sewer trunk, water trunk, storm sewer trunk and storm warning siren fees shall be paid prior to release of the final plat for recording as per the City fee schedule in effect at the time of the execution of the Developer's Agreement.
24. The Developer shall survey all storm water holding ponds (if any are constructed) as required by the City. The Developer shall be responsible for storm sewer cleaning and

holding pond dredging, as required, by the City prior to completion of the development of the Subject Property.

25. Additional conditions as determined necessary by the City Planner, City Engineer, and City Attorney as review of the project progresses and is completed.

Memorandum

To: *Cindy Nash – Hanover City Planner*

From: *Justin Messner, PE – Hanover City Engineer*

Cc: *Brian Hagen – Hanover City Administrator*
Todd McLouth, PE – Loucks, Inc.

Date: *May 15, 2019*

Re: *River Town Villas of Hanover Preliminary Plat Revised Submittal Review*
WSB Project No. 013676-000

As requested, we have reviewed the revised River Town Villas of Hanover preliminary plat documents as prepared by Loucks Inc., dated April 25, 2019 and we offer the following comments:

Stormwater Management

General Comments

1. An operations and maintenance plan for the proposed stormwater management system should be included when design is completed. This comment is left to serve as a reminder.
2. A NPDES permit will need to be obtained prior to the start of construction. This comment is left to serve as a reminder.

Pond/ Basin /Rain Garden Comments

3. Applicant provided basement floor elevations for the SOG/FB lots as requested. From the basement floor elevations provided, it appears City ordinance 9.34.B.11 stating that the lowest floor elevation (LFE) of any structure shall be at least three feet above the anticipated high water elevation is not being met.
4. The property to the northwest of the proposed development is currently landlocked. Currently, the applicant is proposing to increase discharge volumes for all storm events modeled. Due to the adjacent property being landlocked the applicant will be required to meet existing discharge volumes to the northwest adjacent property or provide documentation that shows there will not be any negative impacts to the property.
5. The City adopts MnDOT guidance that all storm sewer should be designed such that velocities of flow will not be less than 3 feet per second at full flow to deter settling of particles. Table 8.8 in the MnDOT Drainage Manual provides the minimum grades required for differing pipe diameters to meet the 3 feet per second requirement. There are currently two pipes shown with velocities less than 3 feet per second that should be updated.

6. The OCS 300 detail should be updated so the elevation listed for point B is 903.0 as modeled and shown on sheet C5-4.

Preliminary Construction Plan Set

Existing Conditions Comments

7. Determine the existing water facilities that are proposed to be removed or abandoned and coordinate with the City (service) or County (well) with the removal of the existing house.

Grading Plan Comments

8. Provide driveway grades. Verify driveway grades are within 2-10%.
9. Lots 15-18 do not meet lowest floor freeboard requirements (3') with the adjacent HWL as 'FB' and will need to be shown as 'SOG' only.
10. Lot 12 does not meet lowest opening freeboard requirements (1') with the adjacent EOF.
11. There are still several areas with surface grades greater than 3:1 (see below). Revise proposed contours or modify proposed retaining walls to eliminate these areas.
 - a. Between houses 1,2,3,4; 5,6; 12,13,14; 15,16,17,18;
 - b. Between CBMH #104 and the western retaining wall
 - c. Between CBMH #105 and the western retaining wall
 - d. At the ends of the eastern retaining walls
12. The area between houses 1,2 and 14,15 have surface grades less than 2%. Revise proposed contours to eliminate areas.
13. Provide the EOF for CBMH #104.
14. Turn off existing layer linework.
15. We recommend the developer define ownership and responsibility for future retaining wall maintenance. This comment is left to serve as a reminder.

Utility Plan Comments

16. The proposed extents of the roadway restoration associated with the connections to the existing utilities will need to be either half or full road width.
17. The proposed connection to the existing 6" watermain line is shown as a wet tap. This is not possible with an 8" pipe. Show connection with an 8"x6" tee.
18. Label all watermain conflicts in profile with a minimum 18 inches of separation along with insulation and reference City Detail WAT-06 if necessary.

19. Lower the watermain north of the hydrant at ~STA 2+20 to make the hydrant the high point as labeled.
20. The hydrant at the east end of Street B is shown between ~7' from the northeastern retaining wall.
21. The storm sewer pipe from CBMH #104 to CBMH #105 is shown between 6-8' from the western retaining wall and has bury depths between 5-15' in that range.
22. The storm sewer pipe from CBMH #101 to FES #100 is shown ~5' from the northwestern retaining wall.
23. Lower the connection to the existing STMH to improve pipe cover in the roadway to at least 2.5 feet (currently ~1.6').
24. Show proposed drain tile in plan view.

Street Comments

25. Adjust vertical curves to meet required stopping sight distances.

Project Specification Comments

26. Add that all construction shall conform to City of Hanover's General Specifications and Standard Detail Plates.
27. Incorporate City of Hanover's General Specifications and Standard Detail Plates as a governing document (St. Paul's is shown in submitted project specification).

Miscellaneous Comments

28. Add comment to plan that all construction shall conform to City of Hanover's General Specifications and Standard Detail Plates.

Collaborative Planning, LLC

MEMORANDUM

To: Brian Hagen, City Administrator

From: Cindy Nash, City Planner

Date: May 16, 2019

Subj: Planning Review Comments – River Town Villas
Final Plat and Plans dated April 26, 2019

I have reviewed the final plat and plans dated April 26, 2019 and have the following preliminary comments.

1. Engineering comments will be included within a separate memo.
2. Addressing the comments contained in the City Planner and City Engineer staff memos may result in changes to or the removal of lots, outlots or easements.
3. The stormwater pond would be maintained by the City. City staff will need to review to ensure that acceptable access to maintain the pond is provided. This access shall be suitable to drive maintenance vehicles upon it, and shall be kept free of structures and landscaping.
4. The infiltration basin and rain garden shall be maintained by the HOA.
5. Retaining walls shall be maintained by the HOA.
6. Per previous conversations with the developer, additional revisions are occurring to the building plans/footprint. Please submit these for review so that they can be reviewed for fit with the plans.
7. Please label the mailbox clusters on the plan.
8. A foundation and grading as-built for each home will be required as a condition of approval of the plat.

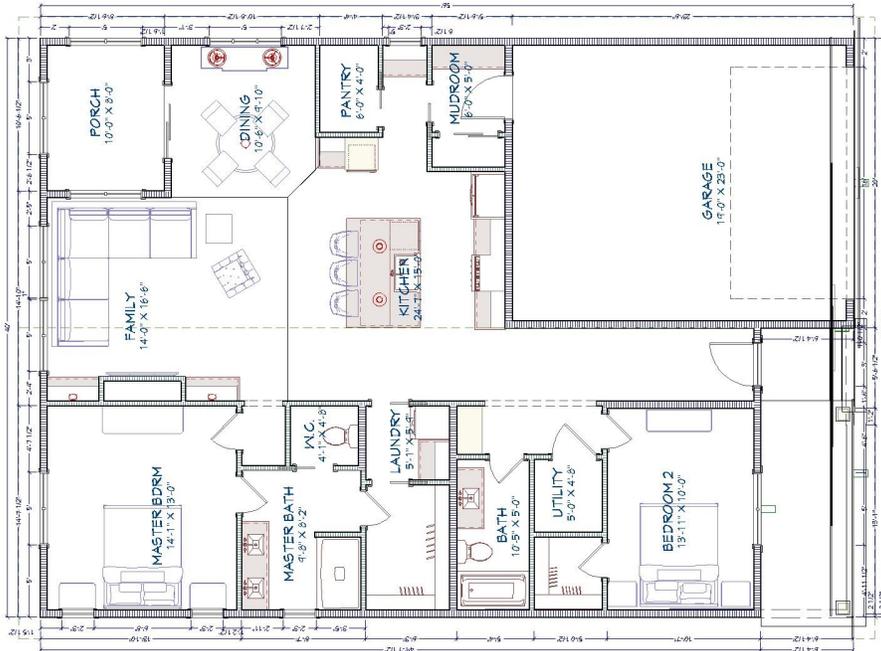
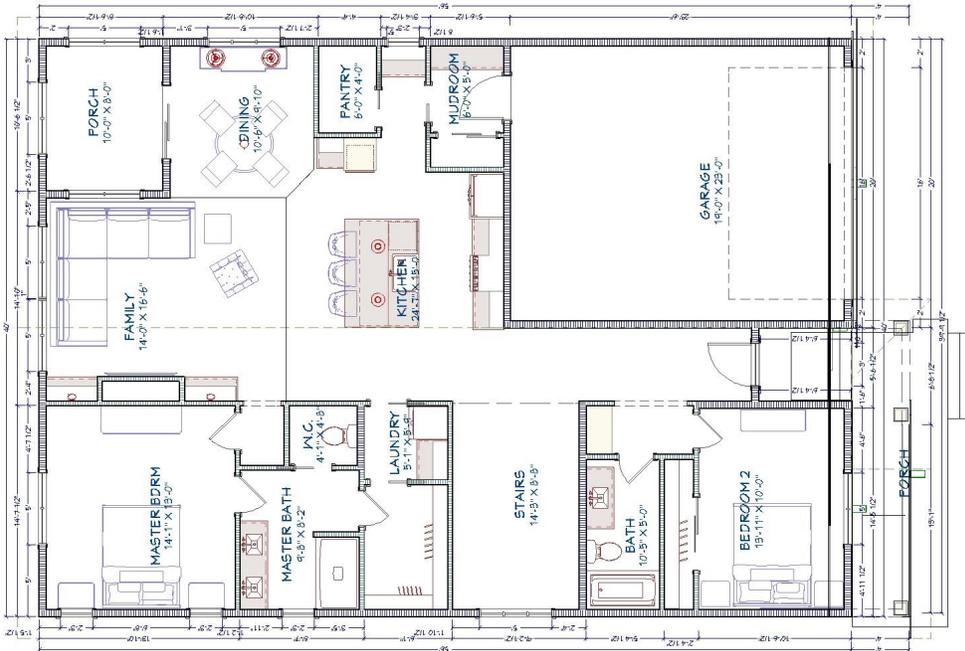
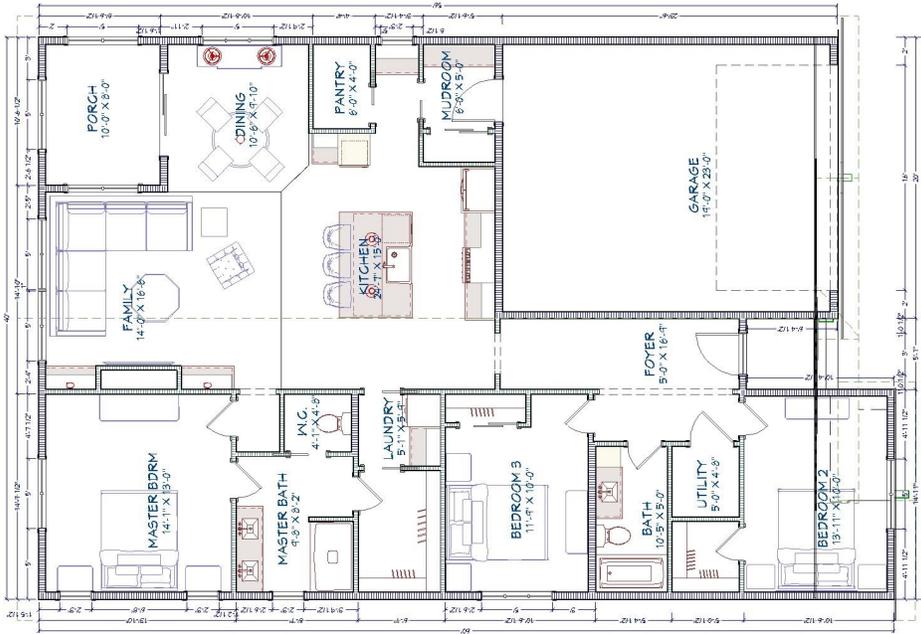
9. Signage approved by the City will need to be placed along lot lines or corners next to storm ponds.
10. Deeds for conveyance of the stormwater outlots to the City shall be coordinated with final plat recording.
11. HOA documents will need to be recorded at the same time as the final plat. Please submit documents for review.
12. A temporary cul-de-sac will be required at the end of Jordan Avenue NE. Easements acceptable to the City Attorney should be provided for the cul-de-sac, and a cash escrow in an amount to be determined by the City Engineer should be provided for future removal of the temporary cul-de sacs.
13. A foundation as-built for each home will be required as a condition of approval of the Planned Residential Development.
14. Signage approved by the City will need to be placed along lot lines or corners next to storm ponds or wetlands.
15. Deeds for conveyance of the outlots to the City shall be coordinated with final plat recording.
16. Sidewalks should be shown on one side of every street.
17. Trails should be constructed to connect Outlot A to the park (including across the City owned property at the eastern terminus of Outlot A). The trail adjacent to Lot 4, Block 3 that will be in an outlot with a future plat should also be constructed at this time.

cc: Justin Messner, WSB

These 3 plans are our latest revision but there is one important change in process on our final ones that is not reflected on these.

The one change carries over on all 3 plans...We just need the Garage side to be 55' in length on all plans instead of 56' for the proper driveway setbacks. We will take 6" from the pantry and 6" from the covered patio to make them 3'6" and 7'6" respectively. This should allow for 25' minimum driveway setbacks on all structures.





RIVER TOWN VILLAS OF HANOVER

KNOW ALL PERSONS BY THESE PRESENTS: That JW Family Holdings, L.L.C., a Minnesota limited liability company, owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

The South 656.60 feet of the East 284.93 feet of the Northwest Quarter of the Southwest Quarter of Section 36, Township 120, Range 24, except the South 33 feet, Wright County, Minnesota

Has caused the same to be surveyed and platted as RIVER TOWN VILLAS OF HANOVER, and does hereby dedicate to the public for public use the public way(s) and the drainage and utility easements as created by this plat.

In witness whereof said JW Family Holdings, L.L.C., a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

JW FAMILY HOLDINGS, L.L.C.

By: _____
Signature Printed Name, Title

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20_____, by _____, as _____ of JW Family Holdings, L.L.C., a Minnesota limited liability company, on behalf of the company.

Signature Printed Name, Notary
Notary Public, _____ County, _____
My Commission Expires _____

SURVEYORS CERTIFICATION

I, Henry D. Nelson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this Plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20_____.

Henry D. Nelson, Licensed Land Surveyor,
Minnesota License No. 17255

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 20_____, by Henry D. Nelson, Land Surveyor, Minnesota License No. 17255.

Signature Printed Name, Notary
Notary Public, Hennepin County, Minnesota
My Commission Expires January 31, 2020

CITY COUNCIL, CITY OF HANOVER, MINNESOTA

This plat of RIVER TOWN VILLAS OF HANOVER was approved and accepted by the City Council of the City of Hanover, Minnesota, at a regular meeting thereof held this _____ day of _____, 20_____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subdivision 2.

City Council, Hanover, Minnesota

By: _____, Mayor By: _____, Clerk

WRIGHT COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20_____.

By: _____
Wright County Surveyor

WRIGHT COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20_____, on the land hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20_____.

By: _____ By: _____
Wright County Auditor/Treasurer Deputy

WRIGHT COUNTY RECORDER

I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20_____, at _____ o'clock _____M., and was duly recorded in Cabinet No. _____, Sleeve _____, as Document No. _____.

By: _____ By: _____
Wright County Recorder Deputy

WRIGHT COUNTY REGISTRAR OF TITLES

Certificate No. _____
I hereby certify that this instrument was filed in the office of the Registrar of Titles for record on this _____ day of _____, 20_____, at _____ o'clock _____M., and was duly recorded in Cabinet No. _____, Sleeve _____, as Document No. _____.

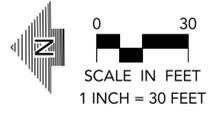
By: _____ By: _____
Wright County Registrar of Titles Deputy

RIVER TOWN VILLAS OF HANOVER

VICINITY MAP
NOT TO SCALE

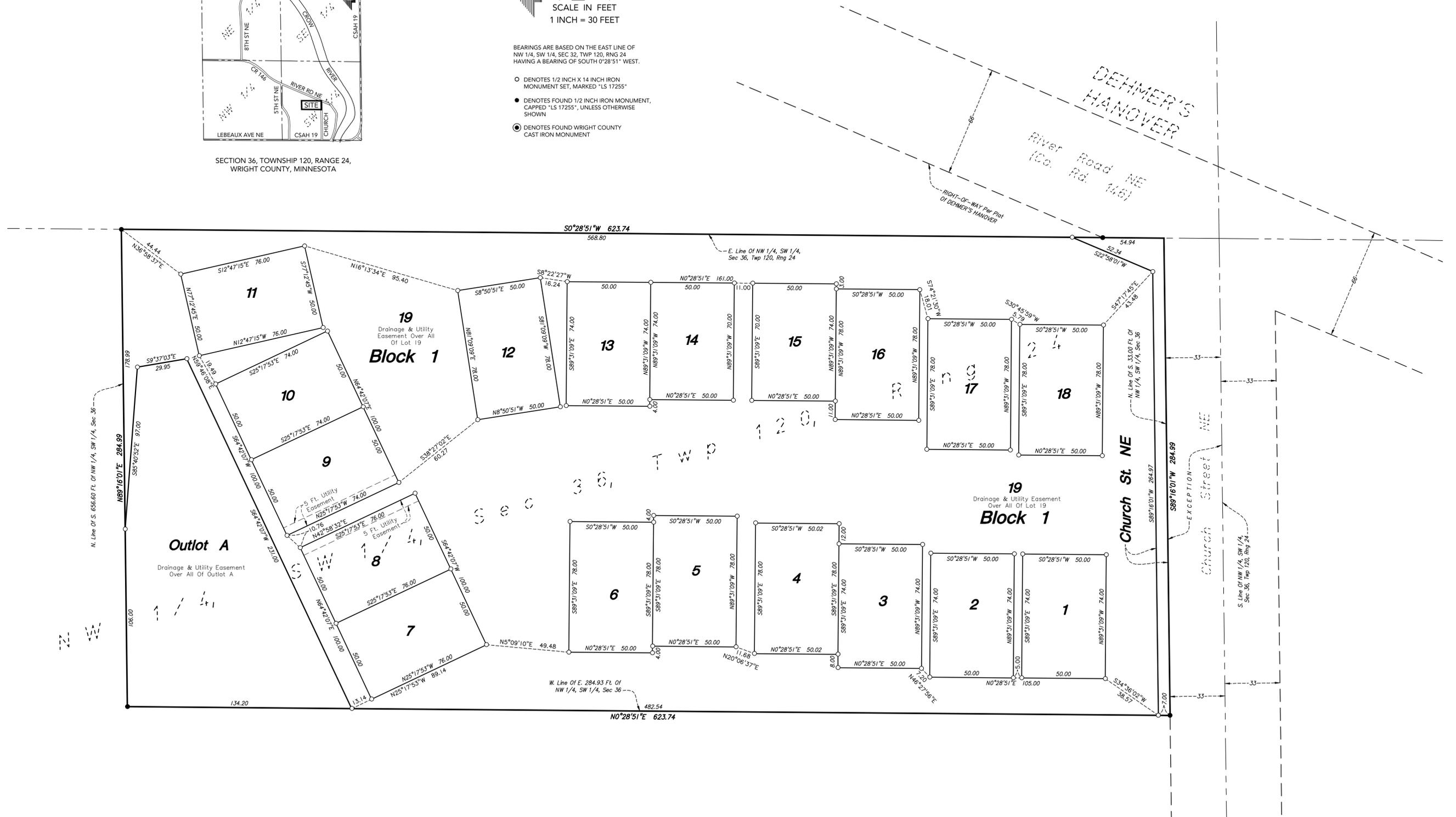


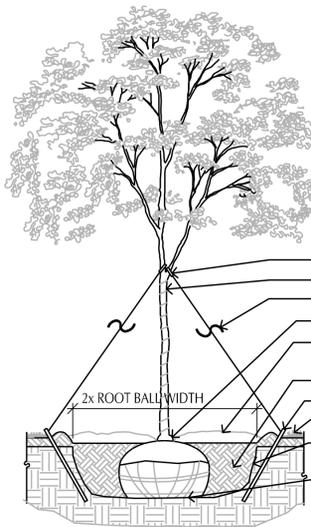
SECTION 36, TOWNSHIP 120, RANGE 24,
WRIGHT COUNTY, MINNESOTA



BEARINGS ARE BASED ON THE EAST LINE OF
NW 1/4, SW 1/4, SEC 32, TWP 120, RNG 24
HAVING A BEARING OF SOUTH 0°28'51" WEST.

- DENOTES 1/2 INCH X 1/4 INCH IRON MONUMENT SET, MARKED "LS 17255"
- DENOTES FOUND 1/2 INCH IRON MONUMENT, CAPPED "LS 17255", UNLESS OTHERWISE SHOWN
- ⊙ DENOTES FOUND WRIGHT COUNTY CAST IRON MONUMENT





THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

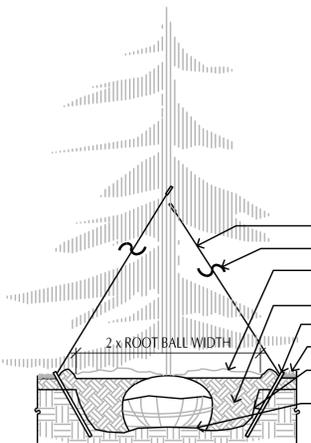
- 16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP
- TREE WRAP TO FIRST BRANCH
- SAFETY FLAGGING - ONE PER WIRE
- ROOT FLARE EVEN WITH OR JUST ABOVE GRADE.
- MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPECS.
- BACKFILL WITH IN SITU TOPSOIL
- WOOD STAKE (OPTIONAL)
- EDGE VARIES - SEE PLAN
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
- SET PLANT ON UNDISTURBED NATIVE SOIL

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

1 DECIDUOUS TREE PLANTING DETAIL

L1-1 SCALE: 1/2" = 1'-0"

Deciduous Tree.DWG



THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE ANY DAMAGED BRANCHES AFTER PLANTING IS COMPLETE.

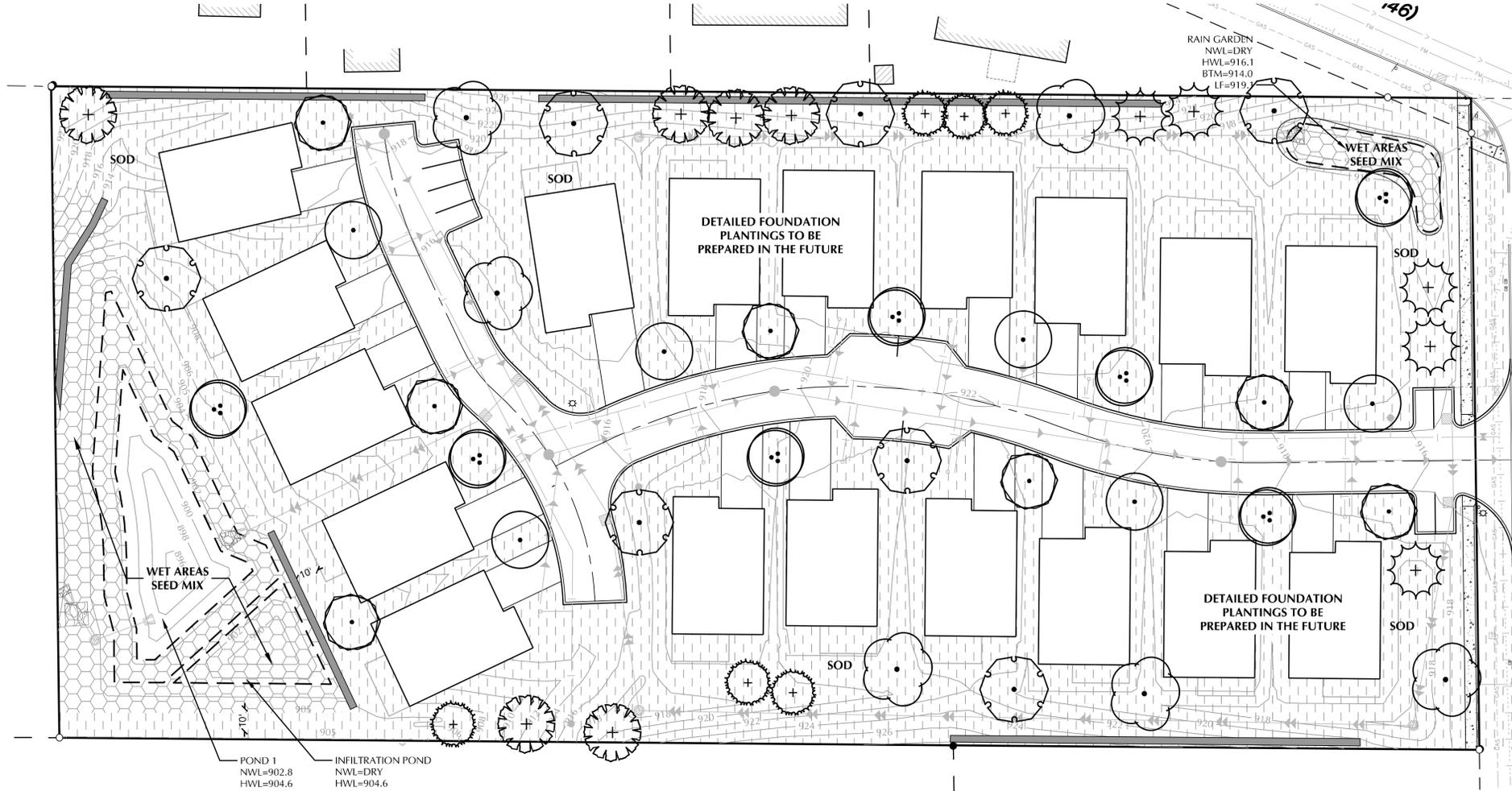
WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

- 16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP
- SAFETY FLAGGING - ONE PER WIRE
- MULCH - 4" DEEP - SEE NOTES OR SPECS. MULCH MUST NOT BE IN CONTACT WITH TRUNK.
- BACKFILL WITH IN SITU TOPSOIL
- WOOD STAKE (OPTIONAL)
- EDGE VARIES - SEE PLAN
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
- ROOT BALL SET ON UNDISTURBED SUBGRADE
- CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

2 CONIFEROUS TREE PLANTING DETAIL

L1-1 SCALE: 1/2" = 1'-0"

Coniferous Tree.DWG



LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING PERENNIALS, GROUND COVER, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF 5 PARTS CLEAN TOPSOIL AND 1 PART PEAT. SHRUBS AND TREES TO BE BACKFILLED WITH SAME PLANTING SOIL.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER. ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (GREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

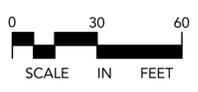
LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

GROUND COVER NOTES:

- SOD
- WET AREAS SEED MIX
- MNDOT SEED MIX #33-261. APPLY AT 35 lbs/ac.

LANDSCAPE REQUIREMENTS:
TWO 2.5" CALIPER TREES REQUIRED PER DWELLING UNIT
18 DWELLING UNITS PROPOSED
36 TREES REQUIRED
50 TREES PROPOSED

PLANT SCHEDULE					
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
	7	RIVER BIRCH CLUMP	Betula nigra	B & B	8' HGT
	6	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5" Cal
	7	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	B & B	2.5" Cal
	7	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal
	6	VALLEY FORGE ELM	Ulmus americana 'Valley Forge'	B & B	2.5" Cal
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
	5	AUSTRIAN PINE FULL FORM	Pinus nigra	B & B	6' HGT
	6	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT
	6	SCOTCH PINE FULL FORM	Pinus sylvestris	B & B	6' HGT



RIVER TOWN VILLAS OF HANOVER
11218 CHURCH STREET NE
HANOVER, MN 55341

WITS REALTY
1010 W. LAKE STREET
SUITE 200
MINNEAPOLIS, MN 55408

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CIVIL ENGINEERING
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SUBMITTAL/REVISIONS

02/22/19	PRELIMINARY SUBMITTAL
04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect in the State of Minnesota.
Timothy J. Fedler - LA
License No. 48303
Date

QUALITY CONTROL

Loucks Project No.	03128A
Project Lead	TWM
Drawn By	TJF
Checked By	TJF
Review Date	

SHEET INDEX

C1-1	EXISTING CONDITIONS
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2 - C3-3	SWPPP PLAN & NOTES
C4-1	UTILITY PLAN
C4-2 - C4-3	SAN SEWER & WM PLAN
C5-1 - C5-4	ST & STM SEWER PLAN
C8-1 - C8-6	CIVIL DETAILS

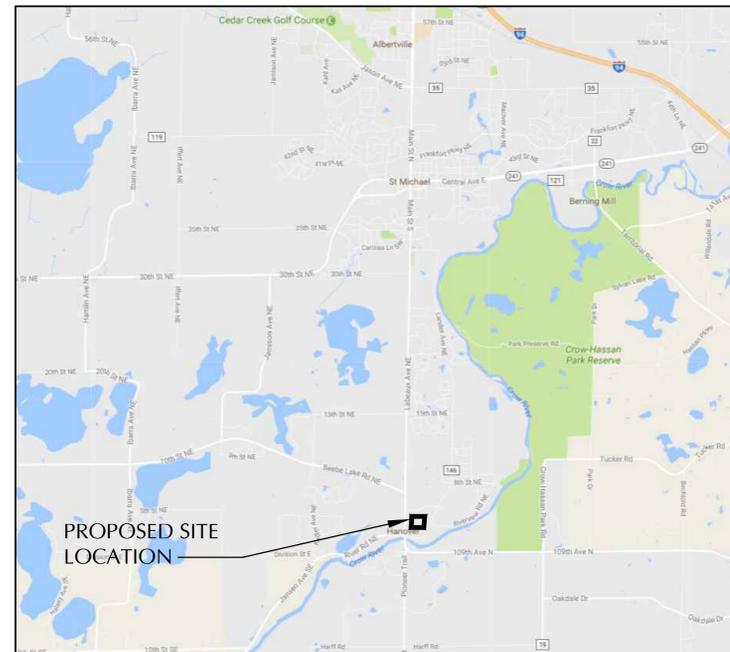
LANDSCAPE PLAN
L1-1

RIVER TOWN VILLAS OF HANOVER

HANOVER, MINNESOTA

PLANS FOR:
SITE GRADING, SANITARY SEWER, WATER MAIN,
STORM SEWER AND STREET CONSTRUCTION

VICINITY MAP



PROPOSED SITE
LOCATION

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

DEVELOPER

WITS REALTY
1010 W. LAKE STREET
MINNEAPOLIS, MN 55408

JOSH JACOBS
TEL: 612.859.0354

APPROVED

JUSTIN MESSNER, P.E.
HANOVER CITY ENGINEER

DATE:

RIVER TOWN
VILLAS OF
HANOVER

11218 CHURCH STREET NE
HANOVER, MN 55341

WITS REALTY

1010 W. LAKE STREET
SUITE 200
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SUBMITTAL/REVISIONS

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04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY
Todd W. McLouth - PE
License No. 20383
Date

QUALITY CONTROL

Loucks Project No.	03128A
Project Lead	TWM
Drawn By	KMM
Checked By	TWM
Review Date	04/26/19

SHEET INDEX

C1-0	COVER SHEET
C1-1	EXISTING CONDITIONS
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C3-2 - C3-3	SWPPP PLAN & NOTES
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C5-1 - C5-4	ST & STM SEWER PLAN
C8-1 - C8-6	CIVIL DETAILS



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

BENCHMARKS

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT INTERSECTION OF CHURCH ST NE & RIVER ROAD NE. ELEVATION+920.32 FEET (NGVD'29)

COVER SHET

C1-0

DESCRIPTION OF PROPERTY SURVEYED

(Per Schedule A of the Owners Policy OX12633839, File No. 1811-1298-BF, issued by Liberty Title, Inc. as agent for Old Republic National Title Insurance Company, effective date January 8, 2019.)

The South 656.60 feet of the East 284.93 feet of the Northwest Quarter of the Southwest Quarter of Section 36, Township 120, Range 24, except the South 33 feet, Wright County, Minnesota

SURVEY REPORT

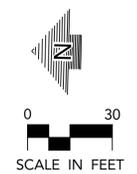
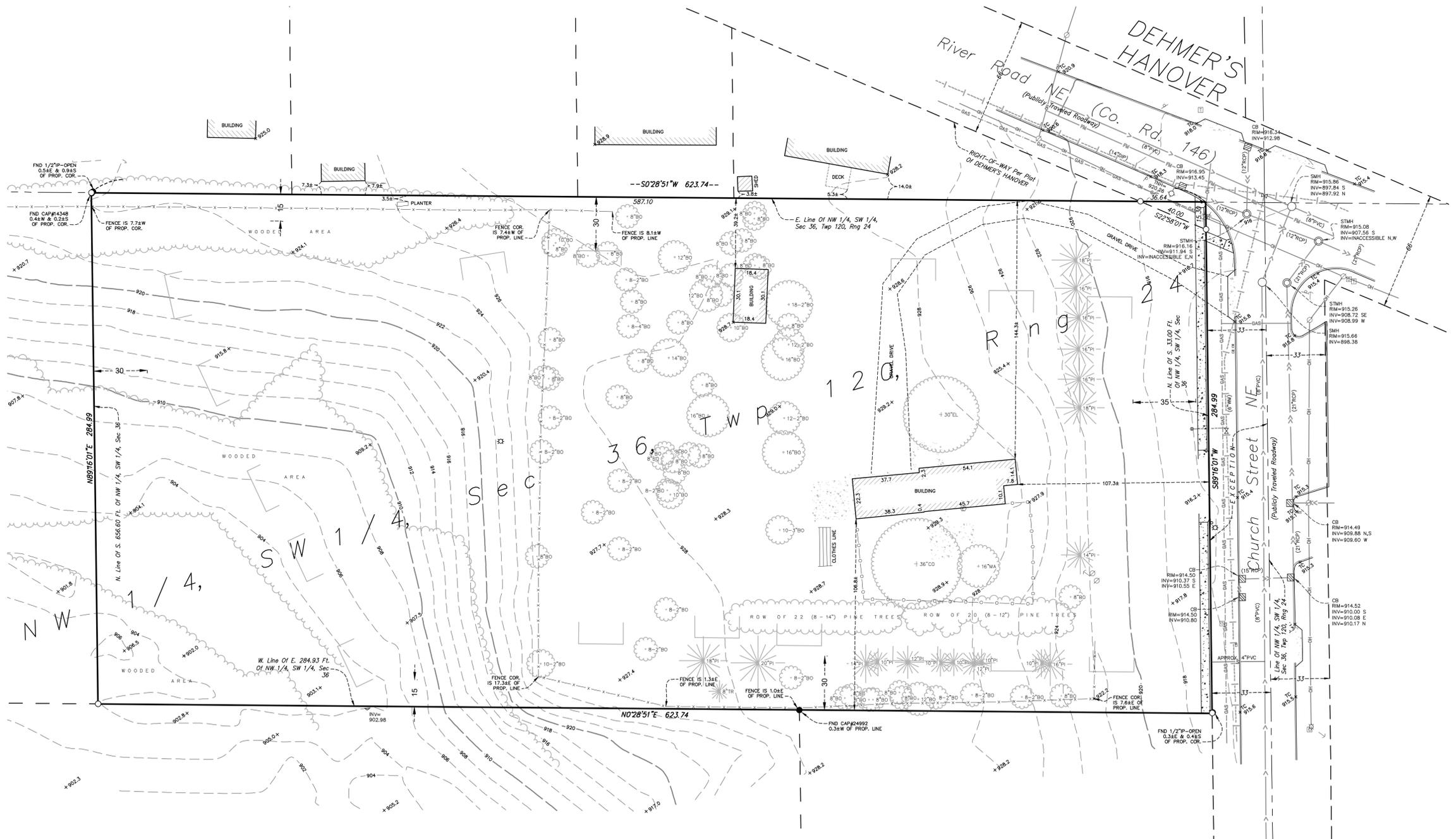
- The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey. The location of River Road NE shown hereon, is per available mapping.
- The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 11216 Church Street NE, Hanover, MN 55341.
- The bearings for this survey are based on the Wright County Coordinate System NAD 83 (1986 Adjust).
- Benchmark: MnDOT Concrete Monument - ESTERLY 2
2.5 miles southeast of Saint Michael; 1.5 miles south along Labeaux Ave NE from junction of Labeaux Ave NE & 30th St NE in Saint Michael, then 0.35 mile west on 15th St NE to driveway to house number 10621; in garden on right; 181 feet south of road; 76.22 feet south-southeast of reference mark 6; 65.25 feet north-northwest of reference mark 5; 57.0 feet west of the northwest corner of a metal building; 3.5 feet northeast of witness post.
Elevation = 1026.51 Feet (NGVD'29)

Site Benchmark:
Top nut of hydrant located at intersection of Church St NE & River Road NE, as shown hereon.
Elevation = 920.32 Feet (NGVD'29)
- This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27053C0016F, Community Panel No. 270540 0016 F, effective date of November 4, 2016 and Flood Insurance Rate Map No. 27053C0018F, Community Panel No. 270540 0018 F, effective date of November 4, 2016.
- The field work was completed on April 19, 2005.

- The wetlands information on this plan was provided and delineated by Pinnacle Engineering, dated October 7, 2003. (NO wetlands on site)
- Individual trees as shown are measured diameter in inches at breast height (DBH) in 2005.
- We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket No's 190430195 and 190430197. The following utilities and municipalities were notified:

COMCAST (800)778-9140
CENTURYLINK (855)742-6062
XCEL ENERGY (800)848-7558

VEOLIA WATER (763)497-3611
CENTER POINT ENERGY (608)223-2014
ZAYO BANDWIDTH (888)267-1063
- Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
- The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.
- Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. **EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.**



SURVEY LEGEND

- FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"
- △ SET NAIL
- (INFO) INFORMATION AS SHOWN ON PLAN - NOT FIELD VERIFIED
- S --- SANITARY SEWER
- W --- WATER SERVICE
- FM --- FORCE MAIN - MAPPED
- CTY --- UG CABLE TV - MAPPED
- ELE --- UG ELECTRIC - MAPPED
- GAS --- UG GAS - MAPPED
- TEL --- UG TELEPHONE - MAPPED
- OH --- OVERHEAD UTILITY
- X --- BARBED WIRE FENCE
- ○ --- CHAIN LINK FENCE
- ■ --- CONCRETE CURB
- ■ --- CONCRETE
- --- CONTOUR
- --- TREE LINE
- ○ --- CONIFEROUS TREE
- ○ --- DECIDUOUS TREE
- ○ --- CATCH BASIN
- ○ --- STORM MANHOLE
- ○ --- SANITARY MANHOLE
- ○ --- HYDRANT
- ○ --- GATE VALVE
- ○ --- LIGHT POLE
- ○ --- POWER POLE
- ○ --- CABLE TV PEDESTAL
- ○ --- ELECTRIC METER
- ○ --- GUY WIRE
- ○ --- MAILBOX
- ○ --- SIGN
- ○ --- TELEPHONE PEDESTAL
- ○ --- BOXELDER
- ○ --- COTTONWOOD
- ○ --- ELM
- ○ --- MAPLE
- ○ --- PINE
- ○ --- TREE (GENERAL)
- ○ --- CURB CUT
- ○ --- TOP OF CURB
- ○ --- THSD ELEV @ THRESHOLD
- ○ --- TNH TOP NUT HYDRANT
- ○ --- 972.5 SPOT ELEVATION
- 12 --- SCHEDULE B ITEM

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02/22/19	PRELIMINARY SUBMITTAL
04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Henry D. Nelson - PLS
License No. 17255
Date 2/22/19

QUALITY CONTROL

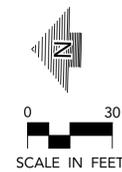
Loucks Project No. 03128A
Project Lead HDN
Drawn By SFM
Checked By HDN
Field Crew VN/JT

SHEET INDEX

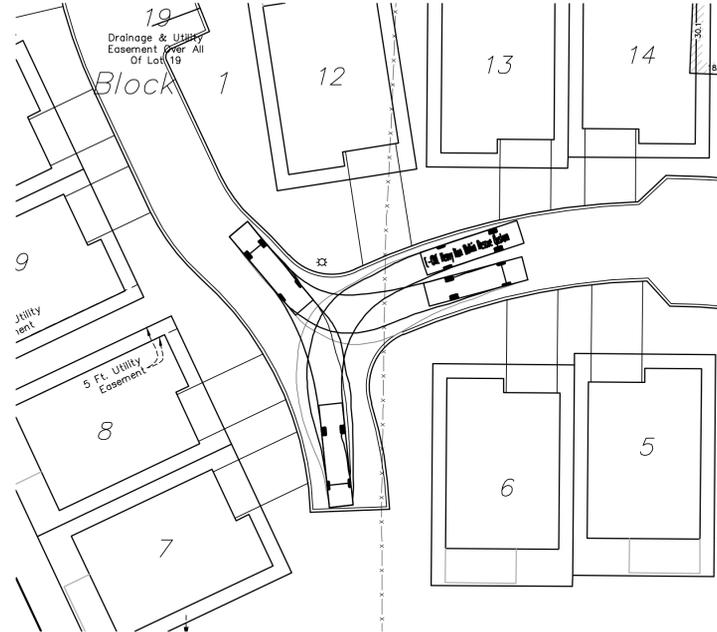
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EXISTING CONDITIONS

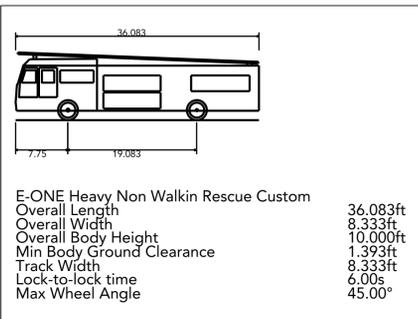
C1-1



FIRE TRUCK TURNING MOVEMENTS



MOVEMENTS BASED ON A 36' LONG TRUCK



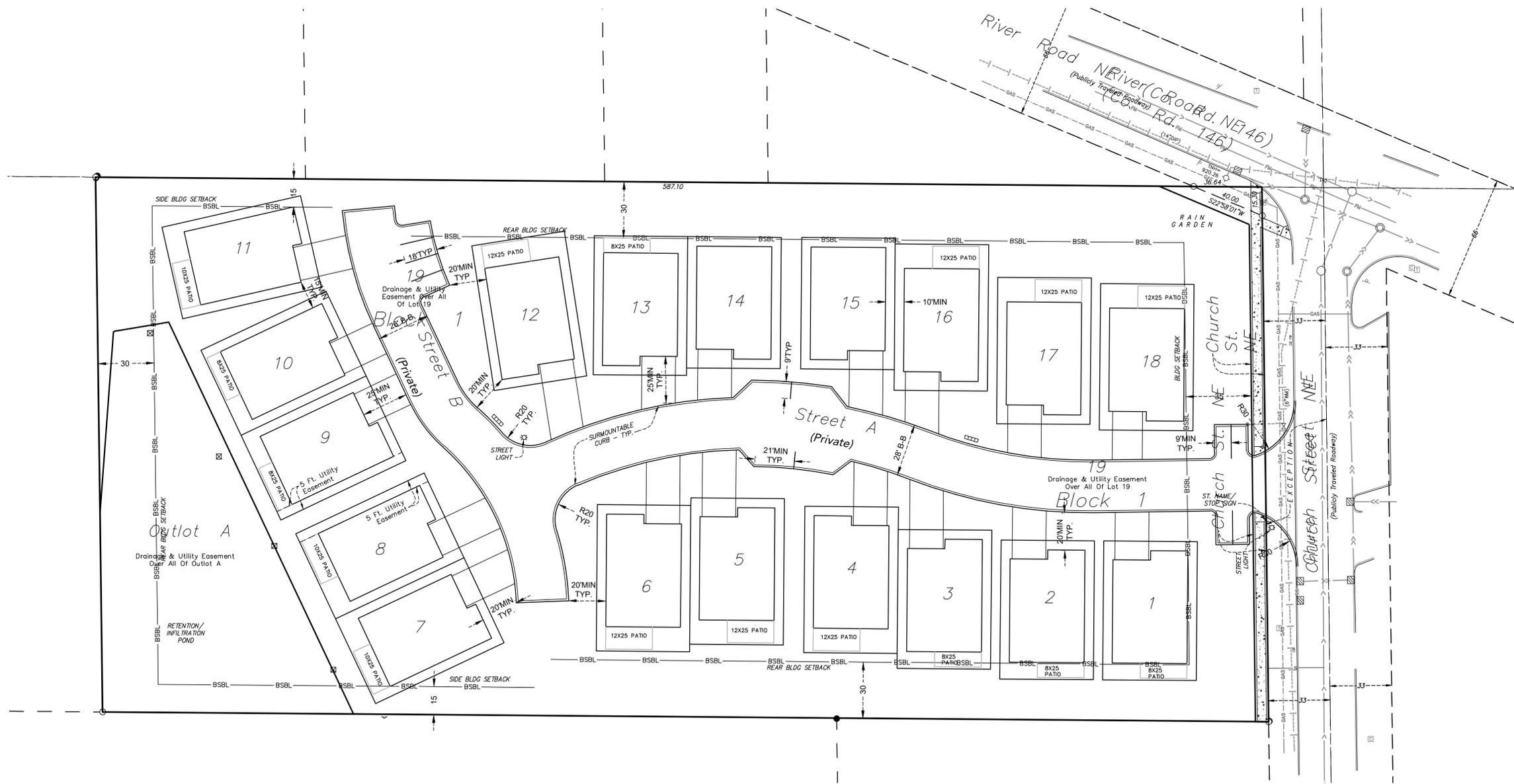
SITE AREAS

Lots 1 through 18 (3,500 +/- sq. ft.)	= 63,000 +/- square feet or 1.45 +/- acres
Lot 19	= 112,247 +/- square feet or 2.57 +/- acres
Right of Way Dedication Area	= 2,475 +/- square feet or 0.06 +/- acres
Total Property Area	= 177,722 +/- square feet or 4.08 +/- acres

ZONING INFORMATION

Current Zoning: B1-A (Downtown River District)
 Proposed Zoning: R-1A with PUD Overlay (Planned Unit Development)

Minimum Setbacks:
 Building Side = 15 feet
 Building Rear = 30 feet
 Building (Church Street NE) = 35 feet
 Building Front To Curb = 20 feet
 Garage Front To Curb = 25 feet
 Garage to Garage = 10 feet
 Garage to Building = 15 feet



CADD QUALIFICATION

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SUBMITTAL/REVISIONS

02/22/19	PRELIMINARY SUBMITTAL
04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

PRELIMINARY
 Todd W. McLaughlin - PE

License No. 20383
 Date

QUALITY CONTROL

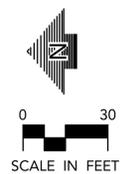
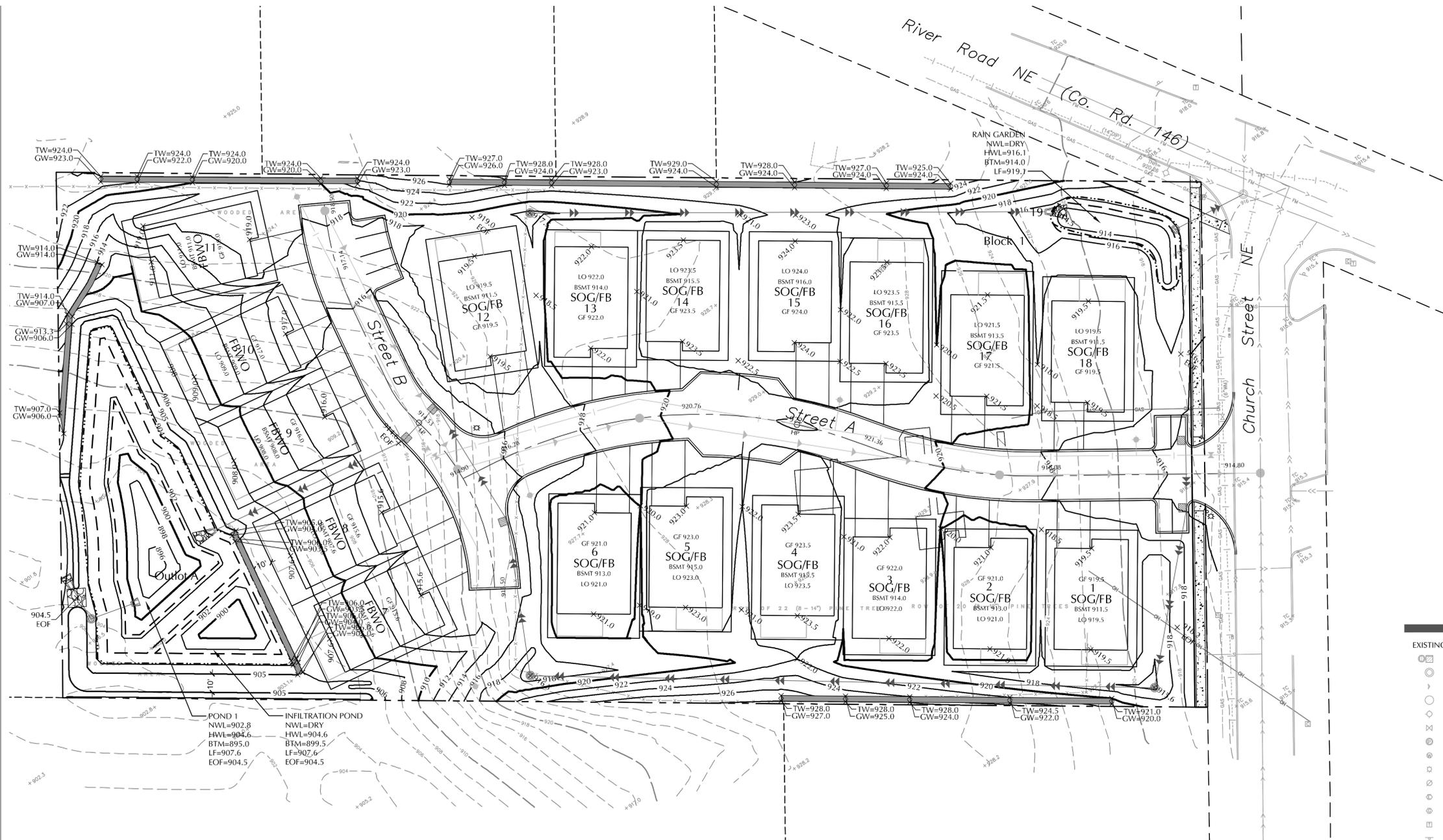
Loucks Project No. 03128A
 Project Lead TWM
 Drawn By KMM
 Checked By TWM
 Review Date 04/26/19

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C8-1 - C8-6	CIVIL DETAILS

- ▣ CLUSTER MAILBOX
- ⊠ STORM WATER SIGN
- ⊠ STREET LIGHT

Plotted: 04/26/2019 11:55 AM W:\2003\03128A\CADD DATA\CIVIL.dwg Sheet: File:C2-1 SITE PLAN



LEGEND	
EXISTING	PROPOSED

GRADING, DRAINAGE & EROSION CONTROL NOTES

- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES OF TOP SOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER.
- STABILIZING VEGETATION MUST BE PLACED IN DISTURBED AREAS WITHIN 2 WEEKS OF ROUGH GRADING.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAILS SHOWN ON SHEET C8-3 OF THE PROJECT PLANS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON SHEET C8-1 OF THE PROJECT PLANS.
- ALL ENTRANCES AND CONNECTIONS TO CITY STREETS SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND NOTIFICATIONS AS REQUIRED BY THE CITY.
- SEE UTILITY PLAN AND STORM SEWER PROFILES FOR FURTHER DETAIL REGARDING THE STORM SEWER.

INFILTRATION POND GRADING

- GRADING SHALL BE ACCOMPLISHED USING LOW IMPACT EARTH MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. WIDE TRACK EQUIPMENT IS RECOMMENDED.
- THE INFILTRATION BASIN SHALL REMAIN OFFLINE AND THE CONTRACTOR SHALL KEEP EROSION CONTROL BARRIERS IN-PLACE UNTIL THE SURROUNDING DRAINAGE AREA IS ESTABLISHED WITH TURF.

PROJECT BENCHMARK

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT INTERSECTION OF CHURCH ST NE & RIVER ROAD NE. ELEVATION = 920.32 FEET (NGVD'29)

CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

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SUBMITTAL/REVISIONS

02/22/19	PRELIMINARY SUBMITTAL
04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

PROFESSIONAL SIGNATURE

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PRELIMINARY
Todd W. McLouth - PE
License No. 20383
Date

QUALITY CONTROL

Loucks Project No.	03128A
Project Lead	TWM
Drawn By	KMM
Checked By	TWM
Review Date	04/26/19

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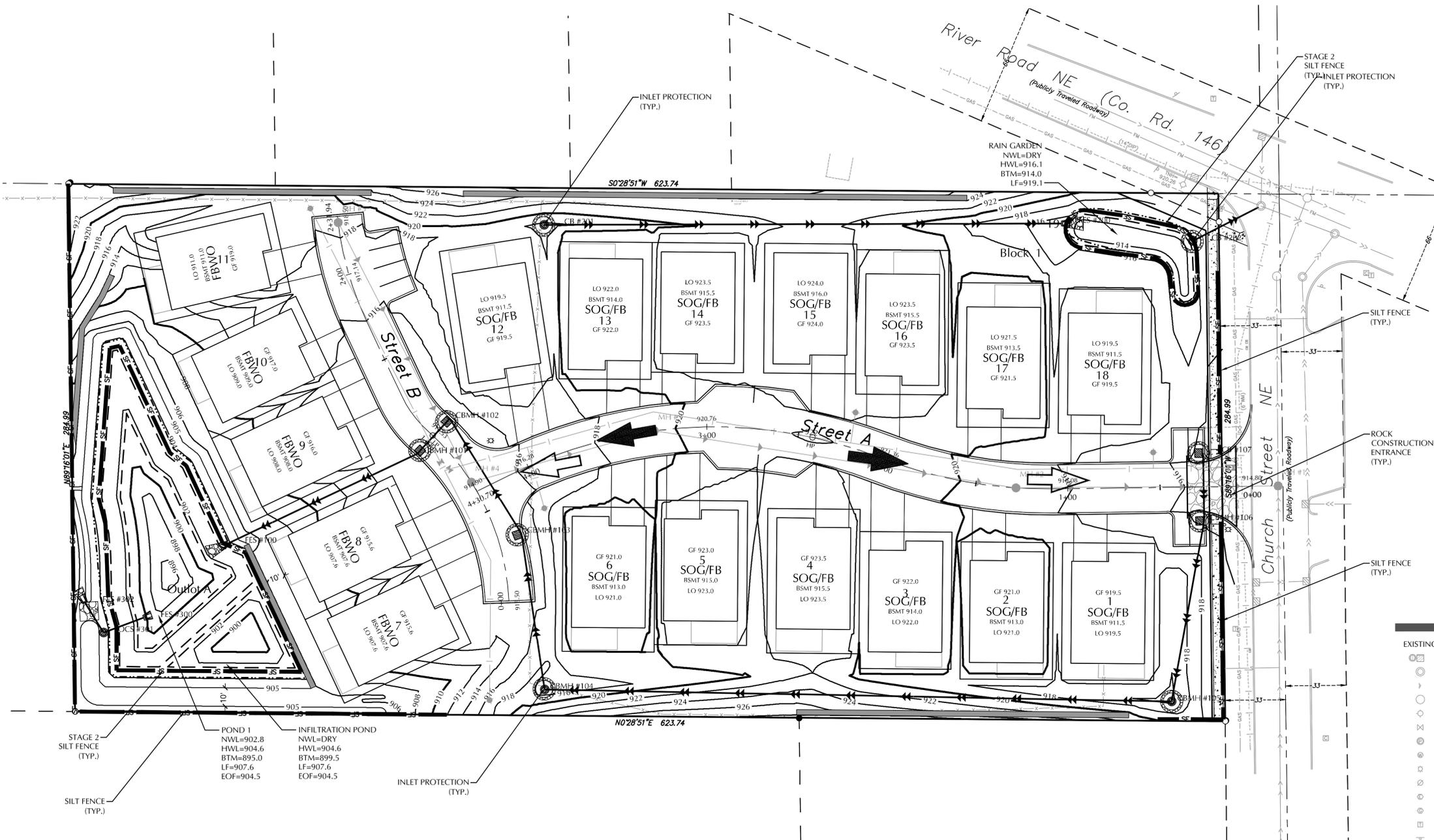
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EXISTING	PROPOSED

SITE PLAN LEGEND	
	SILT FENCE
	ROCK CONSTRUCTION ENTRANCE
	BIOREFILL
	INLET PROTECTION
	EXISTING DRAINAGE PATTERN
	PROPOSED DRAINAGE PATTERN
	WOODFIBER BLANKET

NOTE: ALL OTHER DISTURBED AREAS SHALL BE SEEDED & MULCHED

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SWPPP NOTES

- PROJECT DESCRIPTION**
THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING SINGLE FAMILY RESIDENTIAL LOTS AND HOMES, UTILITIES AND STREETS.
- SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:**
 - INSTALL VEHICLE TRACKING BMP
 - INSTALL SILT FENCE AROUND SITE
 - INSTALL PROTECTIVE FENCE AROUND INFILTRATION AREAS
 - CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - REMOVE PAVEMENTS AND UTILITIES
 - CONSTRUCT STORMWATER MANAGEMENT BASINS
 - INSTALL SILT FENCE AROUND BASINS
 - ROUGH GRADE SITE
 - IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - INSTALL PAVEMENTS AND WALKS
 - INSTALL SMALL UTILITIES (GAS, PHONE, ELECTRIC, CABLE, ETC.)
 - FINAL GRADE SITE
 - REMOVE ACCUMULATED SEDIMENT FROM BASINS
 - CONSTRUCT INFILTRATION BASIN
 - SEED AND MULCH
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
- SITE DATA:**
 - AREA OF DISTURBANCE: ±4.10 AC
 - PRE-CONSTRUCTION IMPERVIOUS AREA: ±0.38 AC
 - POST-CONSTRUCTION IMPERVIOUS AREA: ±1.89 AC

GENERAL SOIL TYPE: SEE GEOTECHNICAL REPORT IN SPECIFICATIONS
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING, OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE. AT A RATE OF 1.5 TIMES STANDARD SEEDING/FINAL STABILIZATION TO BE DONE PER LANDSCAPE PLAN, SEE SHEET L1-L4.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET
ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMP'S.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C., PART II.B.F., PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE-PERMITTEES** WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT TO THE MPCA. ALL PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION, PER NPDES PERMIT PART IV.G, HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
 - TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
- INSPECTIONS**
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A RAINFALL EVENT GREATER THAN OR EQUAL TO 0.2" IN 24 HOURS.
 - STABILIZED AREAS: ONCE EVERY 30 DAYS
 - FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
- MINIMUM MAINTENANCE**
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN 72 SEVEN DAYS
 - CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL RAIN EVENTS GREATER THAN 0.5" OVER 24 HOURS
- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THE SITE.
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
- SWPPP MUST BE AMENDED WHEN:**
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE.
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
 - AT ANY TIME AFTER PERMIT COVERAGE IS EFFECTIVE, THE MPCA MAY DETERMINE THAT THE PROJECT'S STORMWATER DISCHARGES MAY CAUSE, HAVE REASONABLE POTENTIAL TO CAUSE, OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARD, OR THAT THE SWPPP DOES NOT INCORPORATE THE APPLICABLE REQUIREMENTS IN PART III.A.8, IMPAIRED WATERS AND TMDLS. IF A WATER QUALITY STANDARD CHANGES DURING THE TERM OF THIS PERMIT, THE MPCA WILL MAKE A DETERMINATION AS TO WHETHER A MODIFICATION OF THE SWPPP IS NECESSARY TO ADDRESS THE NEW STANDARD. IF THE MPCA MAKES SUCH DETERMINATIONS OR ANY OF THE DETERMINATIONS IN PARTS III.B.1.-3., THE MPCA WILL NOTIFY THE PERMITTEES IN WRITING. IN RESPONSE, THE PERMITTEES MUST AMEND THE SWPPP TO ADDRESS THE IDENTIFIED CONCERNS AND SUBMIT INFORMATION REQUESTED BY THE MPCA, WHICH MAY INCLUDE AN INDIVIDUAL PERMIT APPLICATION. IF THE MPCA'S WRITTEN NOTIFICATION REQUIRES A RESPONSE, FAILURE TO RESPOND WITHIN THE SPECIFIED TIMEFRAME CONSTITUTES A PERMIT VIOLATION.
- CONCRETE WASHOUT AREA**
 - CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERTILL".
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
- TEMPORARY AND PERMANENT SOIL STABILIZATION**
 - TEMPORARY SOIL STABILIZATION MEASURES SHALL CONSIST OF SEEDING.
 - PERMANENT SOIL STABILIZATION SHALL CONSIST OF HYDRO MULCH OR STRAW MULCH.
 - 7 DAY STABILIZATION TIME FRAME IS REQUIRED FOR ALL EXPOSED SOILS THAT ARE DORMANT OR NOT BEING WORKED WITHIN THE 7 DAY WINDOW.
- FINAL STABILIZATION**
FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES

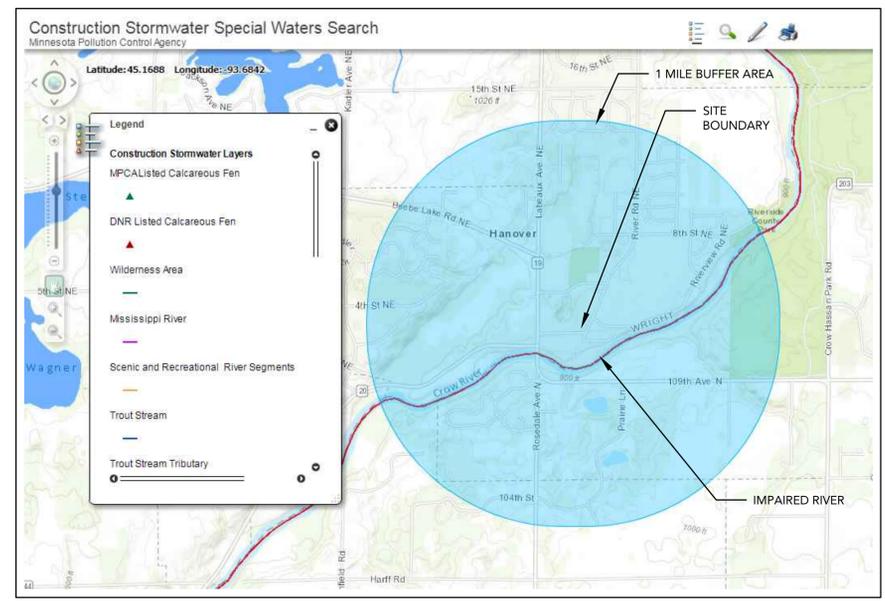
- STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- TEMPORARY SEDIMENTATION BASINS**
 - THE TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AND MADE OPERATIONAL PRIOR TO DISTURBANCE OF 10 OR MORE ACRES DRAINING TO A COMMON LOCATION.
 - TEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRIOR TO RUNOFF LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS WHEN 5 OR MORE ACRES OF DISTURBED SOILS DRAIN TO A COMMON LOCATION, SINCE THE SITE IS WITHIN ONE MILE OF IMPAIRED WATER BODY. THE BASIN MUST PROVIDE 3,600 CUBIC FEET OF STORAGE BELOW THE OUTLET PER ACRE DRAINED. IF HYDRAULIC CALCULATIONS ARE AVAILABLE, THE TEMPORARY SEDIMENTATION BASIN MUST PROVIDE A STORAGE VOLUME EQUIVALENT TO THE 2-YEAR, 24-HOUR STORM, BUT IN NO CASE LESS THAN 1800 CUBIC FEET PER ACRE DRAINED. THE TEMPORARY SEDIMENTATION BASIN MUST BE CONSTRUCTED AND MADE OPERATIONAL CONCURRENT WITH THE START OF SOIL DISTURBANCE UP GRADIENT OF THE POND. THE TEMPORARY SEDIMENTATION BASIN SHALL BE DESIGNED TO PREVENT SHORT CIRCUITING, THE OUTFALL SHALL BE DESIGNED TO REMOVE FLOATABLE DEBRIS, ALLOW FOR COMPLETE DRAWDOWN OF THE POND FOR MAINTENANCE ACTIVITIES, AND HAVE ENERGY DISSIPATION. THE EMERGENCY SPILLWAY SHALL BE STABILIZED.
 - TEMPORARY SEDIMENTATION BASINS SHALL BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY REQUIRED BUFFER ZONE, AND MUST BE DESIGNED TO AVOID DRAINING WETLANDS, UNLESS THE IMPACT IS IN COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT.
 - EXCESSIVE SEDIMENT-LADEN WATER THAT IS NOT PROPERLY FILTERED WILL NOT BE PERMITTED TO DISCHARGE FROM SITE.
- DEWATERING AND BASIN DRAINING**
 - TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE TEMPORARY OR PERMANENT BASIN MAY DISCHARGE TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT THE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND PROPER VELOCITY DISSIPATION PROVIDED.
 - ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN THE RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLAND.
 - IF FILTERS WITH BACKWASH WATERS ARE USED, THE BACKWASH WATER SHALL BE HALLED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATED INTO SITE IN A MANNER THAT DOES NOT CAUSE EROSION. BACKWASH WATER MAY BE DISCHARGED TO SANITARY SEWER IF PERMISSION IS GRANTED BY THE SANITARY SEWER AUTHORITY.
- POLLUTION PREVENTION**
 - BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER TO PREVENT DISCHARGE OR PROTECTED BY AN EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.
 - HAZARDOUS MATERIALS AND TOXIC WASTE CONTAINER MUST BE PROVIDED TO PREVENT VANDALISM.
 - SOLID WASTE MUST BE STORED, COLLECTED AND DISPOSED OF IN COMPLIANCE WITH MINN. R. CH 7035.
 - PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH 7041.
 - DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED SHALL BE PREVENTED USING DRIP PANS OR ABSORBENTS. SUPPLIES SHALL BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD MUST BE AVAILABLE FOR RECOVERED SPILLED MATERIALS.
- DESIGN CALCULATIONS**
TEMPORARY & PERMANENT STORMWATER TREATMENT ARE DESIGNED TO MEET MPCA GENERAL & SPECIAL WATER REQUIREMENTS. CALCULATIONS ARE PART OF THE HYDROLOGY REPORT, WHICH IS TO BE CONSIDERED PART OF THE SWPPP DOCUMENTS. SEE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.
- GENERAL STORMWATER DISCHARGE REQUIREMENTS**
ALL REQUIREMENTS LISTED IN PART III OF THE PERMIT FOR DESIGN OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM AND DISCHARGE HAVE BEEN INCLUDED IN THE PREPARATION OF THIS SWPPP. THESE INCLUDE BUT ARE NOT LIMITED TO:
 - THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION PRECIPITATION.
 - THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE.
 - PEAK FLOW RATES AND STORMWATER VOLUMES TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNEL AND STREAM BANK EROSION.
 - THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE.
- CONSTRUCTION OF FILTRATION BASINS**
 - NO HEAVY TRAFFIC ON FILTRATION AREAS. CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION TO FILTRATION AREAS. IF COMPACTION IS ENCOUNTERED, BASIN SOILS MUST BE REMOVED & RELAND.
 - INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAD BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS ARE PROVIDED (PART III.D.1.C.).
 - WHEN AN INFILTRATION SYSTEM IS EXCAVATED TO FINAL GRADE (OR WITHIN THREE (3) FEET OF FINAL GRADE), THE PERMITTEES MUST EMPLOY RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERM) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. THE AREA MUST BE STAKED OFF AND MARKED SO THAT HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT WILL NOT COMPACT THE SOIL IN THE PROPOSED INFILTRATION AREA.
 - TO PREVENT CLOGGING OF THE INFILTRATION OR FILTRATION SYSTEM, THE PERMITTEES MUST USE A PRE-TREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, OR WATER QUALITY INLET (E.G., GRIT CHAMBER) TO SETTLE PARTICULATES BEFORE THE STORMWATER DISCHARGES INTO THE INFILTRATION OF FILTRATION SYSTEM.
- POST CONSTRUCTION**
THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D, SHALL BE ONE (1) INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.
- RESPONSIBILITIES**
 - THE OWNER MUST IDENTIFY A CONTRACTOR WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE.
 - THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM.
 - UPON ACCEPTANCE BY THE CITY, ALL STORMWATER FACILITIES WILL BE PUBLIC AND MAINTAINED BY THE CITY.
- TRAINING REQUIREMENTS**
THE PERMITTEES SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS PART HAVE BEEN TRAINED IN ACCORDANCE WITH THIS PERMIT'S TRAINING REQUIREMENTS.
 - WHO MUST BE TRAINED:
 - INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT
 - INDIVIDUALS OVERSEEING IMPLEMENTATION, OR REVISIONS, AND AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS AS REQUIRED IN PART IV.E. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
 - INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMP'S, AT LEAST ONE INDIVIDUAL ON A PROJECT MUST BE TRAINED IN THE JOB DUTIES.
 - TRAINING CONTENT:
 - THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT FOR THE PROJECT. AT LEAST ONE INDIVIDUAL PRESENT ON THE PERMITTED PROJECT SITE OR AVAILABLE TO THE PROJECT SITE IN 72 HOURS MUST BE TRAINED IN THE JOB DUTIES DESCRIBED IN PART III.E.1.B. AND PART III.E.1.C.
 - THE PERMITTEES SHALL ENSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT. AN UPDATE REFRESHER TRAINING MUST BE ATTENDED EVERY THREE (3) YEARS STARTING THREE (3) YEARS FROM THE ISSUANCE DATE OF THIS PERMIT.

* MPCA 24HR. HAZARDOUS SPILL HOTLINE: 651-649-5457 OF 80420798

TITLE	CONTACT	COMPANY	PHONE NUMBER
OWNER	JOSH JACOBS	WITS REALTY	612-859-0354
PROJECT MANAGER	TODD MCLOUTH	LOUCKS	763-496-6742
SWPPP DESIGNER	ZACH WEBBER	LOUCKS	763-496-6753
CONTRACTOR	TBD		
SITE MANAGER	TBD		

UNIVERSITY OF MINNESOTA
Zachary H. Webber
Design of Construction SWPPP (May 31 2021)

SPECIAL AND IMPAIRED WATERS MAP



ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
SILT FENCE (STANDARD)	LF	±730
STAGE 2 SILT FENCE (STANDARD)	LF	±695
INLET PROTECTION	EA	9
WOODFIBER BLANKET	SY	.
CONCRETE WASHOUT	EA	.
BIOROLL	LF	.

PERMANENT STORMWATER MANAGEMENT

X	INFILTRATION
	STORMWATER HARVEST AND REUSE
	FILTRATION
X	WET SEDIMENTATION BASIN
	REGIONAL PONDING

RECEIVING WATERS

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER	TYPE OF SPECIAL WATER

EROSION CONTROL NOTES

- ALL STREETS IN AND ADJACENT TO THE PROJECT SHALL REMAIN CLEAN AND PASSABLE AT ALL TIMES.
- A STABILIZED CONSTRUCTION ENTRANCE WILL BE PLACED AT ALL ENTRANCES THAT LEAD TO THE PROJECT SITE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE APPROVED DETAILS.
- SEDIMENT CONTROLS MUST BE IN PLACE AND APPROVED BY THE ENGINEER BEFORE ANY PHASE OF CONSTRUCTION CAN BEGIN.
- INLET PROTECTION WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE PROJECT AREA PER STANDARD DETAILS UNTIL THE SITE IS STABILIZED.
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO SURFACE WATER.
- STABILIZATION OF DISTURBED AREAS SHALL BE DONE BY PERMANENT TURF ESTABLISHMENT WHENEVER POSSIBLE.
- IN THE EVENT THAT PERMANENT STABILIZATION CANNOT BE IMPLEMENTED WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY IN THE DISTURBED AREA HAS CEASED, TEMPORARY STABILIZATION BMP'S MUST BE SCHEDULED TO OCCUR WITHIN THAT 7 DAY TIME FRAME. RAPID STABILIZATION METHOD 4 SHALL BE EMPLOYED WITHIN 200 FEET OF THE NORMAL WETTED PERIMETER OF ALL DISCHARGE POINTS WITHIN 24 HOURS.
- ALL STOCKPILES MUST HAVE PERIMETER SEDIMENT CONTROL IMPLEMENTED AND MAINTAINED AT ALL TIMES. STOCKPILES SHALL RECEIVE TEMPORARY STABILIZATION IF UNWORKED FOR 7 DAYS.
- CONCRETE SLURRY FROM REMOVAL OPERATIONS MUST BE VACUUMED UP IMMEDIATELY. NO CONCRETE WASHOUT SHALL COME IN CONTACT WITH THE GROUND AND MUST BE PROPERLY DISPOSED OF.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MAY BE ADDED DURING ANY PHASE OF CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- CONTRACTOR MUST SUBMIT A DEWATERING PLAN TO THE ENGINEER FOR APPROVAL 10 DAYS PRIOR TO ANY DEWATERING ON SITE. THE PLAN MUST INCLUDE A DEWATERING SYSTEM PRIOR TO DISCHARGING INTO RECEIVING WATER. THE DEWATERING PLAN MUST ENSURE THAT THE DISCHARGE WATER IS FREE OF SEDIMENT AND TURBID WATER IN ACCORDANCE WITH THE PROJECT SPEC. THE DEWATERING PLAN MUST ALSO INCLUDE A COMPONENT FOR ONSITE TESTING AND MONITORING OF TURBIDITY AND PH.
- RAPID STABILIZATION #4 WITH CATEGORY 3N BLANKET ON SIDE SLOPES 3:1 OR STEEPER.
- TEMPORARY OR PERMANENT STABILIZATION AND DOWN GRADIENT PERIMETER SEDIMENT CONTROL IS NEEDED ON ROW, CURB, AND GUTTER LINE.

RIVER TOWN VILLAS OF HANOVER
11218 CHURCH STREET NE
HANOVER, MN 55341

WITS REALTY
1010 W. LAKE STREET
SUITE 200
MINNEAPOLIS, MN 55408

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksin.com

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04/26/19	CITY COMMENTS

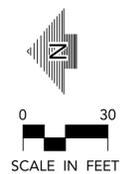
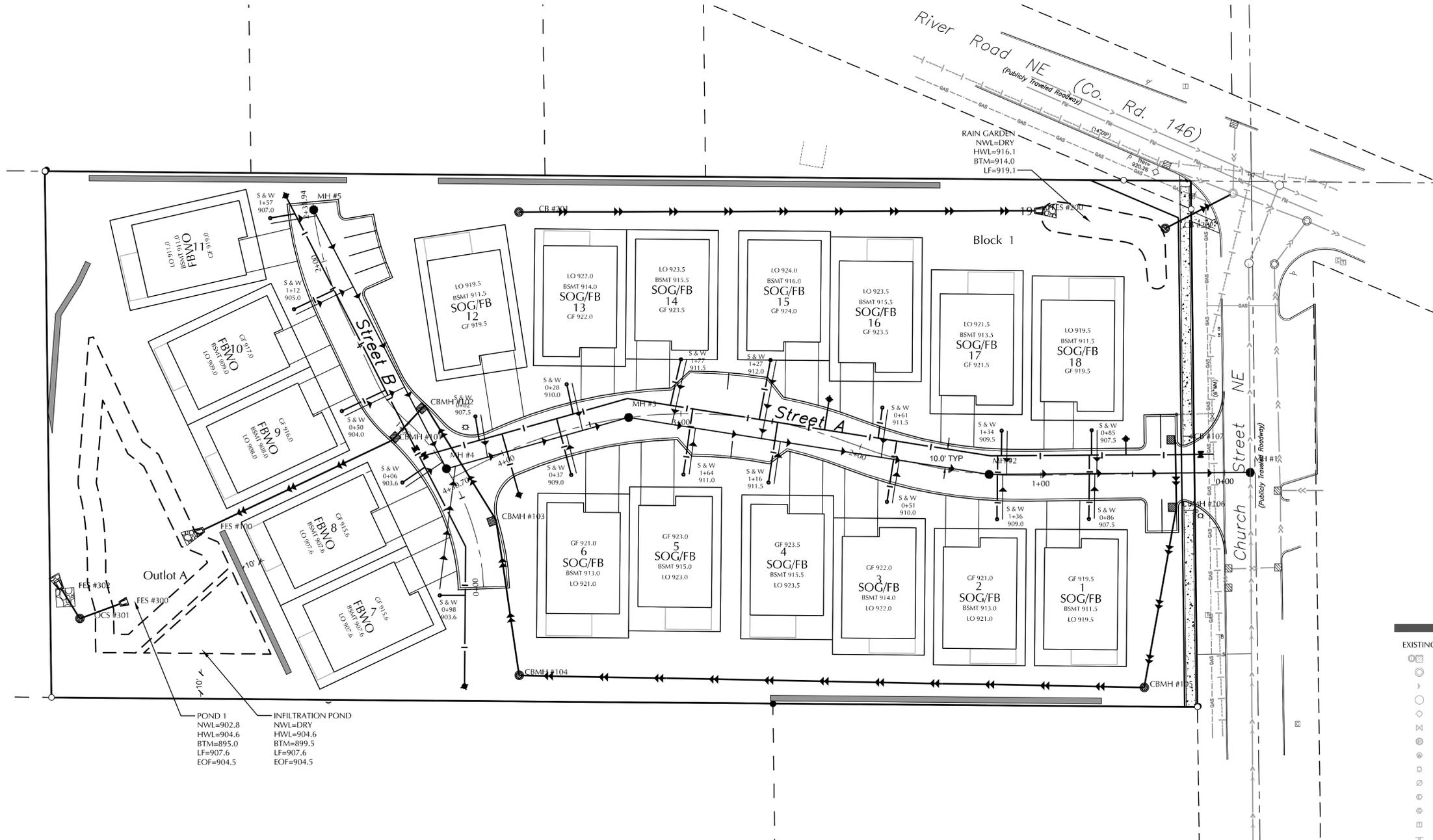
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PRELIMINARY
Todd W. McLouth - PE 20383
Date

QUALITY CONTROL
Loucks Project No. 03128A
Project Lead TWM
Drawn By KMM
Checked By TWM
Review Date 04/26/19

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C5-1 - C5-4	ST & STM SEWER PLAN
C8-1 - C8-6	CIVIL DETAILS

SWPPP NOTES
C3-3



POND 1
NWL=902.8
HWL=904.6
BTM=895.0
LF=907.6
EOF=904.5

INFILTRATION POND
NWL=DRY
HWL=904.6
BTM=899.5
LF=907.6
EOF=904.5

UTILITY NOTES

PROPOSED PIPE MATERIALS:
 WATERMAIN PVC C900 6" TO 8" DIAMETER
 SANITARY SEWER PVC SDR 35 & SCH 40 6" TO 8" DIAMETER
 STORM SEWER DUAL WALL HDPE 12" TO 15" DIAMETER
 RCP, CLASS 5 12" TO 18" DIAMETER

PROJECT BENCHMARK

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT INTERSECTION OF CHURCH ST NE & RIVER ROAD NE. ELEVATION = 920.32 FEET (NGVD/29)



WARNING:

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LEGEND	
EXISTING	PROPOSED
	CATCH BASIN
	STORM MANHOLE
	FLARED END SECTION
	SANITARY MANHOLE
	HYDRANT
	GATE VALVE
	POST INDICATOR VALVE
	WATER MANHOLE/WELL
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	GAS METER
	TELEPHONE PEDESTAL
	SIGN
	BENCHMARK
	SOIL BORING
	PARKING STALL COUNT
	ACCESSIBLE PARKING STALL
	STORM SEWER
	DRAIN TILE
	SANITARY SEWER
	FORCE MAIN
	WATERMAIN
	SANITARY SEWER SERVICE
	WATER SERVICE
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND GAS
	UNDERGROUND TELEPHONE
	OVERHEAD UTILITY
	FENCE
	CHAIN LINK FENCE
	CONCRETE CURB
	RETAINING WALL
	CONCRETE
	NO PARKING
	BUILDING
	CONTOUR
	SPOT ELEVATION
	DIRECTION OF FLOW
	TREE LINE
	PARKING SETBACK LINE
	BUILDING SETBACK LINE

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04/26/19	CITY COMMENTS

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Date

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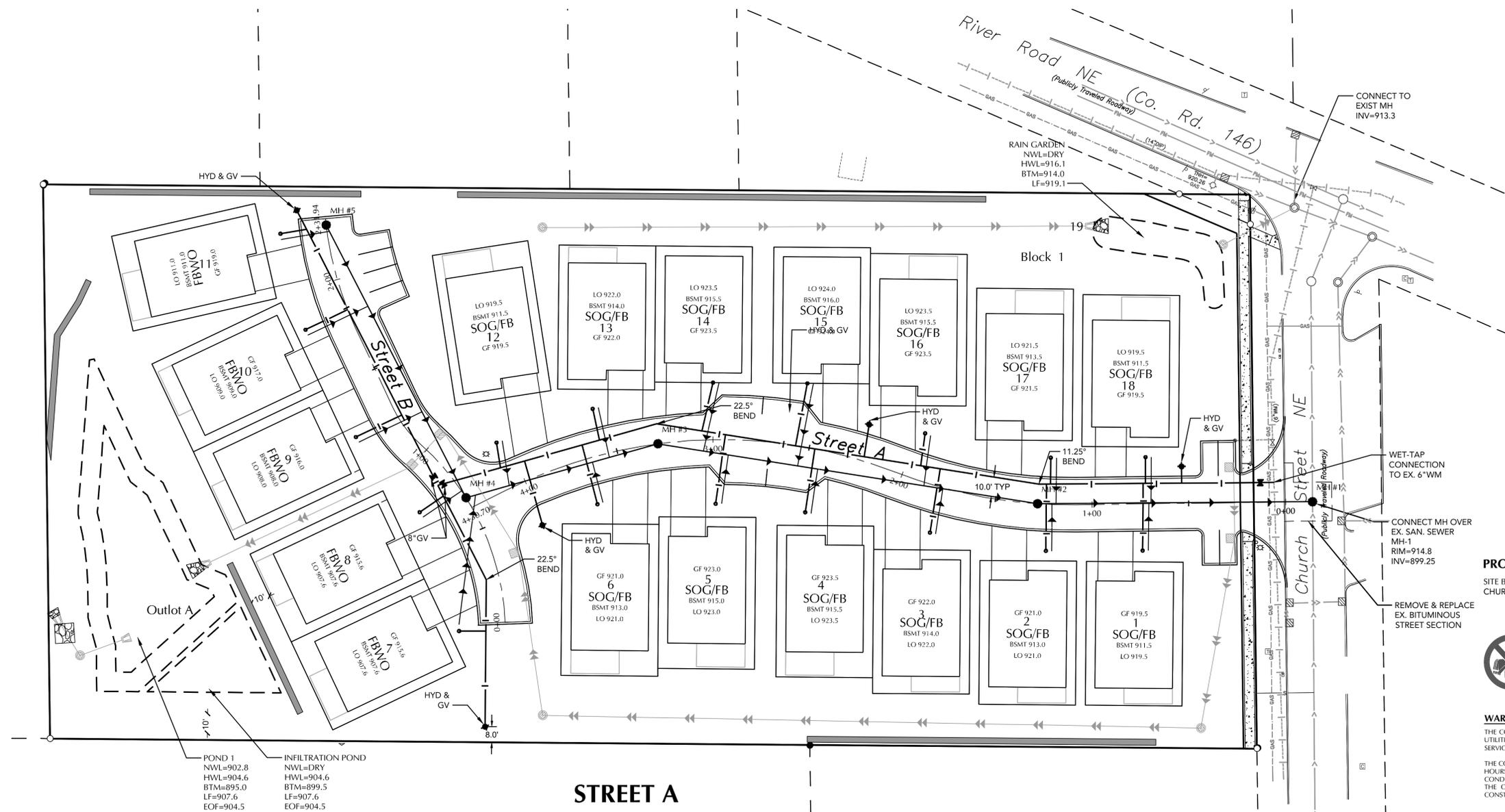
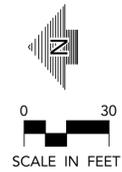
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Project Lead	TWM
Drawn By	KMM
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UTILITY PLAN

C4-1



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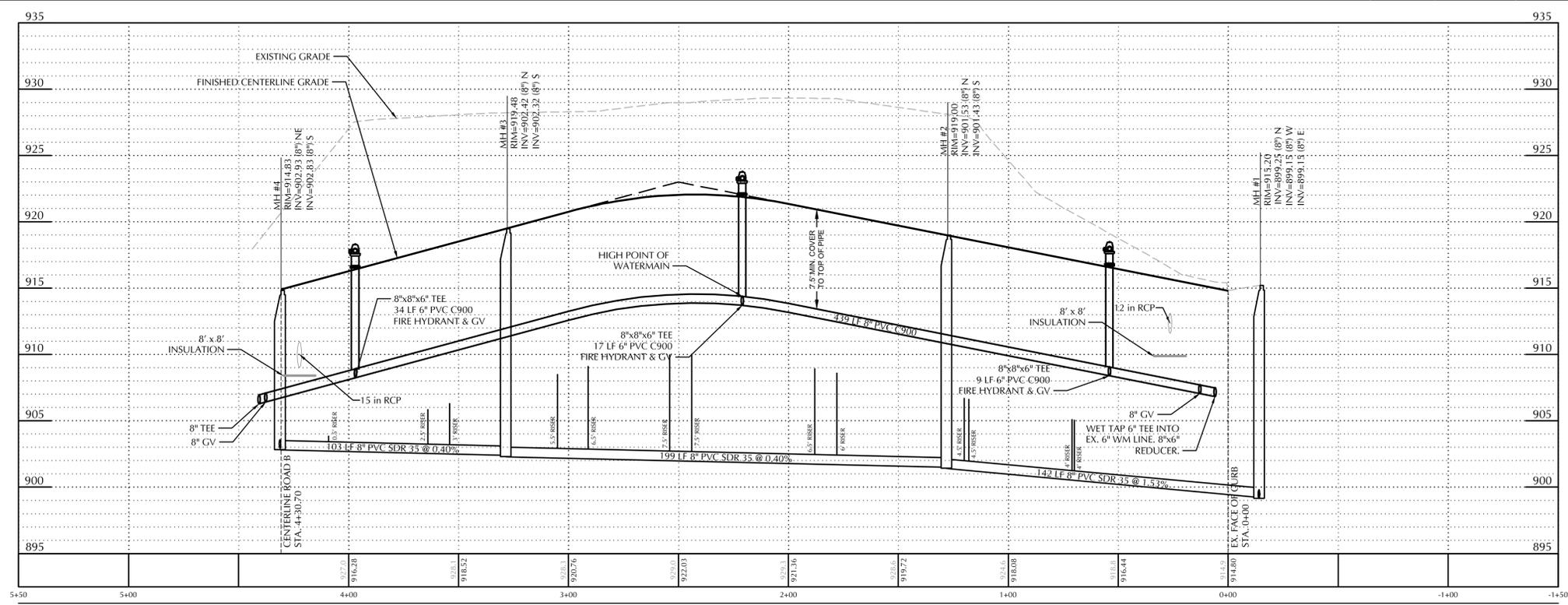
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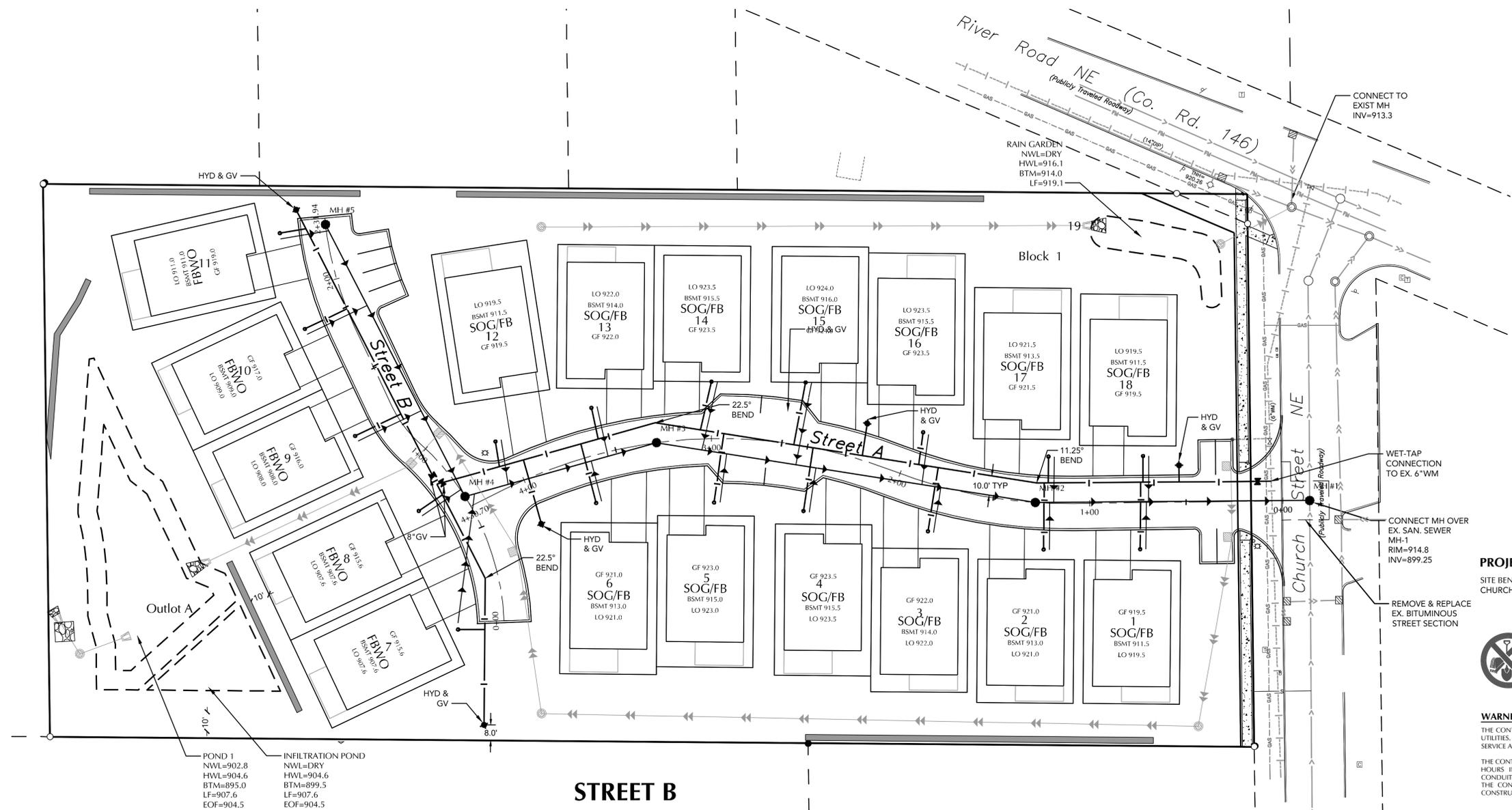
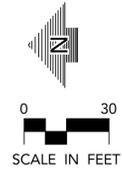
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**SANITARY
SEWER &
WATERMAIN
PLAN & PROFILE**

C4-2





PROJECT BENCHMARK

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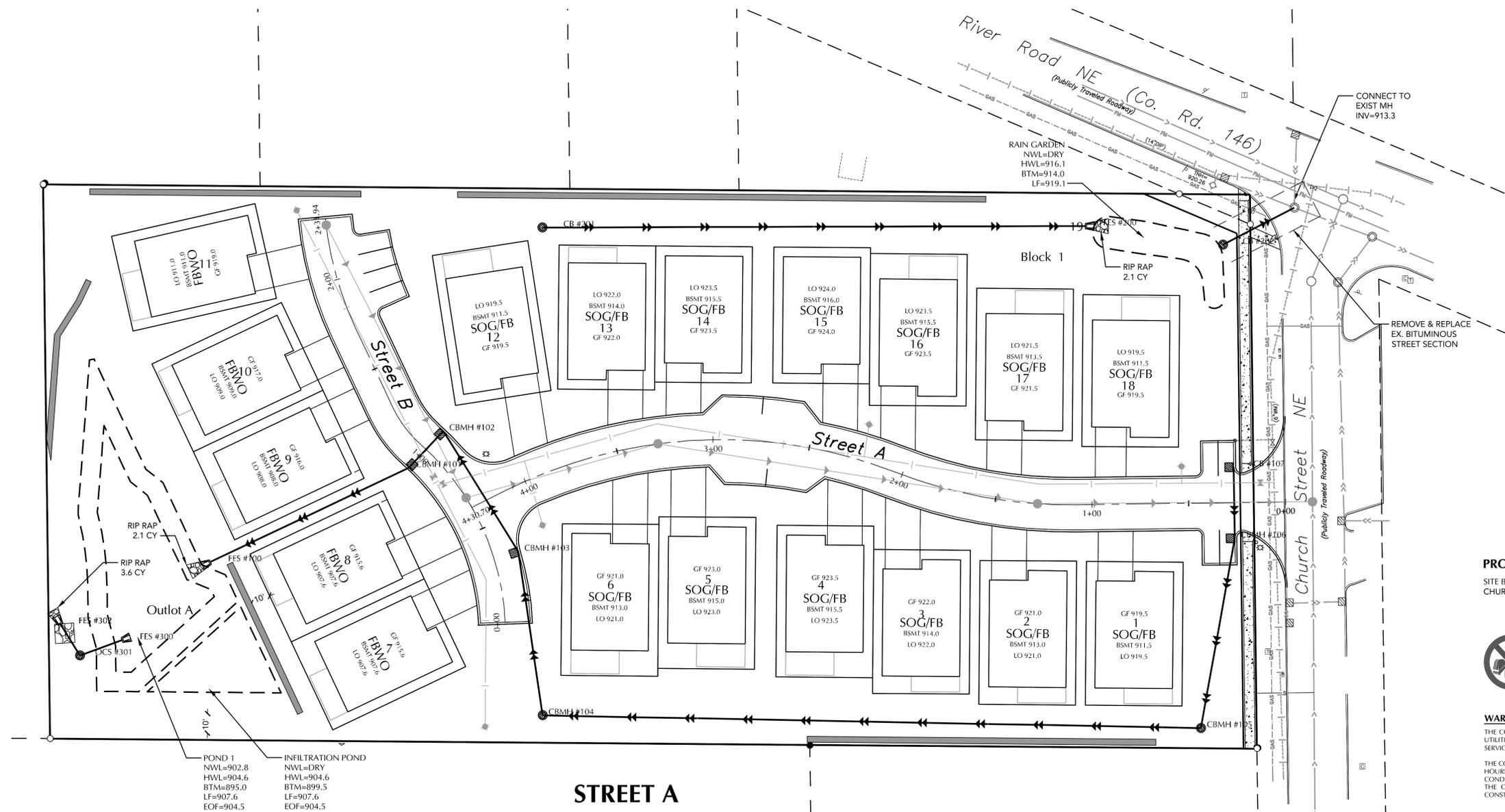
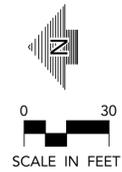
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SEWER &
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C4-3



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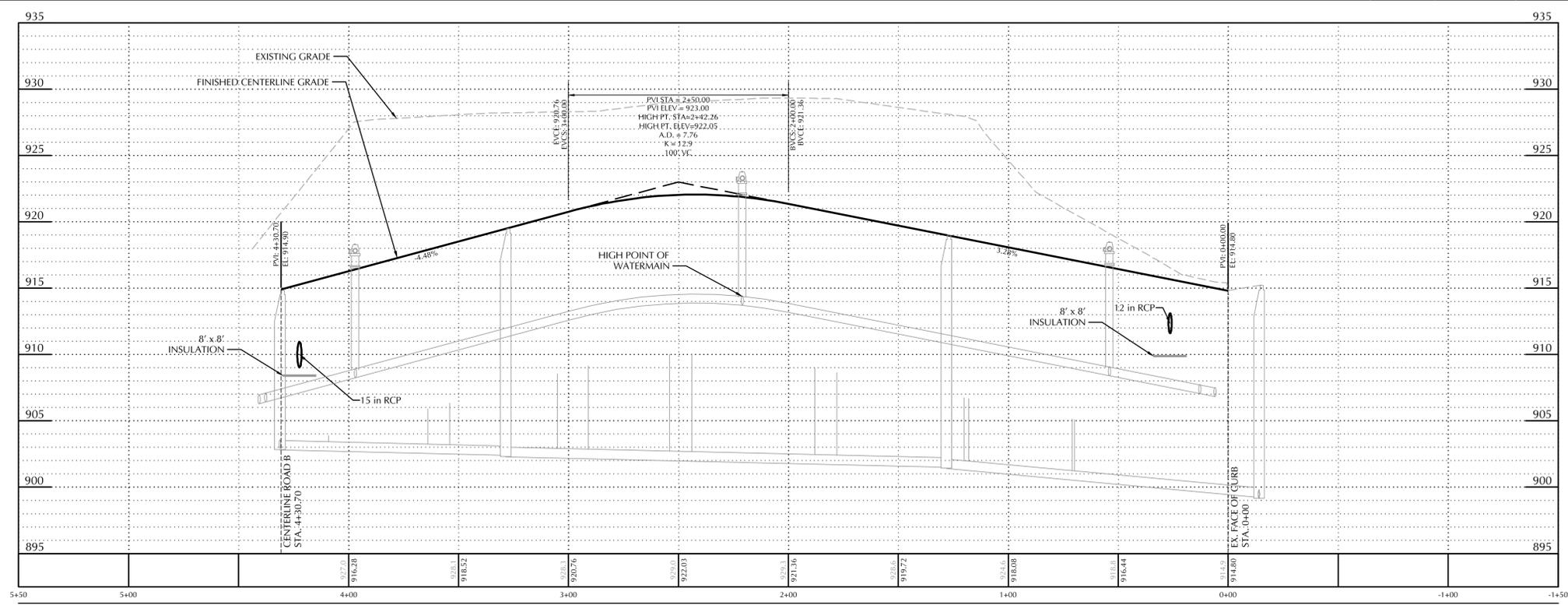
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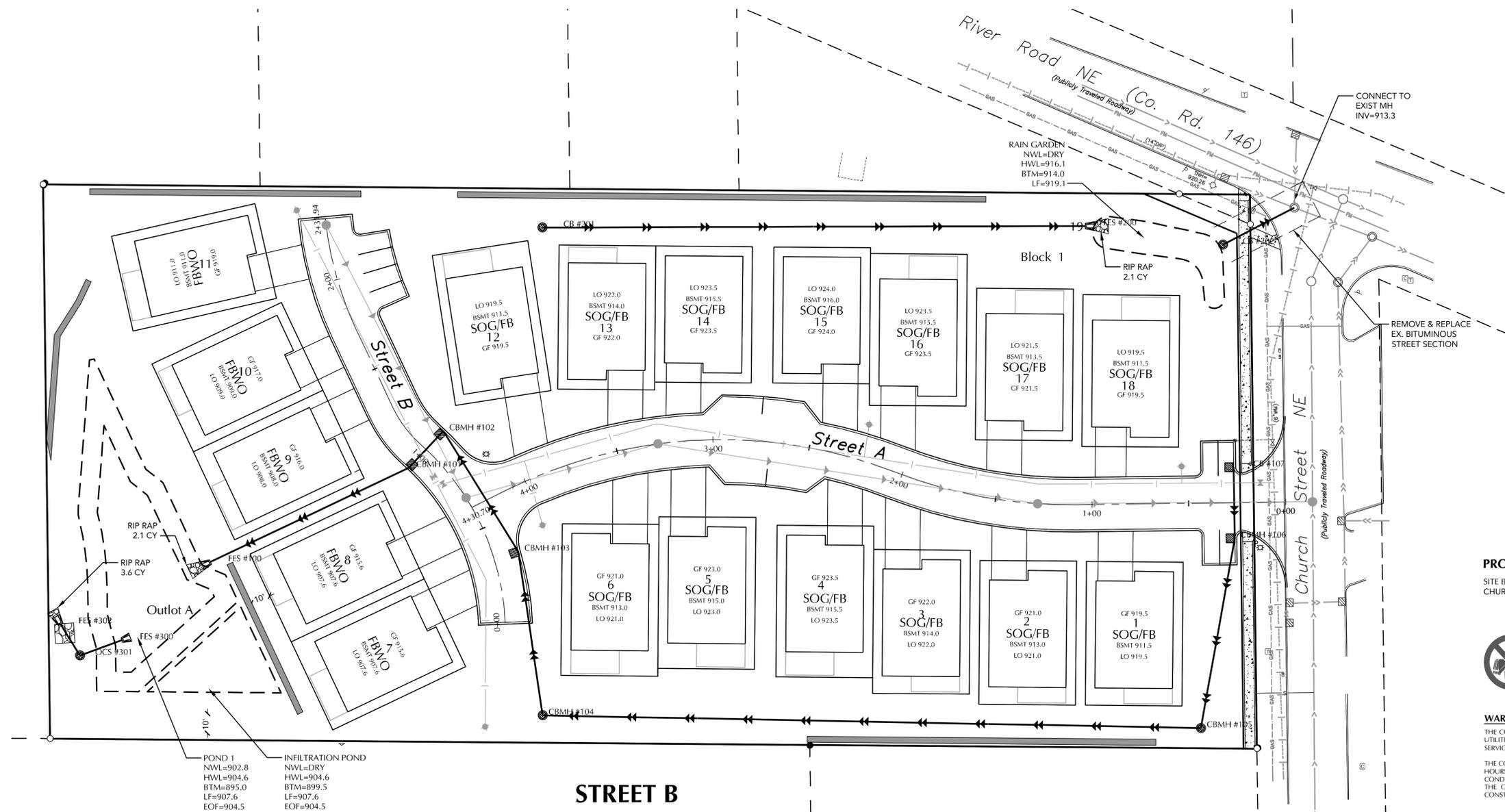
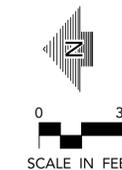
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STREET & STORM SEWER PLAN & PROFILE

C5-1



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License No. 20383
Date

QUALITY CONTROL

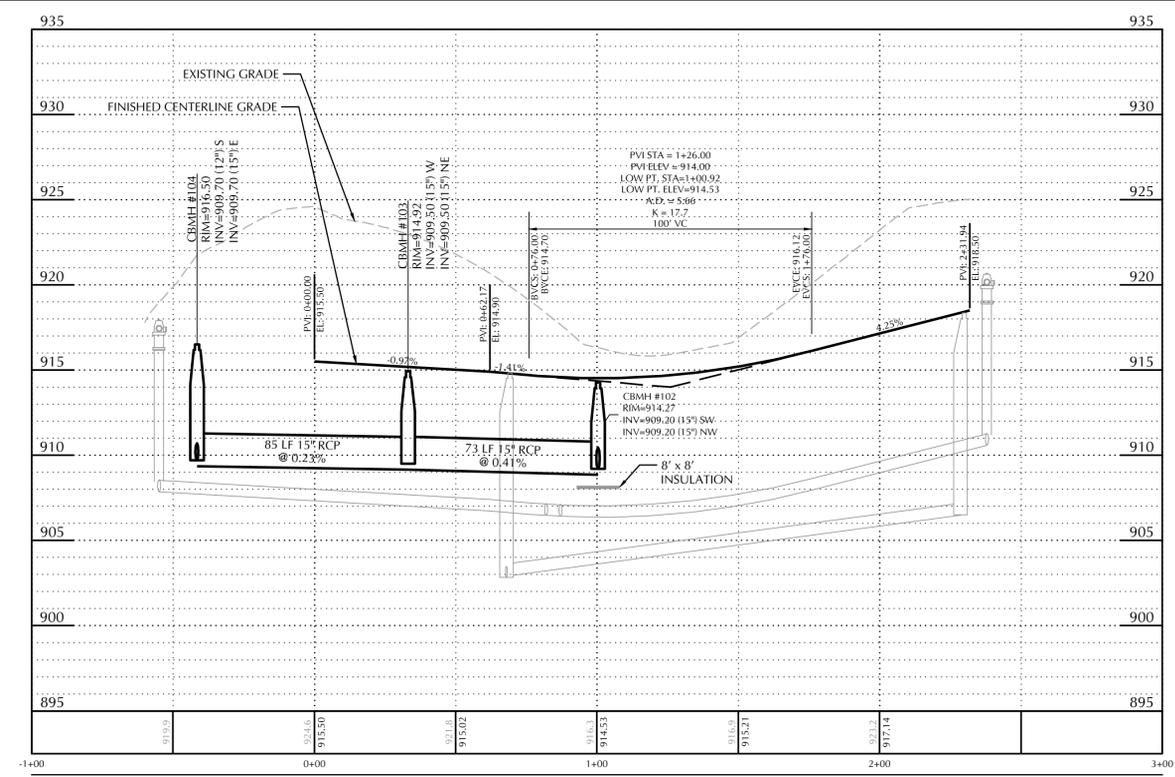
Loucks Project No. 03128A
Project Lead TWM
Drawn By KMM
Checked By TWM
Review Date 04/26/19

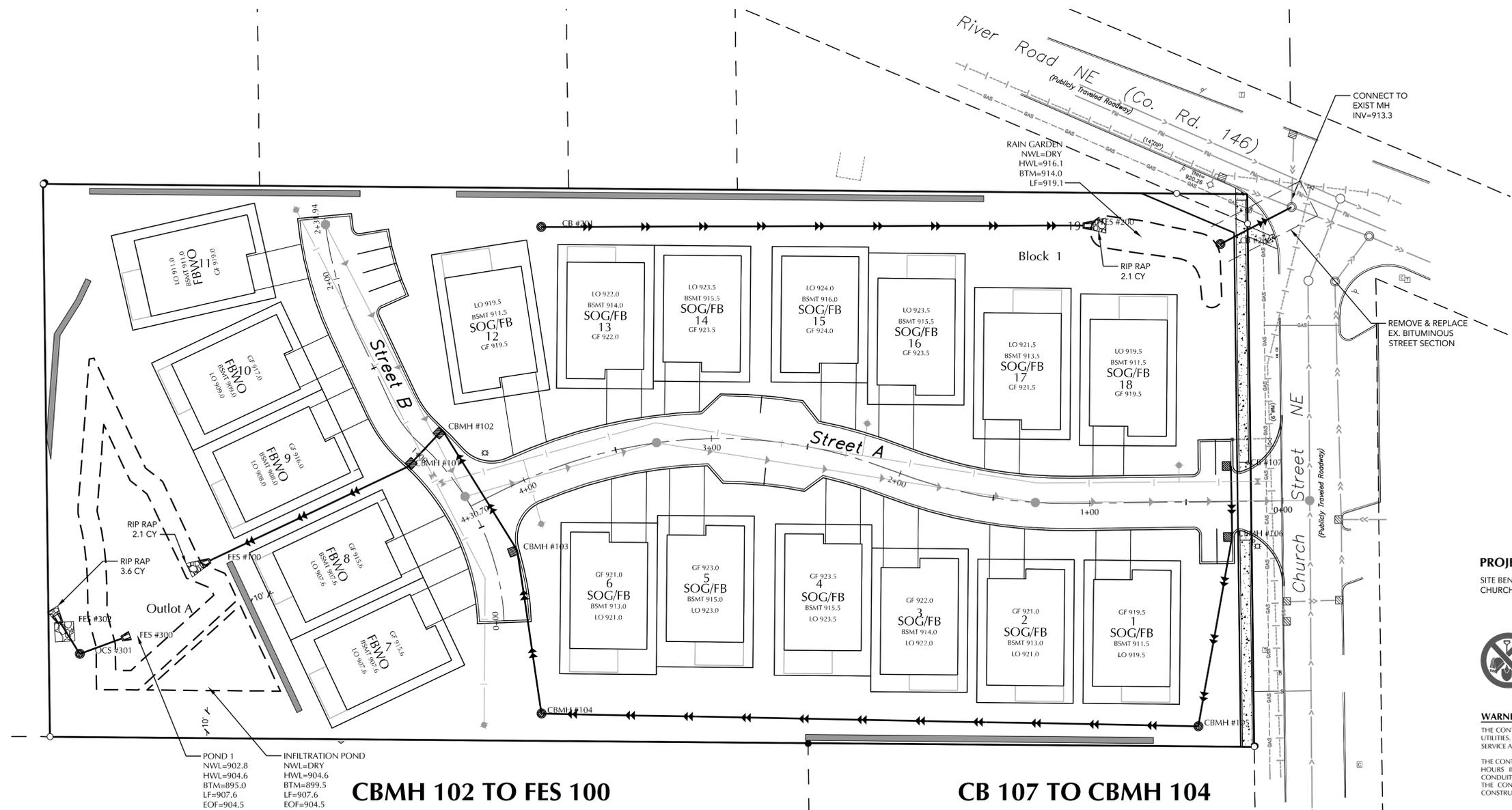
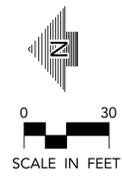
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C3-2 - C3-3	SWPPP PLAN & NOTES
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C4-2 - C4-3	SAN SEWER & WM PLAN
C5-1 - C5-4	ST & STM SEWER PLAN
C8-1 - C8-6	CIVIL DETAILS

STREET & STORM SEWER PLAN & PROFILE

C5-2





PROJECT BENCHMARK

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT INTERSECTION OF CHURCH ST NE & RIVER ROAD NE. ELEVATION = 920.32 FEET (NGVD'29)



CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

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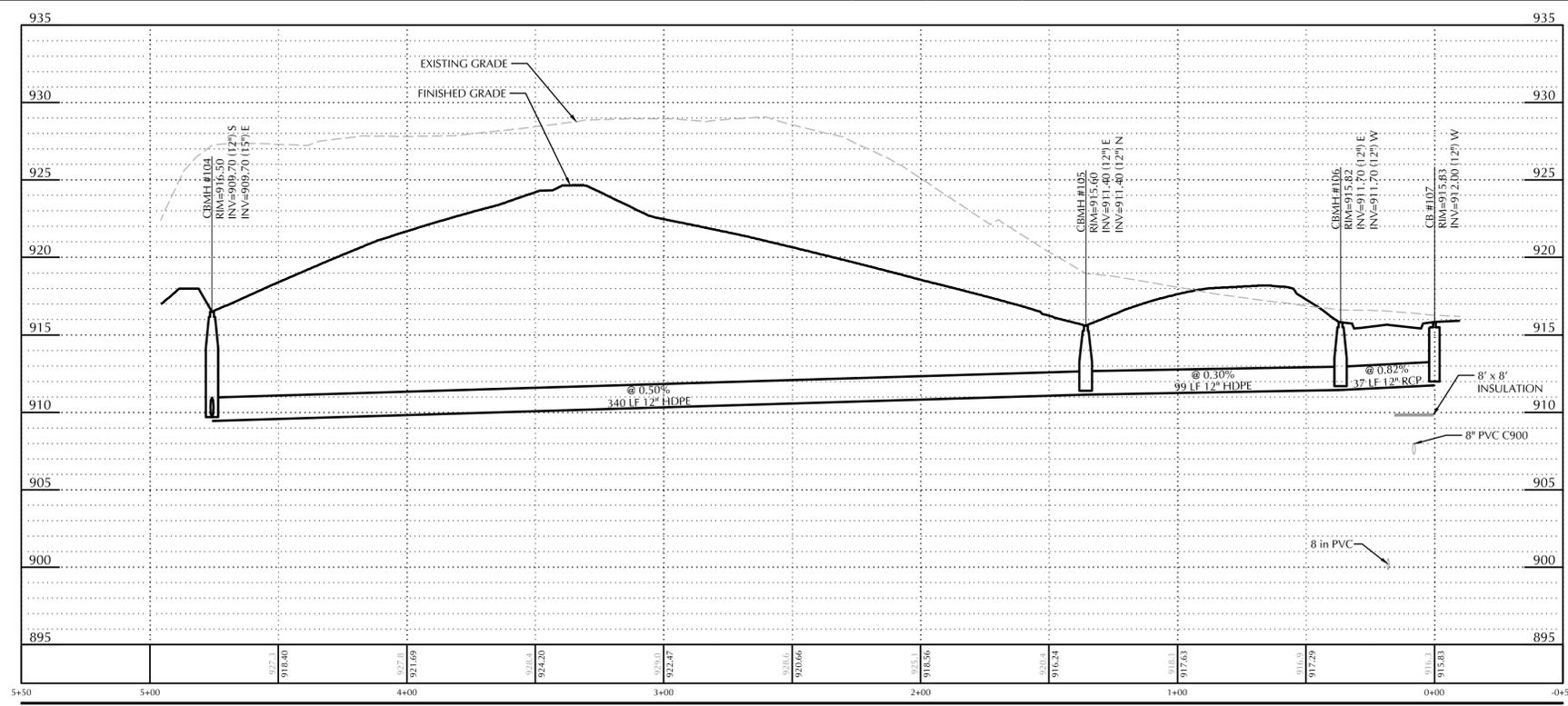
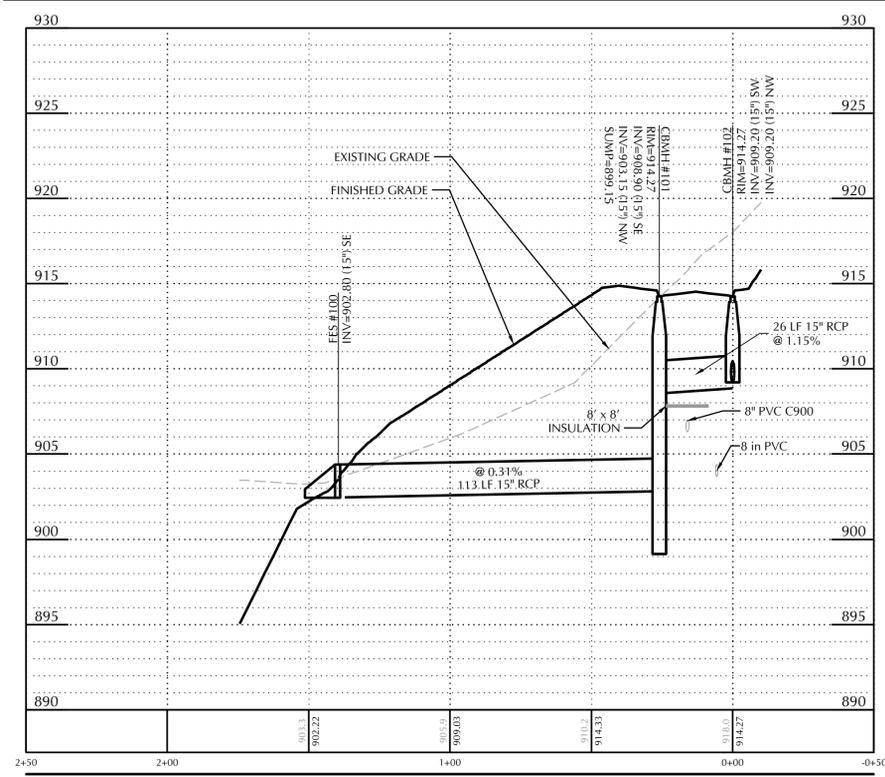
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02/22/19	PRELIMINARY SUBMITTAL
04/12/19	LOT REVISIONS
04/26/19	CITY COMMENTS

CBMH 102 TO FES 100

CB 107 TO CBMH 104



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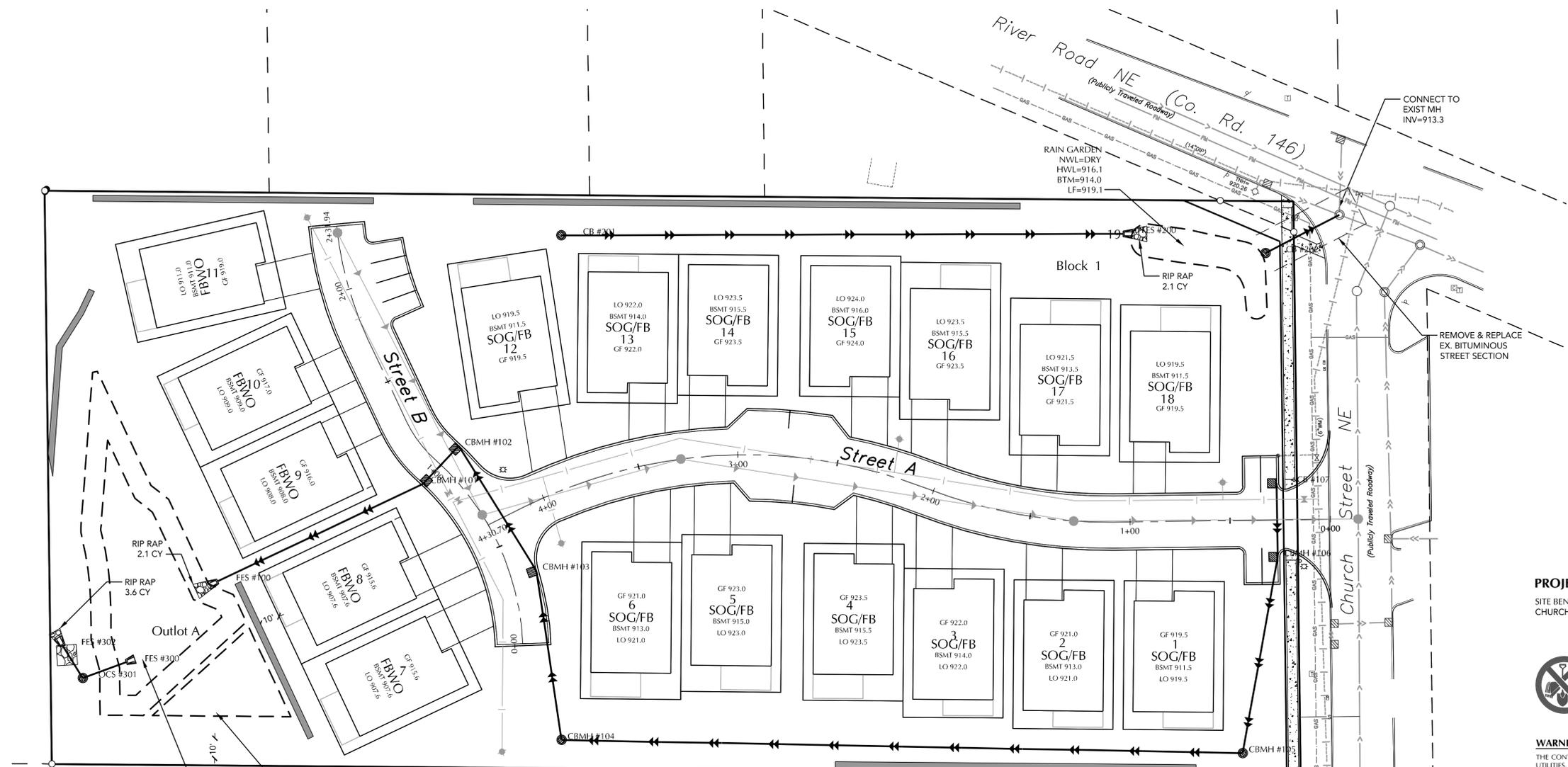
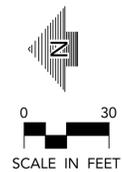
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**STORM SEWER
PLAN & PROFILE**

C5-3



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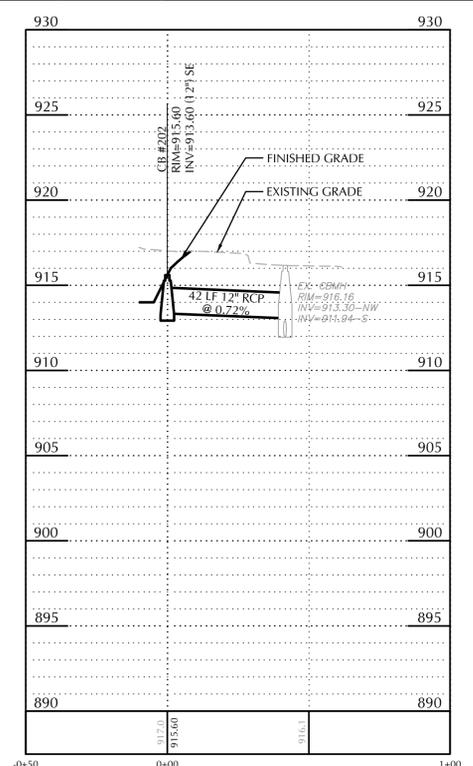
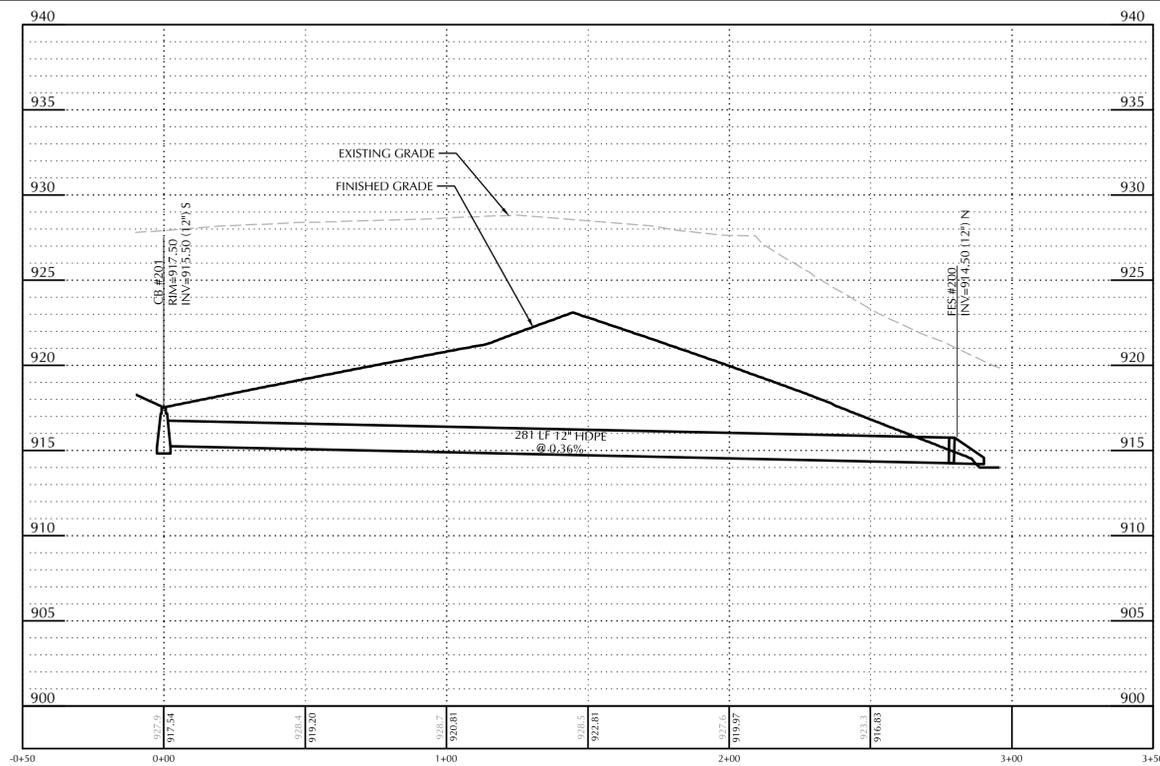
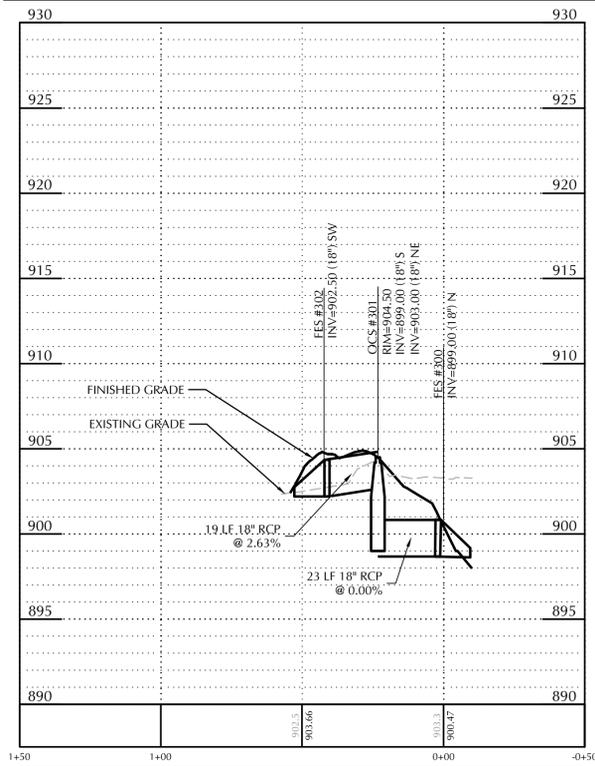
**FES 300 TO
FES 302**

POND 1
NWL=902.8
HWL=904.6
BTM=895.0
EOF=904.5

INFILTRATION POND
NWL=DRY
HWL=904.6
BTM=899.5
LF=907.6
EOF=904.5

CB 201 TO FES 200

**CB 202 TO
EX. CBMH**



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PRELIMINARY
Todd W. McLaugh - PE

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QUALITY CONTROL

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Project Lead TWM
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Checked By TWM
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- C8-1 - C8-6 CIVIL DETAILS

**STORM SEWER
PLAN & PROFILE**

C5-4

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Title: Standard Manhole for Sanitary Sewer

Date: 01-16 Plate No. SAN - 01
Revised:

Title: PVC Pipe Bedding Detail

Date: 01-16 Plate No. SAN - 06
Revised:

Title: Sanitary Sewer Junction Manhole

Date: 01-16 Plate No. SAN - 07
Revised:

Title: Sewer Service Connections

Date: 01-16 Plate No. SAN - 10
Revised:

Title: Service Riser

Date: 01-16 Plate No. SAN - 11
Revised:

Title: Hydrant Detail

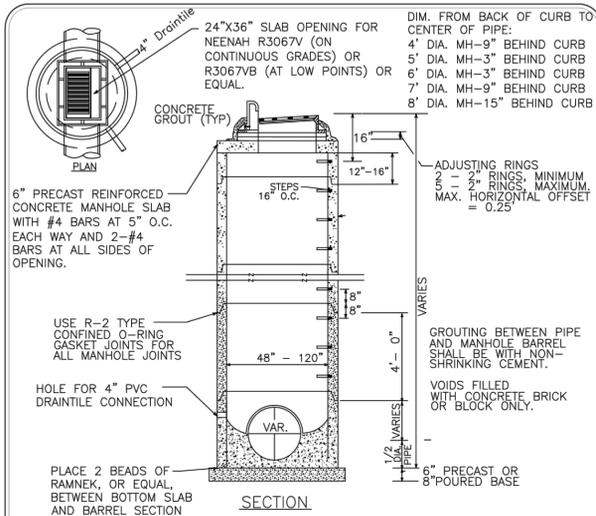
Date: 01-16 Plate No. WAT - 01
Revised:

Title: Gate Valve and Box Installation

Date: 01-16 Plate No. WAT - 02
Revised:

Title: Watermain Wet Tap

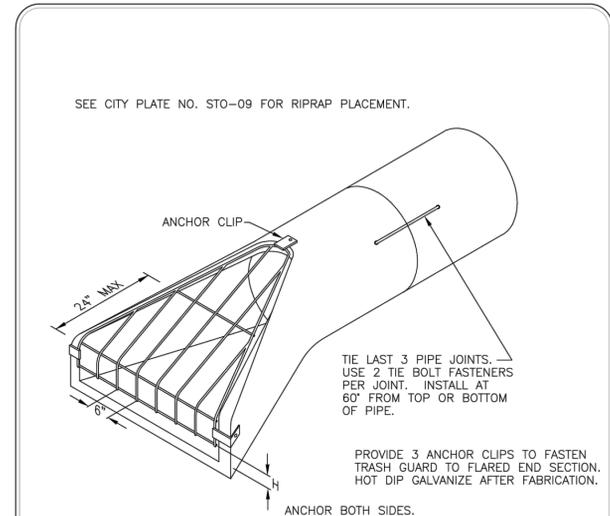
Date: 01-16 Plate No. WAT - 03
Revised:



NOTES:
 1. MANHOLE STEPS SHALL BE CAST ALUMINUM OR MA INDUSTRY WITH VINYL COATING OR APPROVED EQUIVALENT AND SHALL BE LOCATED ON THE DOWN STREAM SIDE OF THE MANHOLE
 2. STEPS SHALL BE PLACED SO THAT THE OFFSET VERTICAL PORTION OF THE CONE IS FACING DOWN STREAM
 3. MANHOLE COVER SHALL BE CAST WITH THE WORDS "STORM SEWER"
 4. THE INITIAL AND FINAL RAISING OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT
 5. MAXIMUM DEPTH FROM TOP OF CASTINGS TO FIRST STEP SHALL NOT BE MORE THAN 16"
 6. STEPS SHALL ALIGN WITH THE OPENING TO PROVIDE ACCESS TO THE MANHOLE
 7. TOP BARREL SECTION BELOW TOP SLAB TO HAVE FLAT TOP EDGE SEALED WITH 2 BEADS OF RAMNEK OR EQUAL.

Title: Catch Basin Manhole Type II
Date: 01-16 **Plate No.:** STO - 10
Revised: **STO - 10**

Standard Plate Library
 City of Hanover

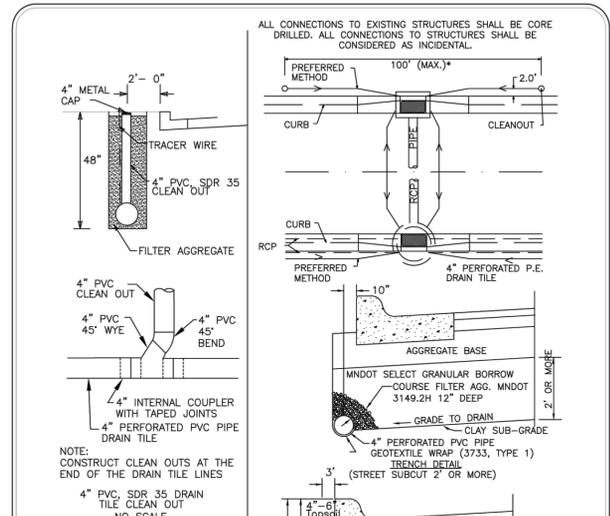


SEE CITY PLATE NO. STO-09 FOR RIPRAP PLACEMENT.

PROVIDE 3 ANCHOR CLIPS TO FASTEN TRASH GUARD TO FLARED END SECTION. HOT DIP GALVANIZE AFTER FABRICATION. ANCHOR BOTH SIDES.

Title: Flared End Section And Trash Guard
Date: 01-16 **Plate No.:** STO - 14
Revised: **STO - 14**

Standard Plate Library
 City of Hanover

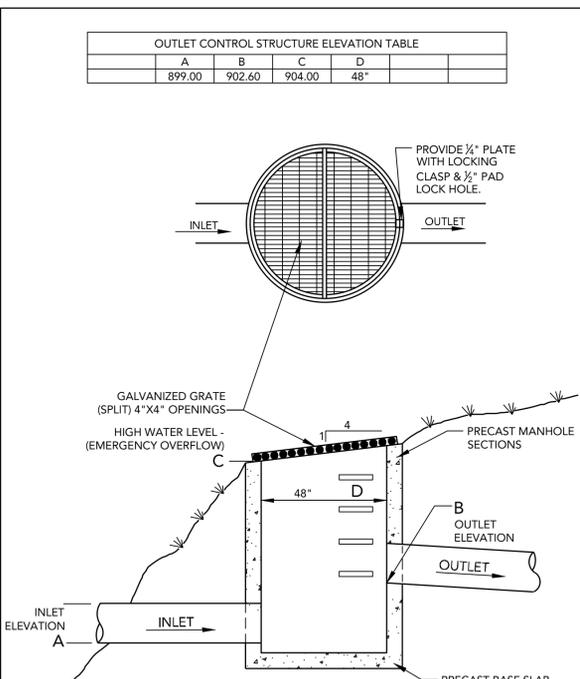


ALL CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE DRILLED. ALL CONNECTIONS TO STRUCTURES SHALL BE CONSIDERED AS INCIDENTAL.

NOTE: PERFORATED PE DRAIN TILE AT LOW POINTS MINIMUM OF 50' EACH DIRECTION AND BOTH SIDES CROSSING BEHIND CURB.

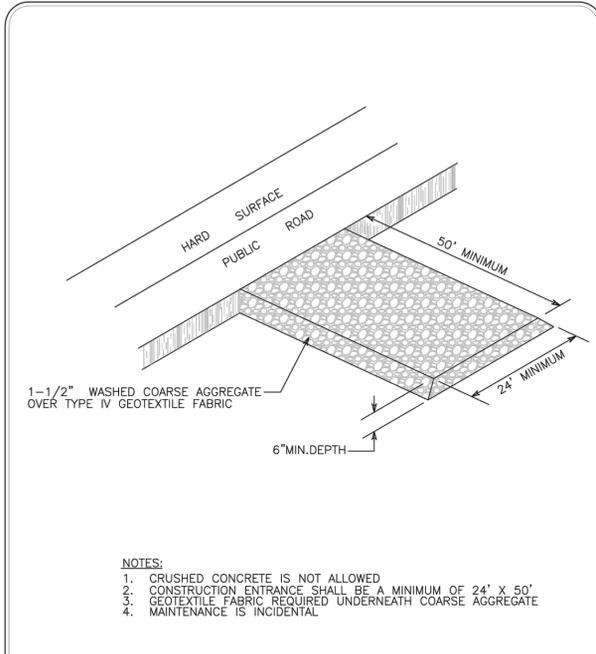
Title: PVC Perforated Pipe Installation
Date: 01-16 **Plate No.:** STO - 15
Revised: **STO - 15**

Standard Plate Library
 City of Hanover



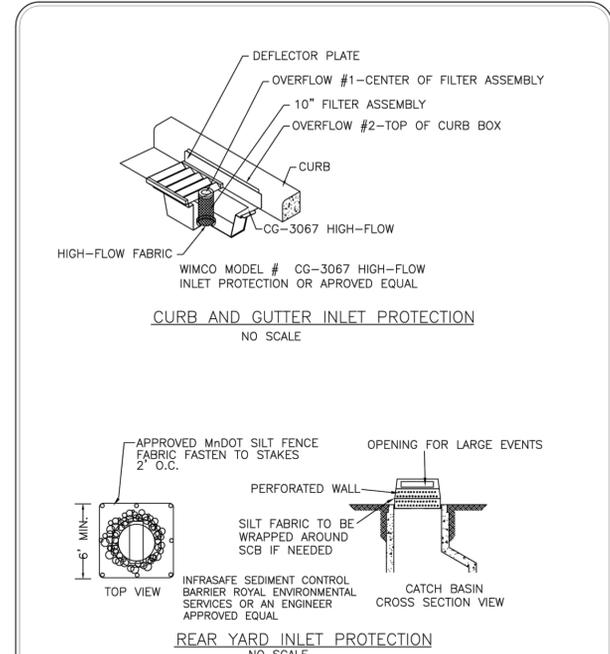
Title: OCS 300
Date: 01-16 **Plate No.:** STO - 15
Revised: **STO - 15**

Standard Plate Library
 City of Hanover



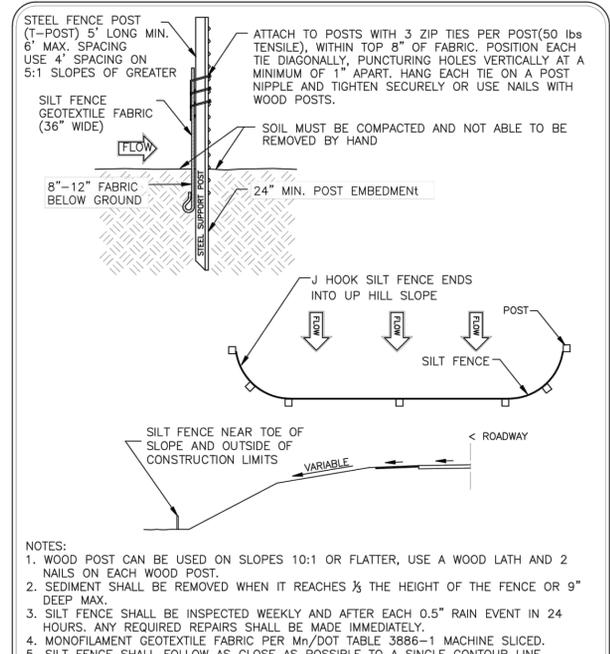
Title: Rock Construction Entrance
Date: 01-16 **Plate No.:** ERO - 01
Revised: **ERO - 01**

Standard Plate Library
 City of Hanover



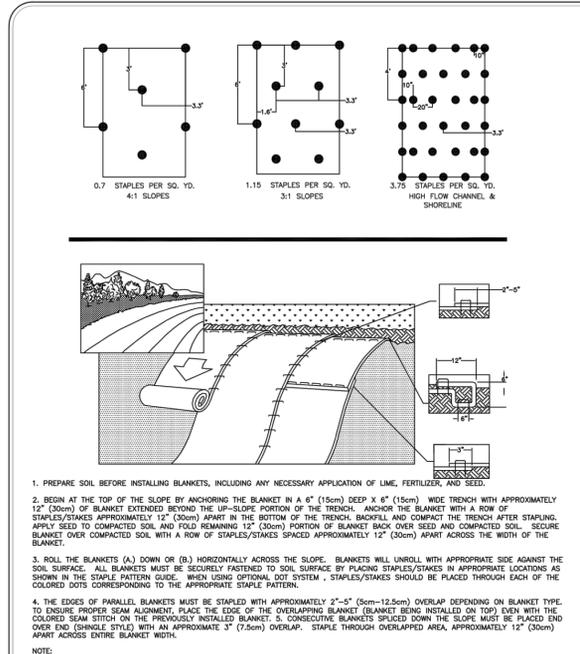
Title: Storm Sewer Inlet Protection
Date: 01-16 **Plate No.:** ERO - 03
Revised: **ERO - 03**

Standard Plate Library
 City of Hanover



Title: Silt Fence
Date: 01-16 **Plate No.:** ERO - 05
Revised: **ERO - 05**

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Title: Erosion Control Blanket Installation
Date: 01-16 **Plate No.:** ERO - 19
Revised: **ERO - 19**

Standard Plate Library
 City of Hanover

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 www.loucksin.com

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DETAILS
C8-3

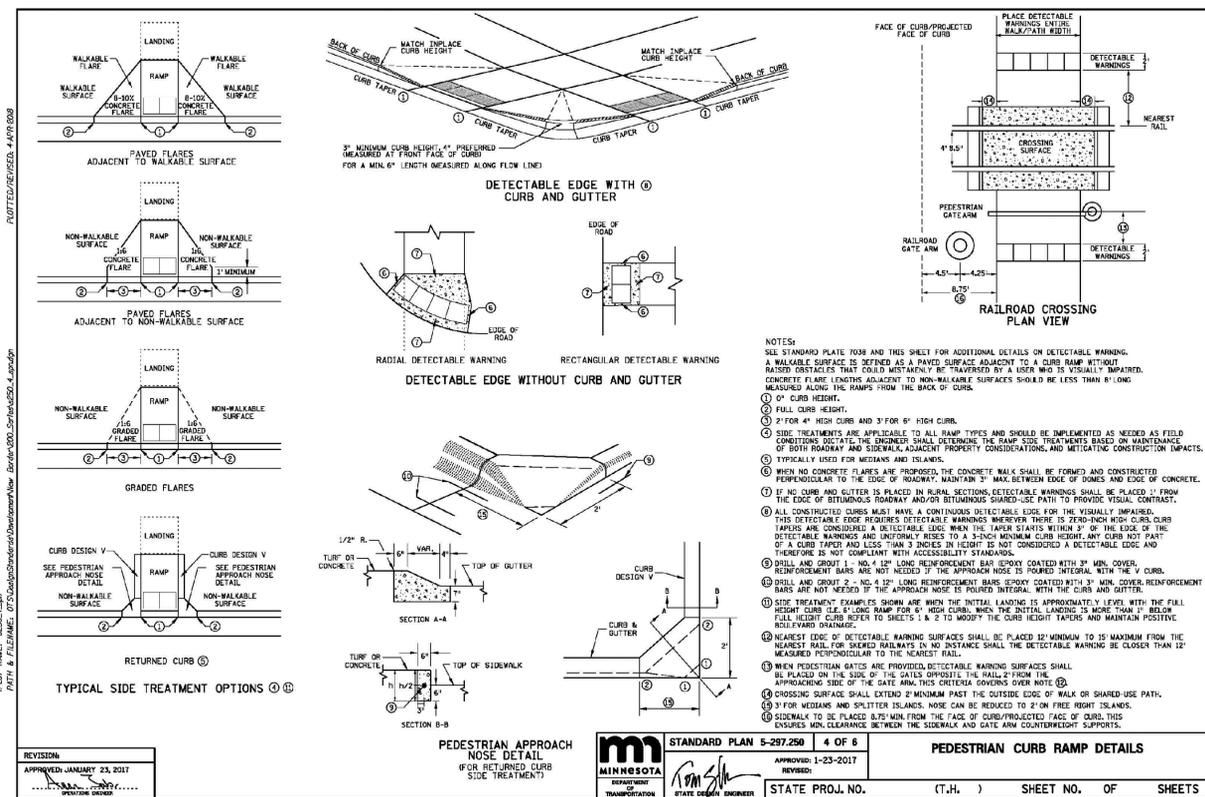
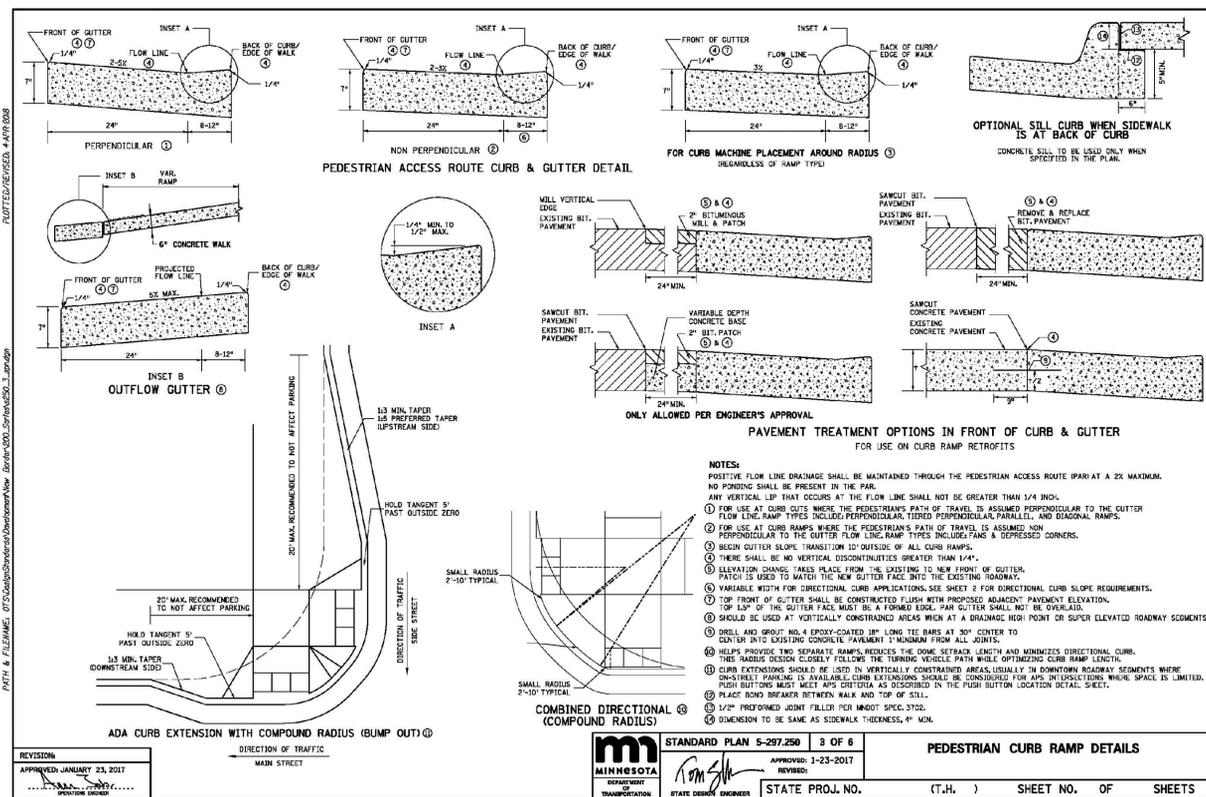
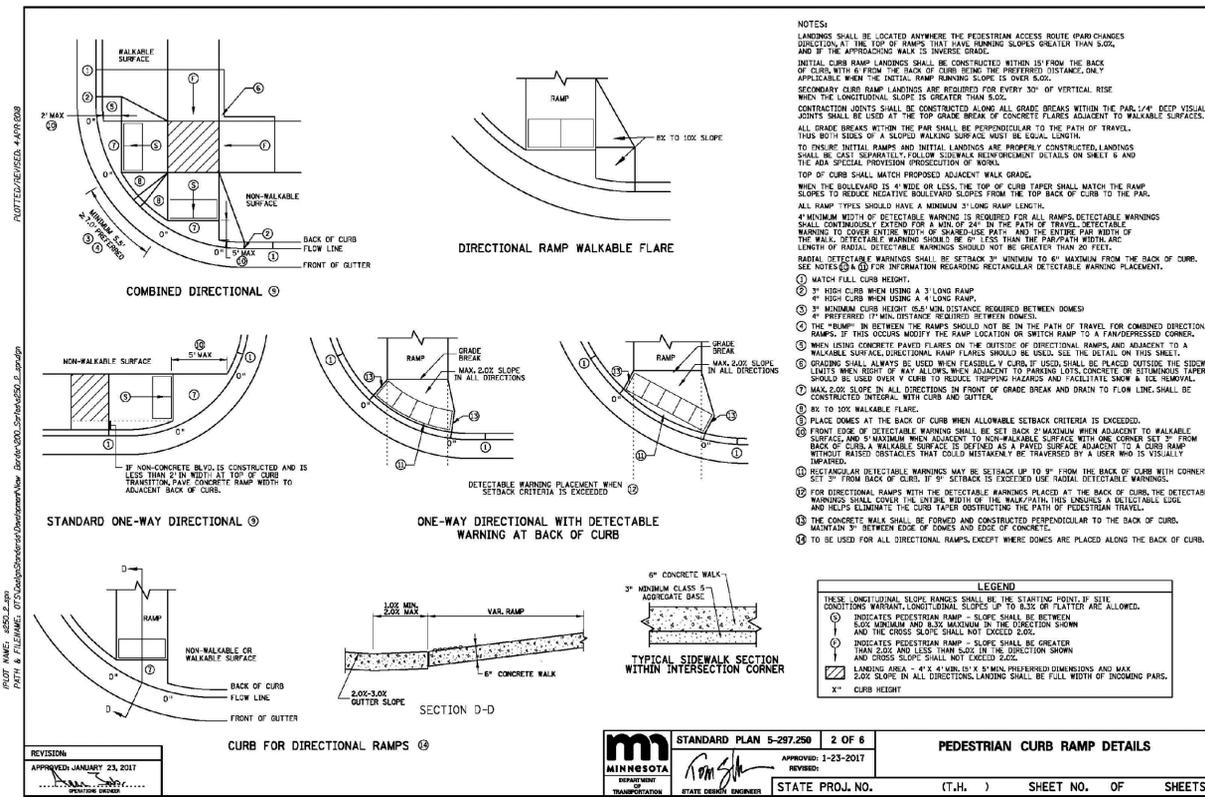
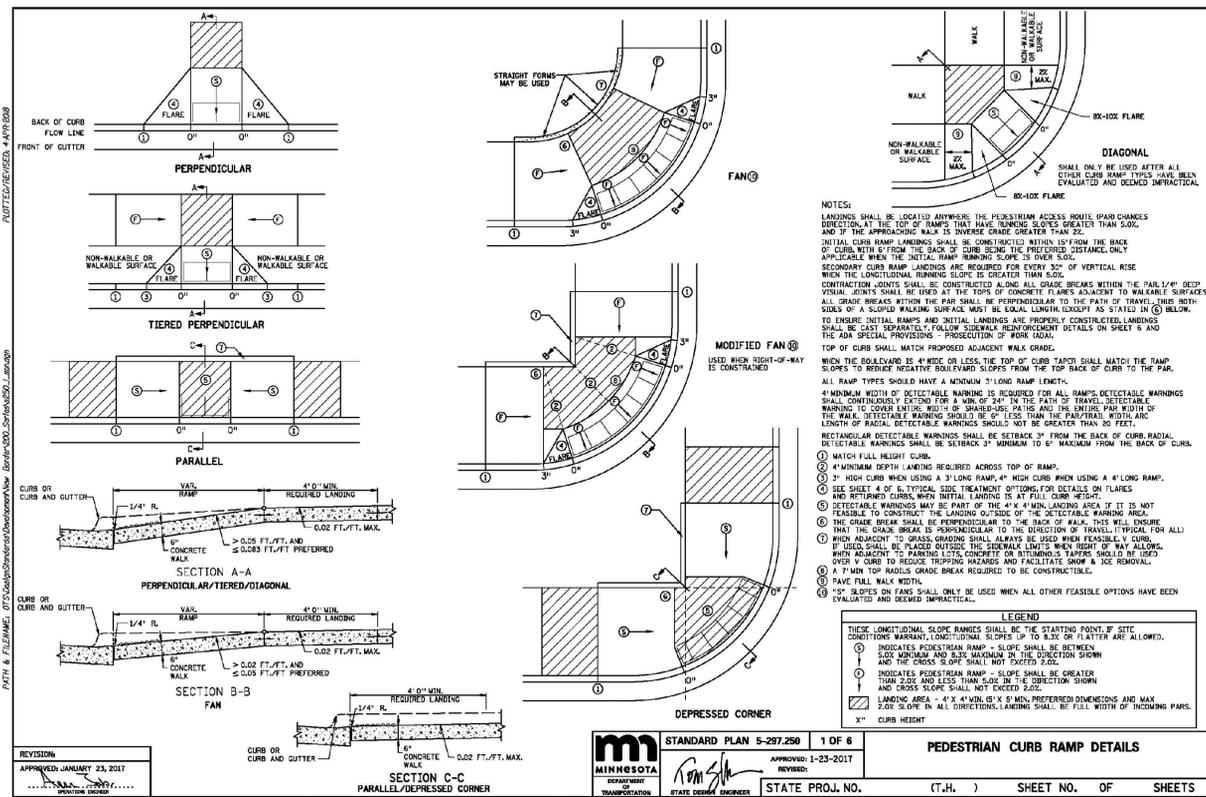
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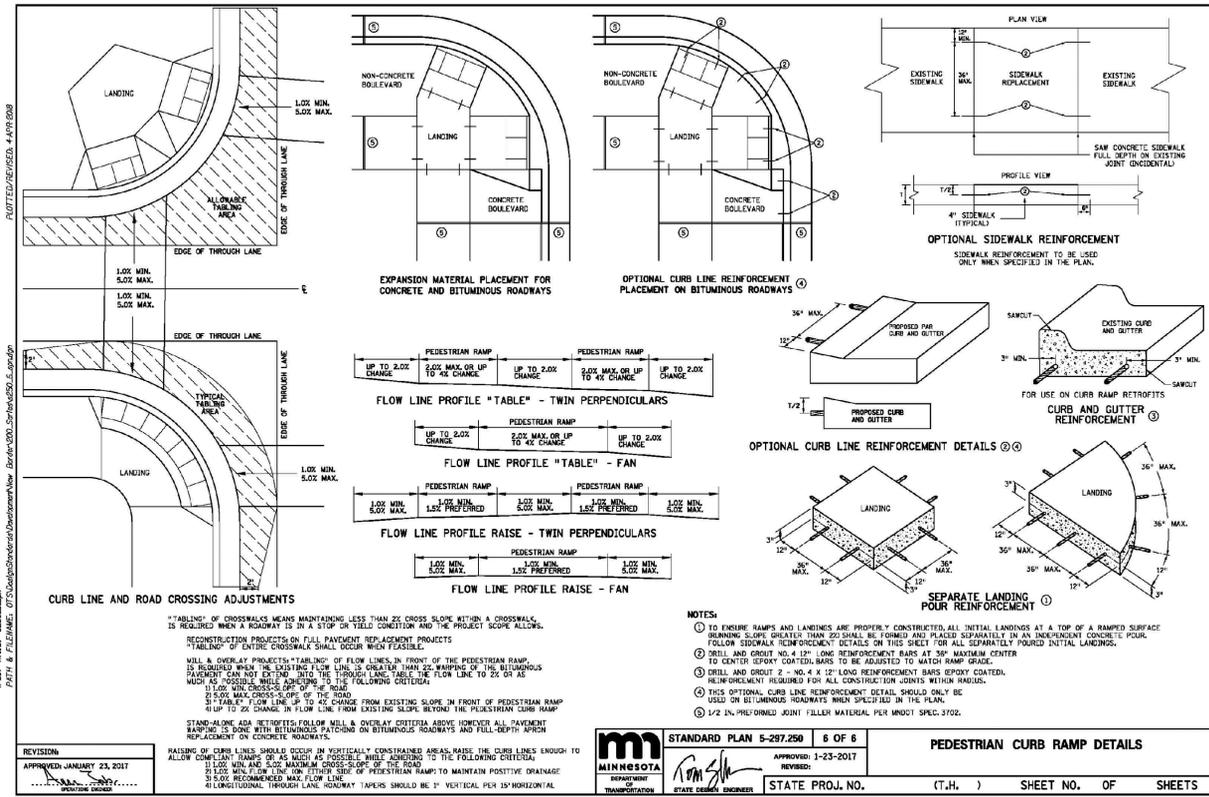
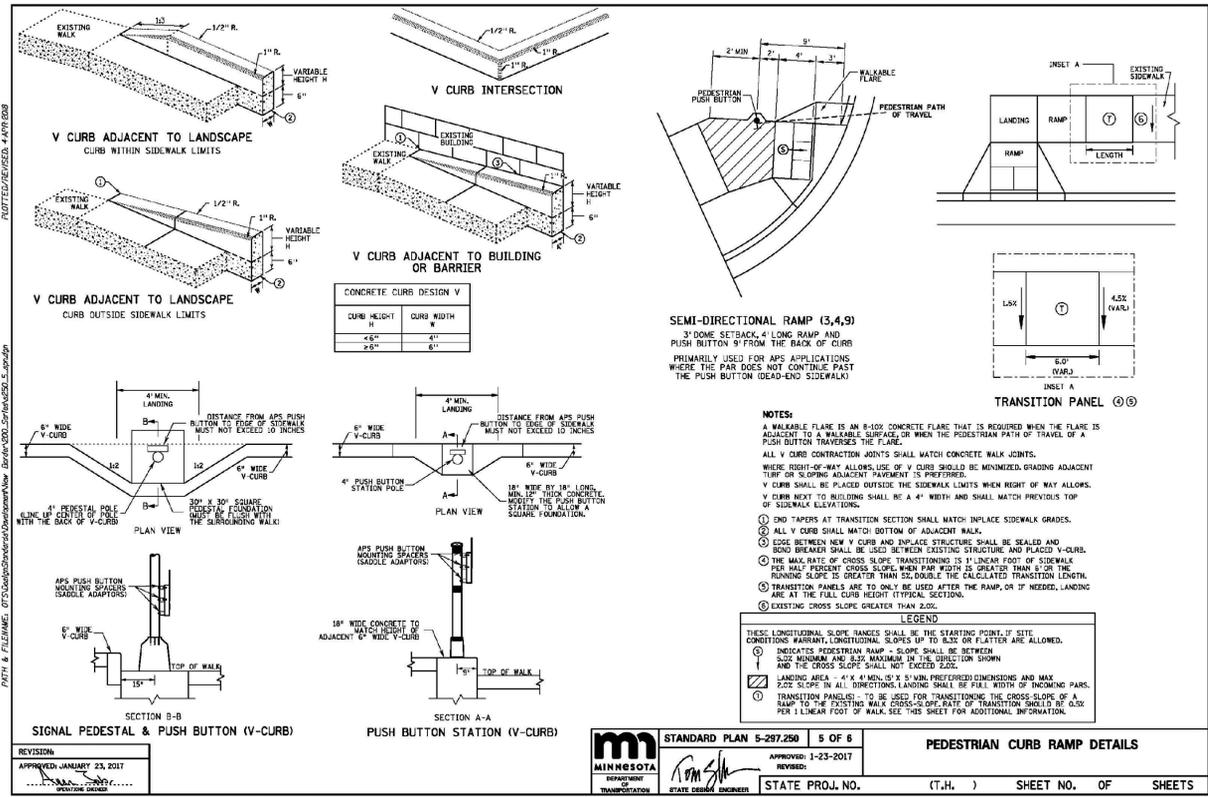
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C8-6