

**CITY OF HANOVER  
PLANNING COMMISSION MEETING  
JUNE 27, 2016**

**CHAIR**  
**STAN KOLASA**

**COUNCIL LIAISON**  
**DOUG HAMMERSENG**

**BOARD MEMBERS**  
**JIM SCHENDEL**  
**MICHAEL CHRISTENSON**  
**MICHELLE ARMSTRONG**  
**DEAN KUITUNEN**

- 1. Call to Order and Pledge of Allegiance: 7:00 p.m.**
- 2. Approval of Agenda**
- 3. Approval of Minutes from May 23, 2016, Joint Meeting of the City Council and Planning Commission Meeting**
- 4. Citizen's Forum**
- 5. Public Hearings**
- 6. Unfinished Business**
  - a. 11103 River Road NE – Amendment to Conditional Use Permit for Outdoor Storage**
  - b. Consideration of Amendments to the Performance Standards for Construction of Single Family Dwellings**
- 7. New Business**
- 8. Reports and Announcements**
  - a. Planning Commission Reports**
  - b. Liaison Report**
  - c. Staff Reports**
- 9. Adjournment**

**CITY OF HANOVER  
JOINT MEETING OF THE  
CITY COUNCIL AND PLANNING COMMISSION  
MAY 23, 2016  
DRAFT MINUTES**

**Call to Order/Pledge of Allegiance**

Stan Kolasa called the May 23, 2016, the Joint Meeting of the City Council and Planning Commission to order at 7:28 pm after the Special Council Meeting. Council members present were Mayor Chris Kauffman, John Vajda, Jim Zajicek, and Doug Hammerseng. Planning Commission members present were Stan Kolasa, Michelle Armstrong, Dean Kuitunen, and Mike Christenson. Also present were City Administrator Brian Hagen, City Planner Cindy Nash, and Administrative Assistant Amy Biren. Also present: Krysta Mitchell, Clark Lee, Cassandra Vajda, and Stephanie Gleason. Absent: Councilor Ken Warpula, Planning Commissioner Jim Schendel, and City Engineer Justin Messner.

**Approval of Agenda**

**MOTION** by Armstrong to approve the agenda as presented, seconded by Kuitunen. **Motion carried unanimously.**

**Approval of Minutes from the March 28, 2016, Regular Meeting**

**MOTION** by Armstrong to approve the March 28, 2016, minutes as presented, seconded by Kuitunen. **Motion carried unanimously.**

**Citizen's Forum**

**Clark Lee, 525 Kadler Avenue:** Expressed his concerns regarding the lack of minimum floor area requirements for new construction of single family dwellings. He had attended the Council Meeting on May 3, 2016, as well. He voiced his concerns about garages increasing in size and overshadowing the actual homes. He thanked the Council for putting into effect a moratorium on building footprints which took place at the prior Special Council Meeting tonight. Lee would like the standards to be reviewed and revert to those prior to the 2013 Re-codification.

**Public Hearing**

None

**Unfinished Business**

Biren informed that the Conditional Use Permit Amendment regarding Rhino Imported Auto Parts has been postponed until the June meeting as the surveyor was unable to survey the property until last week and this delay impacted the site plan drawings. Nash has received official notice asking for an extension.

**New Business**

**Consideration of Amendments to the Performance Standards for Construction of Single Family Dwellings**

Biren presented information on current standards compared to those used prior to 2013 (see attached chart). The major differences were in the area of minimum floor area per house type, materials used, driveways, and garages. Staff answered questions from Council and Planning Commission members to further clarify these comparisons and the history of the 2013 Re-codification.

Krysta Mitchell asked if redlined copies of the changes made during the 2013 Re-codification were kept. Nash explained that since there are so many changes and moving sections around during a process of re-codification, that redlining is difficult and distracting.

Mayor Kauffman stated that the major issue appears to be the right sized homes for Hanover and that the Planning Commission would need to look at the sizes and how standards would be determined.

Vajda asked Armstrong about the size of home from a realtor's point of view. Armstrong replied that she needed more time to compare the past and present standards and fully understand them from a planning perspective.

Christenson inquired about how the terms footprint versus floor area are used and if they mean different things. Nash replied that many cities do not have a specific minimums and that the terms are defined differently. Footprint means the outside dimensions and floor area is calculating the space used, but not that space considered "dead" like walls.

Hammerseng asked Armstrong what terms are used in real estate when listing homes. Armstrong replied that foundation size (footprint) and the finished square footage. She said that footprint is what really matters and gave several examples of new construction homes for sale in Hanover and their foundation sizes (taken from her realty website).

Vajda wanted to know what the process would be for a new development, specifically the undeveloped part of Crow River Heights. Nash said that a new developer would have to start from scratch with a new preliminary plat and go from there. She also explained that a Planned Unit Development (PUD) may vary from standards in place if approved by Council, but that a PUD is not a guarantee and developers do not want to take the risk. Some of the bigger developers wouldn't look at Hanover as a possible place to build because they wouldn't want to deal with restrictions.

The Planning Commission will review the general requirements, the building materials, the garage size, the garage frontage, and the minimum building sizes. Minimum building sizes and garages will be discussed at the June meeting.

#### **MOTION:**

Vajda moved to close the Council portion of the Joint Meeting, seconded by Zajicek. **Motion carried unanimously.** Council closed at 8:20 pm.

Planning Commission members continued the discussion regarding standards. Nash recalled that prior to the 2013 changes, garages were having to be designed as tandem garages in order to meet the size requirements. Hammerseng stated that Hanover was being hurt by the restrictions of that time period and it was decided to pull away from them. Builders were also having difficulties meeting the standards and getting product. Kolasa agreed with this. Christenson asked if there were definitions of the types of houses that were referenced in the ordinance prior to 2013. Nash said that was something that would need to be talked about and put either in definitions or the building standards.

#### **Reports and Announcements**

##### **Staff:**

Biren said that there has been 13 new construction permits since the first of the year and two more are waiting pick up. There has been a lot of deck permits this year. The City Cemetery is being mapped by Cemetery Updating Services out of Winona, MN. They have measured out the Cemetery and located all of the existing graves/head stones and determined if each grave was occupied or not. How the back area of the Cemetery will be plotted still needs to be decided before the project is completed.

Hagen accompanied WSB on the Historic Bridge inspection and there is only one item that needs to be taken care of—finish putting concrete near the abutment and the beam on which the Bridge rests. Another project is the comprehensive plan will go to Council for scope of work. Also working towards putting together an informational packet for potential developers.

Nash informed the Board that FEMA has issued new floodplain maps along with updating floodplain management. These maps will need to be approved by November of this year.

##### **Council Liaison**

Hammerseng reviewed the concerns expressed by citizens regarding new ballfield design and the necessity to remove trees in order for the redesign. At that same Council meeting, the topic of bonding for the new Public Works building merged into looking at the best use of the land and possibilities of locating it on other City property. Also, the Foxtailers Snowmobile Club approached Council with a possible covering for the Historic Bridge, but no decision was made.

##### **Planning Commission**

Christenson asked how shipping containers fit in with the City Code and suggested that this be reviewed at a future meeting. Hagen responded that according to the accessory building ordinance, the building must fit in with the surroundings, so a shipping container would not be allowed.

Kuitunen asked about silt fence enforcement and how a new construction property on Erin Street does not put the fence back up after contractors have worked. Biren said that she and Terry Hagstrom, Metro West, have been working together to make sure erosion controls are in place. There was one day when eight sites had stop work orders because silt fencing and rock driveways were not in place in addition to not cleaning the dirt off of the streets. The sites complied and the stop work orders were lifted.

Armstrong asked if anyone new about the JP Brooks property in Crow River Heights that was for sale. It had been the focus of a wetland variance last year. Hagen said that the variance had been withdrawn with the plans to build a house on the lot that would meet the setbacks. It was assumed that this was still the goal.

**Adjournment**

**MOTION** by Armstrong to adjourn, seconded by Christenson. **Motion carried unanimously.**  
Meeting adjourned at 8:47 pm.

**ATTEST:**

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Amy L. Biren  
Administrative Assistant

<b>Performance Standard</b>	<b>Current Ordinance</b>	<b>2011 Ordinance</b>
<b>Minimum Lot Area</b>	Interior: 12,000 sq. ft. Corner: 15,000 sq. ft.	12,000 sq. ft. Corner: 15,000 sq. ft.
<b>Minimum Lot Width</b>	80 feet	80 feet
<b>Minimum Lot Depth</b>	No current regulation	20 foot buffer and screening if adjacent to powerlines, pipe lines, rail ROW, road ROW
<b>Maximum Building Height</b>	2.5 stories or 35 feet whichever is less	2.5 stories or 30 feet
<b>Minimum Building Height</b>	14 feet	
<b>Front yard setback</b>	30 feet	30 feet
<b>Side yard setback</b>	10 feet	10 feet
<b>Side yard on Corner Lot abutting street</b>	Same as Front yard setback	Front yard setback prior to 1982: 15 feet
<b>Rear yard setback</b>	30 feet	30 feet
<b>Arterial road setback</b>	50 feet	50 feet
<b>Collector road setback</b>	45 feet	45 feet
<b>Wetland setback</b>	30 feet	30 feet
<b>Bluff setback (top of bluff)</b>	30 feet	30 feet
<b>GD and RD waters setback</b>	75 feet	75 feet
<b>NE waters setback</b>	200 feet	200 feet
<b>Impervious coverage in shoreland</b>	25%	30%
<b>Minimum garage size</b>	576 sq. ft.	576 sq. ft.
<b>Driveway regulations</b>	Minimum width 10 feet Maximum width 28 feet located between the curb cut and property line. No closer than 5 ft from side or rear lot line. Access point restrictions Corner clearance: 30 feet	Vertical slope not to exceed 10%  Minimum slope of 18 inches above top of curb or street where no curb  Corner clearance: 30 feet

<b>Building Standards</b>	<b>Current Ordinance</b>	<b>2011 Ordinance</b>
<b>Foundation</b>	Concrete	Frost footings Concrete block, concrete or approved equivalent
<b>Minimum Dwelling Width</b>	24 feet	24 feet
<b>Roof Pitch and Materials</b>	5:12	5:12 Composition, shingled, tiled or metal
<b>Brick or Stone</b>		20% front facade covered with brick or stone Stucco house: 10%
<b>Materials</b>	Framing materials to withstand high winds and storms.	
<b>Garage Frontage</b>		No more than 40% of building width is garage doors Side or rear loaded are exempt.
<b>Size--Minimum floor area using outside building dimensions</b>		<b>Rambler:</b> 1260 sq. ft. <b>1.5 Story:</b> 1092 sq. ft. <b>Split Foyer/Entry:</b> 1248 sq. ft. <b>Split 3 level min:</b> 1248 sq. ft. <b>Two Story:</b> 1040 sq. ft. <b>W/O Basement:</b> add 100 sq. ft for utilities.

***Collaborative Planning, LLC***

PO Box 251  
Medina, MN 55340  
763-473-0569

## Memorandum

Date: June 23, 2016  
To: Planning Commission  
From: Cindy Nash, City Planner  
RE: Rhino Imported Auto Conditional Use Permit

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### **Overview of Request**

The subject property is currently zoned B-1 (Downtown River Business District) and an application has been received for an amendment to the existing Conditional Use Permit. The property is located at 11103 River Road.

The application is included in your packets and contains their proposed request. A copy of the minutes from the 1991 public hearing and the Special Use Permit are also included in the packet.

### **Evaluation of Request**

The applicant is seeking permission to change the existing permit to allow for a 25' x 95' fenced exterior storage area at the south side of the building. That area will store larger auto parts and business equipment such as the forklift.

Open and outdoor storage is not permitted in the B-1 District.

The shoreland management overlay district requires a 75-foot setback. The existing building does not meet that setback, but is grandfathered in. New structures or additions to existing structures would be required to meet the setback.

Parking areas in the shoreland management overlay district should meet the 75-foot setback when feasible and practical, but shall not be less than 50 feet from the ordinary high water level. The proposed parking area meets the 50-foot requirement. The Zoning Ordinance requires that parking areas shall be of a durable and dustless surface such as asphalt or cement.

Portions of the property are within both the existing floodplain and the new proposed floodplain. Parts of this property are located within the Special Flood Hazard Area.



The applicant provided an extension for the review time frame to August 31, 2016 as per the attached letter.

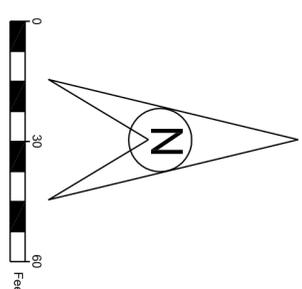
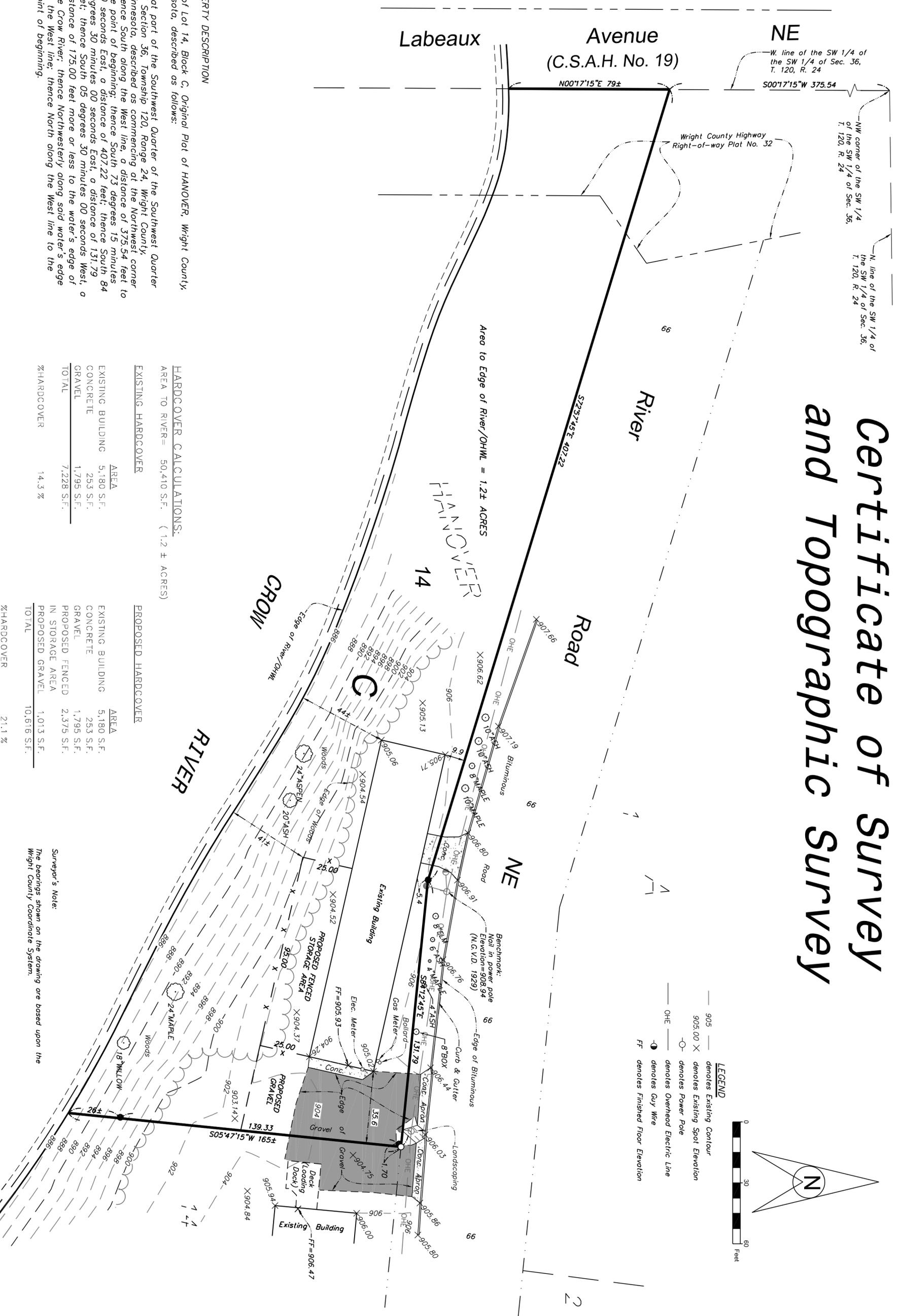
### **Recommendation**

If the Planning Commission is inclined to approve the application, then I would recommend the following conditions:

1. The previous Conditional Use Permit is revoked.
2. The property shall operate conformance with the Site Plan prepared by Otto Associates with the following exceptions:
3. No outside storage is permitted. The area shown on the Site Plan as “Proposed Fenced Storage Area” is not allowed.
4. The expanded parking is permitted in the location shown as “Proposed Gravel” but must be paved instead of gravel. If it is not paved, then no parking may occur in this area.
5. Outside storage is not permitted. Any vehicles parked outside must be operable and have current license plates. Any vehicles that are not operable or do not have current license plates would be considered outside storage and are not permitted.

6. The use shall maintain compliance with all noise and nuisance related ordinances of the City Code, as may be amended from time to time.
7. The use and site shall be in compliance with any Federal, State or County law or regulation that is applicable and any related permits shall be obtained and documented to the City.
8. The property shall remain in substantial conformance with all performance standards contained within the City Zoning Ordinance and City Code.
9. The owner shall, upon reasonable advance notice, provide City staff and/or its agents with access to the property for inspection for compliance with this Conditional Use Permit and other relevant codes.

# Certificate of Survey and Topographic Survey



- LEGEND**
- 905 — denotes Existing Contour
  - 905.00 X denotes Existing Spot Elevation
  - denotes Power Pole
  - OHE — denotes Overhead Electric Line
  - denotes Guy Wire
  - FF denotes Finished Floor Elevation

**HARDCOVER CALCULATIONS:**  
AREA TO RIVER = 50,410 S.F. ( 1.2 ± ACRES)

EXISTING HARDCOVER		PROPOSED HARDCOVER	
AREA	AREA	EXISTING BUILDING	AREA
EXISTING BUILDING	5,180 S.F.	CONCRETE	253 S.F.
CONCRETE	253 S.F.	GRAVEL	1,795 S.F.
GRAVEL	1,795 S.F.	PROPOSED FENCED IN STORAGE AREA	2,375 S.F.
TOTAL	7,228 S.F.	PROPOSED GRAVEL	1,013 S.F.
%HARDCOVER	14.3 %	TOTAL	10,616 S.F.
		%HARDCOVER	21.1 %

**Surveyor's Note:**  
The bearings shown on the drawing are based upon the Wright County Coordinate System.

**PROPERTY DESCRIPTION**  
Part of Lot 14, Block C, Original Plat of HANOVER, Wright County, Minnesota, described as follows:  
That part of the Southwest Quarter of the Southwest Quarter of Section 36, Township 120, Range 24, Wright County, Minnesota, described as commencing at the Northwest corner thence South along the West line, a distance of 375.54 feet to the point of beginning; thence South 73 degrees 15 minutes 00 seconds East, a distance of 407.22 feet; thence South 84 degrees 30 minutes 00 seconds East, a distance of 131.79 feet; thence South 05 degrees 30 minutes 00 seconds West, a distance of 175.00 feet more or less to the water's edge of the Crow River; thence Northwesterly along said water's edge to the West line; thence North along the West line to the point of beginning.

**Certificate of Survey and Topographic Survey on part of the SW 1/4 of the SW 1/4 of Section 36, Township 120, Range 24, Wright County, Minnesota.**

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto  
License #440062 Date: 5-25-16

**Requested By:**  
**PHILLIPS Architects & Contractors, Ltd.**

Date: 5-16-16  
Drawn By: T.J.B.  
Scale: 1"=30'  
Checked By: P.E.O.

**TTO ASSOCIATES**  
Engineers & Land Surveyors, Inc.  
www.ottoassociates.com  
9 West Division Street  
Buffalo, MN 55313  
(763)882-4727  
Fax: (763)882-3522

● denotes iron monument found  
○ denotes 1/2 inch by 1/4 inch iron pipe set and marked by License #440062  
Project No. 16-0249

DATE April 16, 1991 RESOLUTION NO. 07-91-04

MOTION BY COUNCILMEMBER Dixon  
SECONDED BY COUNCILMEMBER Zimmerman

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WHEREAS, the Hanover Planning Commission held a public hearing on April 15, 1991, at the Hanover City Hall, as requested in the special use permit application submitted by Rhino Import Auto Parts, Inc. for the purpose of reviewing City Ordinances to determine if a special use permit should be recommended to the Hanover City Council for the operation of a Warehouse/Retail Sales operation at 11103 River Road N.E.;

AND WHEREAS, the Planning Commission has recommended the granting of such special use permit in that it finds that it does comply with the City's Ordinances governing Business District operations;

AND WHEREAS, the City Council of Hanover has reviewed the recommendation of the Planning Commission at their public meeting of April 16, 1991, and has determined that it would be in the best interest of the citizens of Hanover and all persons concerned that such permit be granted;

NOW THEREFORE, IT IS HEREBY RESOLVED that the City Council does hereby grant the Special Use Permit to Rhino Import Auto Parts, Inc. to operate a Warehouse/Retail Sales operation on the property described as 11103 River Road N.E.

YES

LADDA X  
DIXON X  
KOTTKE X  
FILIPEK X  
ZIMMERMAN X

NO

LADDA \_\_\_\_\_  
DIXON \_\_\_\_\_  
KOTTKE \_\_\_\_\_  
FILIPEK \_\_\_\_\_  
ZIMMERMAN \_\_\_\_\_

\*\*\*\*\*  
STATE OF MINNESOTA                      COUNTIES OF WRIGHT AND HENNEPIN

I, Susan Vergin, duly appointed, qualified, and acting clerk to the Council for the City of Hanover, Counties of Wright and Hennepin, State of Minnesota, do hereby certify that I have compared the foregoing copy of a resolution or motion with the original minutes of the proceedings of the Hanover City Council, at their session held on the 16th day of April, 1991, now on file in my office, and have found the same to be true and correct copy thereof.

Witness my hand and official seal at Hanover, Minnesota, the 17th day of April, 1991.

Susan Vergin  
Susan Vergin, City Clerk of Hanover

STATE OF MINNESOTA  
CITY OF HANOVER

HANOVER PLANNING COMMISSION  
HANOVER CITY COUNCIL  
SPECIAL USE PERMIT

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In the Matter of the Application  
of Rhino Import Auto Parts, Inc.  
to operate a warehouse/retail sales  
operation of used auto parts.  
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ORDER GRANTING  
SPECIAL USE PERMIT

The above entitled matter came on to be heard before the Hanover Planning Commission on the 15th day of April, 1991, on a petition for a Special Use Permit pursuant to the Zoning Ordinance of the City of Hanover to operate a warehouse/retail sales operation of used auto parts on certain property described as follows, to-wit:

11103 River Road N.E., P.I.D. 108-010-003141, Westerly one half of lot

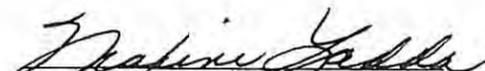
WHEREAS, the Planning Commission of the City of Hanover held a public hearing on such application and reported its findings to the Hanover City Council recommending the granting of such permit in that it found that such permit will comply with Zoning Ordinance, Section 11, Business District, Subdivision 3.7. Uses by Special Permit, and

WHEREAS, the City Council of the City of Hanover considered such application at a public meeting on the 16th day of April, 1991, and found that it would be in the best interests of the citizens of the City of Hanover and all persons concerned that such permit be granted;

NOW THEREFORE, IT IS HEREBY RESOLVED that Rhino Import Auto Parts, Inc. is granted a Special Use Permit to operate a Warehouse/Retail Sales operation of used auto parts on that certain property above described.

DATED this 16th day of April, 1991.

  
Susan Vergin, City Clerk of the  
City of Hanover, Minnesota

  
Maxine Ladda, Mayor of the  
City of Hanover, Minnesota

This permit issued pursuant to Resolution # 07-91-04 of the City Council of the City of Hanover, Minnesota, passed on April 16th, 1991.

CITY OF HANOVER  
11250 - 5TH STREET N.E.  
HANOVER, MINNESOTA 55341  
(612) 497-3777

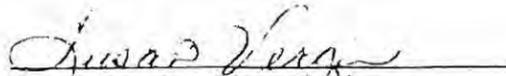
NOTICE OF PUBLIC HEARING FOR CONSIDERATION  
OF A SPECIAL USE PERMIT

NOTICE IS HEREBY GIVEN, that the Planning Commission of the City of Hanover, Counties of Wright and Hennepin, State of Minnesota, will hold a public hearing on Monday, April 15th, 1991, at 7:30 p.m., at the Hanover City Hall, for the purpose of considering the request by Rhino Import Auto Parts, Inc. to establish, maintain and operate a warehouse and retail operation for the sale of used auto parts, on the property described as:

11103 River Road N.E., P.I.D. 108-010-003141, Westerly one half of lot, formerly Caprice Doorcraft building.

A Special Use Permit is requested in accordance with Zoning Ordinance, Section 11, Business District, Subdivision 3, #7, Uses by Special Permit.

All persons concerned are invited to appear at such hearing to present any evidence or testimony as to why such Special Use Permit should or should not be granted.

  
Susan Vergin, City Clerk

March 28, 1991  
March 28, 1991

CITY OF HANOVER

P.O. BOX 278

HANOVER, MINNESOTA 55341

(612) 497-3777

TO: Crow River News

FROM: Susan Vergin, City Clerk

DATE: March 28, 1991

RE: Legal Notice

Please publish the attached Notice of Public Hearing for  
Consideration of a Special Use Permit in the April 1st, 1991 issue  
of the Crow River News.

Thank you.

Sue

A handwritten signature in cursive script, appearing to read "Sue", written in black ink.

CITY OF HANOVER  
APPLICATION FOR SPECIAL USE PERMIT

To the City Council and Planning Commission of the City of Hanover, Counties  
of Wright and Hennepin, State of Minnesota:

I, ALEXANDER K. KOSS, the undersigned, as RHINO IMPORT AUTO PARTS, INC  
OFFICER OF CORPORATION

hereby apply for a special use permit to establish, maintain, and operate the  
following described business or industry:

WAREHOUSE & RETAIL SALE OF USED AUTO PARTS

11103 River Road NE.

upon that certain tract of land described as follows:

Lot \_\_\_\_\_, Block \_\_\_\_\_, Plat or Addition \_\_\_\_\_

Parcel Identification Number 108-010-003141 - WEST 1/2 OF LOT (FORMERLY CAPRICE DOORCRAFT)

which is \_\_\_\_\_ feet wide (front), \_\_\_\_\_ feet long (depth) and \_\_\_\_\_

square feet in area and lies in BUSINESS district. The maximum number of people

who will be employed in this location is 4. There will be YES off-

street parking spaces available on this site. The proposed special use will

require utility services as follows:

Power: \_\_\_\_\_

Water: \_\_\_\_\_

Waste Treatment: \_\_\_\_\_

and hereby agrees that, in case such permit is granted, the establishment,  
operation and maintenance of the special use will conform to the Performance  
Standards for Special Uses, Section 15, of the City of Hanover Code of Ordinances  
and all other applicable provisions of all ordinances of said City.

DETAILS AND REMARKS

(If more space is needed for plot plan, remarks, use other side.)

Date 3/27/91 Signed Alex K. Koss (RHINO IMPORT AUTO PARTS, INC)

Address 11145 VALLEY DRIVE

ROSEL3 MN 55374

Planning Commission Action 4-15-91

City Council Action 4-16-91

Notices Mailed 3-28-91

(Fee rec'd 3/27/91  
\$200.00  
\$27)

CITY OF HANOVER  
11250 5TH STREET N.E.  
HANOVER, MINNESOTA 55341

(612) 497-3777

April 1, 1991

To: Dale Homuth  
D.N.R. - Division of Water

From: Susan Vergin, City Clerk

Re: Public Hearing - Special Use Permit

Dale:

Enclosed you will find copies of the special use permit application, and the notice of the public hearing set for the special use permit.

The property which is involved in the special use permit is in the Business District, with Shoreland being the overlaying district.

The permit in question is for a warehouse/retail operation, consisting of used auto parts.

This information is being directed to you as stated in our Ordinance, Section 15, Subdivision 2.

If you need any further information please contact me. Thank you.

Sincerely,

  
Susan Vergin  
City Clerk

CITY OF HANOVER  
APPLICATION FOR SPECIAL USE PERMIT

To the City Council and Planning Commission of the City of Hanover, Counties  
of Wright and Hennepin, State of Minnesota:

I, ALEXANDER K. KOSS, the undersigned, as ~~OWNER~~ OFFICER OF CORPORATION  
*RHINO IMPORT AUTO PARTS, INC*

hereby apply for a special use permit to establish, maintain, and operate the  
following described business or industry:

WAREHOUSE & RETAIL SALE OF USED AUTO PARTS

11103 River Road NE

upon that certain tract of land described as follows:

Lot \_\_\_\_\_, Block \_\_\_\_\_, Plat or Addition \_\_\_\_\_

Parcel Identification Number 108 010-003141 - WEST 1/2 OF LOT (FORMERLY CHARICE DOORCRAFT)

which is \_\_\_\_\_ feet wide (front), \_\_\_\_\_ feet long (depth) and \_\_\_\_\_

square feet in area and lies in Business district. The maximum number of people

who will be employed in this location is 4. There will be YES off-

street parking spaces available on this site. The proposed special use will

require utility services as follows:

Power: \_\_\_\_\_

Water: \_\_\_\_\_

Waste Treatment: \_\_\_\_\_

and hereby agrees that, in case such permit is granted, the establishment,  
operation and maintenance of the special use will conform to the Performance  
Standards for Special Uses, Section 15, of the City of Hanover Code of Ordinances  
and all other applicable provisions of all ordinances of said City.

DETAILS AND REMARKS

(If more space is needed for plot plan, remarks, use other side.)

Date 3/27/91 Signed *Alex Koss* (RHINO IMPORT AUTO PARTS, INC)

Address 11145 VALLEY DRIVE

ROGERS MN 55374

Planning Commission Action \_\_\_\_\_

City Council Action \_\_\_\_\_

Notices Mailed \_\_\_\_\_

(Fee rec'd 3/27/91  
#200.00  
JH)

## SECTION 15 SPECIAL USE PERMITS

### Subdivision 1. Special Use Permits.

Special use permits may be issued for any of the following:

1. Any of the uses or purposes for which such permits are required or permitted by the provisions of this Ordinance.
2. Public utility or public service uses or public building in any district when found to be necessary for the public health, safety, convenience or welfare.
3. To classify as a conforming use any institutional use existing in any district at the time of the establishment of such district.
4. To permit the location of any of the following uses in a district from which they are excluded by the provisions of this Ordinance: library, community center, church, hospital, fairgrounds, any institution of any educational, philanthropic or charitable nature, cemetery, mausoleum or any other place for the disposal of the human dead.

### Subdivision 2. Application.

Application for the issuance of a Special Use Permit shall be made to the Planning Commission through the City Clerk in writing. Such application shall be accompanied by payment of such fee as the City Council may from time to time prescribe. Any proceedings to classify certain uses as conforming uses as provided in this Section may be initiated either by such application or by the City Council or by the Planning Commission. The Planning Commission may hold such hearings on the proposal to issue a Special Use Permit as it may consider necessary; but at least one public hearing shall be held on any application for a use permit for the establishment of any use listed in Subdivision 1. of this Section. Upon receipt of any application, the City Clerk shall set a time and place for public hearing before the City Council or Planning Commission. At least ten (10) days before the date of the hearing, a notice of the hearing, substantially advising of the date, place and purpose thereof shall be published once in the official newspaper. A copy of notice of public hearing to consider a Special Use Permit, involving either the Flood Plain or Shoreland Districts shall be sent to the Commissioner of Natural Resources so that such notice shall be received by him 10 days prior to such hearing.

At the hearing the applicant shall present such statements, evidence, and exhibits as may show the facts and lawful conclusions therefrom. Any person having any lawful interest in such matter or lawful concern therewith may present evidence and arguments opposing the same.

The Planning Commission shall make a report to the Council upon any application for special permit and shall recommend to the Council whatever action it deems advisable; but it shall not recommend the granting of a permit if it finds that the establishment, maintenance, or conducting of the use, for which a use permit is sought, will under the circumstances of the particular case, be detrimental:

CITY OF HANOVER

APRIL 15, 1991  
PLANNING COMMISSION  
PUBLIC HEARING - SPECIAL USE PERMIT  
RHINO IMPORT AUTO PARTS, INC.

Chairperson Lippert called the public hearing on the special use permit application for Rhino Import Auto Parts, Inc., as posted and published. Commission members present were Cummings, Lippert, Marshall, Plantenberg and Schendel. Commission member LaBaw and Liaison Filipek were absent.

Mr. Koss and Mr. Straub of Rhino, and current property owner Mr. Magnussen were present for the hearing.

Marshall questioned off street parking availability. Rhino will consist of four employees, and at present there is ample parking space.

Marshall questioned if there would be any disassembling, or reassembling of vehicles outside of the building. It was stated that those activities would not be performed.

Marshall questioned hazardous material on the premises. Straub and Koss stated that they use a self contained container, which is leased from Safety Clean. This container has an oil de-greaser solvent which is regulated by the State. Every time the container is picked up by Safety Clean it is manifested, with a signed copy going to the E.P.A. While the container is on the premises it is Rhino's responsibility, but once Safety Clean picks it up it becomes their responsibility.

Mr. Magnussen stated that he had contacted Lynn Paulson, from Metro West Inspections, who stated that there would not be any need for any other requirements with this type of business.

Mr. Straub and Mr. Koss stated that their intentions are to stack inventory on shelving units.

Schendel stated that it is basically a retail parts store, and reason for the special use permit is it is not specifically stated under permitted uses. It comes under Subdivision 3, 7. Other business activities of the same general character as listed in subdivision of 2 of this Section. (Business District)

Plantenberg stated that they must keep the outside area free of junk. Straub and Koss stated that they want the building so that they can have inside storage rather than outside storage.

Lippert stated that they, Rhino, should receive a copy of the Business Ordinances so that they are aware of the restrictions for that area.

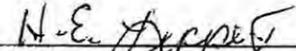
Marshall questioned if the Commission should set up an annual review on the permit. This would be something that they could recommend to the Council. If there were no problems with the Rhino Import Auto Parts operation the permit would be renewed.

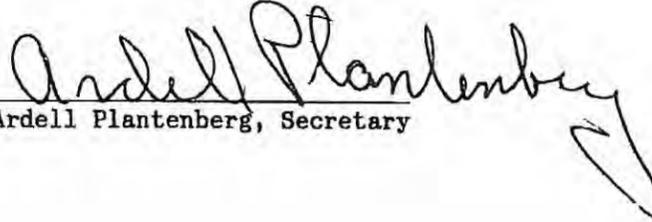
CITY OF HANOVER

APRIL 15, 1991  
PLANNING COMMISSION  
PUBLIC HEARING - SPECIAL USE PERMIT  
RHINO IMPORT AUTO PARTS, INC.

MOTION by Cummings, seconded by Schendel, to allow the business of Rhino Import Auto Parts, Inc. to operate at 11103 River Road N.E., under a special use permit. Voting Aye: Cummings, Lippert, Marshall, Plantenberg, and Schendel.

Chairperson Lippert adjourned the public hearing.

  
\_\_\_\_\_  
Harold Lippert, Chairperson

  
\_\_\_\_\_  
Ardell Plantenberg, Secretary



Hanover, MN 55341-0278  
 Phone: 763.497.3777 fax: 763.497.1873  
 www.hanovermn.org  
 cityhall@ci.hanover.mn.us

For Office Use Only	
Case Number:	2015-1
Fee Paid:	\$300 base \$1000 escrow
Received by:	AM
Date Filed:	3-4-14
Date Complete:	
Base Fee:	300 Escrow: 1000

2091  
 ck  
 8525  
 rec #

### DEVELOPMENT APPLICATION

TYPE OF APPLICATION		
<input type="checkbox"/> Annexation	<input type="checkbox"/> Site Plan & Building Plan	<input type="checkbox"/> Simple Land Division
<input type="checkbox"/> Appeal	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Subdivision Sketch Plan
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Ordinance Amendment (Text or Map)	<input type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development (Concept/Gen)	<input type="checkbox"/> Vacation	<input checked="" type="checkbox"/> Other CUP Amendment
PROPERTY INFORMATION		
Street Address: 11103 River Road NE		
Property Identification Number (PIN#): 108-010-003140		
Legal Description (Attach if necessary): ATTACHED		
APPLICANT INFORMATION		
Name: MICHAEL A. STRAUB	Business Name: RHINO IMPROVED AUTO	
Address: 2330 CHALET DR NE		
City: COLUMBIA HEIGHTS	State: MN	Zip Code: 55421
Telephone: 763-498-6544	Fax:	E-mail:
Contact: M. STRAUB MSTRAUB592@AOL.COM	Title: OWNER	
OWNER INFORMATION (if different from applicant)		
Name:	Business Name:	
Address:		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:	Title:	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: USED, REPAIR & NEW AUTO PARTS SALES		
Nature of Proposed Use: SAME		
Reason(s) to Approve Request: BUSINESS HAS OPERATED SINCE 1991 AT THIS LOCATION. TO ESTABLISH A LIMIT ON STORED VEHICLES WAITING FOR PROCESSING.		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name: Special Use Permit (aka Conditional Use Permit)	Date of Application: April 1991	
Nature of Request:		
<p><b>NOTE:</b> Applications only accepted with ALL required support documents.          See Application Instructions and City Code</p>		

**APPLICATION FEES AND EXPENSES:**

The City of Hanover required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner:

E-mail \_\_\_\_\_  Fax \_\_\_\_\_  USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Michael A Stenub Date: 3/4/16

Owner: Michael A Stenub Date: 3/4/16

**NOTE:** Applications only accepted with ALL required support documents.  
See Application Checklist and City Code



**SUPPLEMENTAL APPLICATION - CONDITIONAL USE PERMIT**

Name: MICHAEL A. STRAUB

Phone: 763-498-6544

Address: 1103 RIVER ROAD N.E.

PID #: 108-010-003140

1. Present zoning of above described property: B-1 DOWNTOWN RIVER COMM. DISTRICT

2. Application made for Conditional Use Permit to conduct: SALES OF USED, REBUILT & NEW AUTO PARTS INCLUDING STORAGE OF VEHICLES WAITING FOR PROCESSING & 25' X 95' FENCED EXTERIOR STORAGE (PARTS & EQUIP.)

3. Is the proposed use compatible with present and future land use(s) of the area? Please explain. YES, BUSINESS HAS OPERATED IN SAME MANNER SINCE 1991 AT THIS LOCATION.

BUSINESS EQUIP. (EQUIP.)

\*

4. Will the proposed use depreciate the area in which it is proposed? Please explain. NO, BUSINESS HAS OPERATED IN THE SAME MANNER SINCE 1991 AT THIS LOCATION.

5. Can the proposed use be accommodated with existing City services without overburdening the system? Please explain. YES, BUSINESS HAS OPERATED IN THE SAME MANNER SINCE 1991 AT THIS LOCATION.

6. Are local streets capable of handling traffic which is generated by the proposed use? Please explain. YES, BUSINESS HAS OPERATED IN THE SAME MANNER SINCE 1991 AT THIS LOCATION.

7. Attach to this application a site plan illustrating curb cut locations, access to a public street, location of buildings and their square footage, location of easements, parking utilities and sidewalks.

8. Attach information specified in the "Required Material Submission Checklist" for CUP applications.

Applicant Signature: Michael A Straub

Date: 3/4/16

Owner Signature: Michael A Straub

Date: 3/4/16

\* SEE ATTACHED NARRATIVE

Michael A. Straub      PID 108-010-003140

Conditional Use Permit Application

March 4, 2016

**Property Legal Description:**

**Legal Description:** PRT OF LT14BLK C DES TH PRT OF SW1/4OF SW 1/4SEC36 120 24DES COM NW COR TH S ALG W LN375.54FT TO POB TH S73D15'0"E407.22FT TH S84D30'0"E131.79FT TH S05D30'W175FT M/L TO WTRS EDG OF CROW RIV TH NWLY ALG SD WTRS EDG TO W LN TH N ALG W LN TO POB

Michael A. Straub      PID 108-010-003140

Conditional Use Permit Application      March 4, 2016

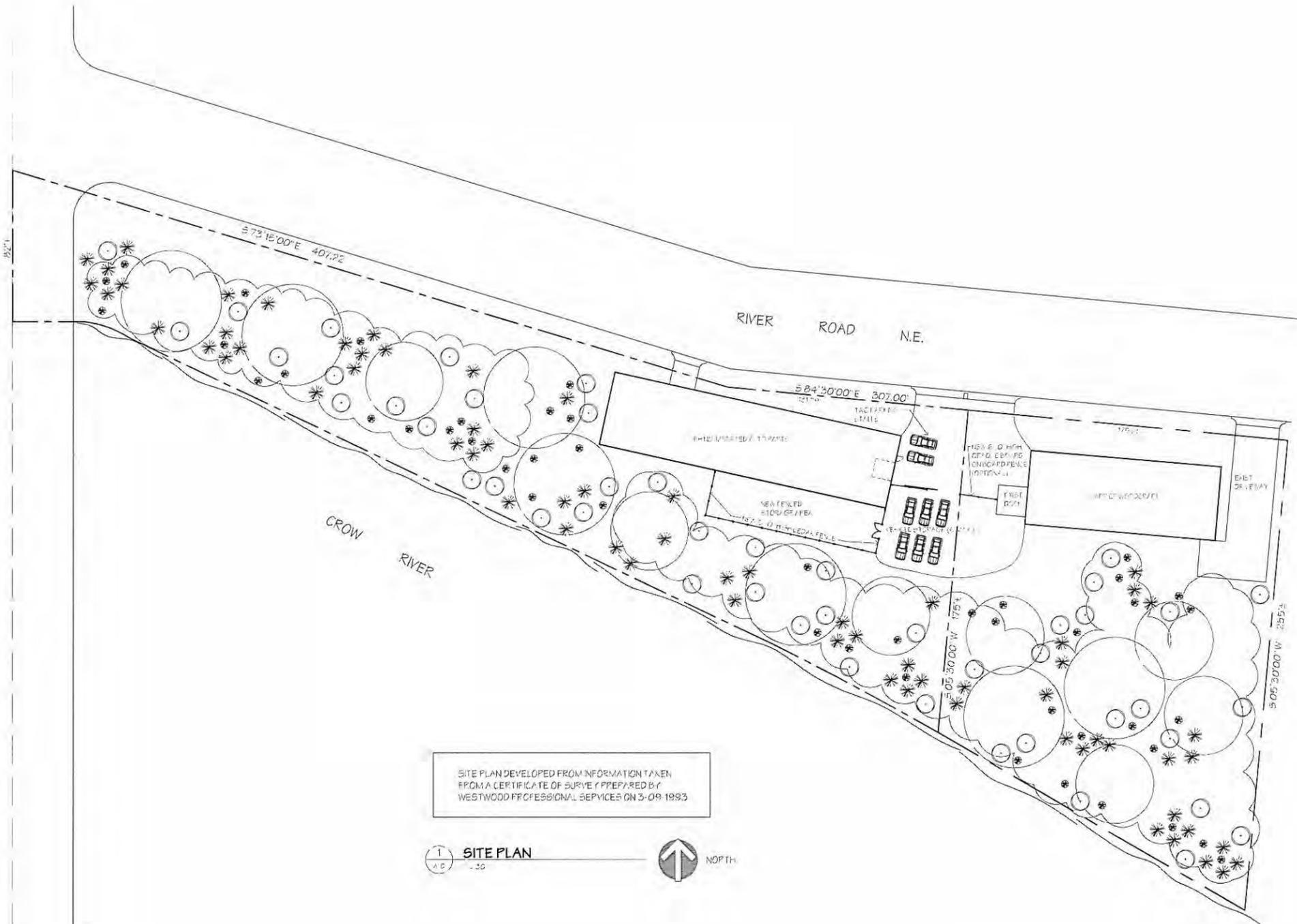
1103 River Road NE, Hanover, MN 55341

**Conditional Use Permit Amendment**

The current city administrator has requested this amendment.

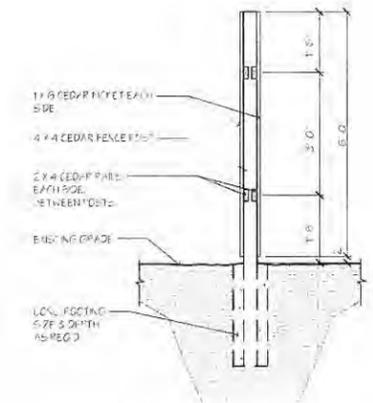
The applicant is requesting the following items:

1. There is no change in the existing uses except that a 25' by 95' fenced exterior storage area at the south side of the building is requested. This area will store larger auto parts and business equipment such as the forklift.
2. This request will limit the exterior storage of vehicles waiting for processing to a maximum of 6 vehicles at one time.
3. All other business operations including the sales of retail/wholesale new, used and rebuilt auto parts and the processing of vehicles inside of the building will remain unchanged. Processing of vehicles includes disassembly; rebuilding some components; and proper disposal of unused parts and body shells.



SITE PLAN DEVELOPED FROM INFORMATION TAKEN FROM A CERTIFICATE OF SURVEY PREPARED BY WESTWOOD PROFESSIONAL SERVICES ON 3-09-1993

1 SITE PLAN  
1/8\"/>



2 SECTION @ BOARD ON BOARD CEDAR FENCE  
1/8\"/>

From March 28, 2016

2016 RENOVATION FOR:  
**RHINO IMPORTED AUTO PARTS**

11103 RIVER ROAD N.E.  
HANOVER, MINNESOTA 55341

**PHILLIPS ARCHITECTS & CONTRACTORS, LTD.**

717 Lake Avenue North  
Suite 100  
Minneapolis, MN 55409  
P: (612) 377-2323 Fax: (612) 377-1557  
www.phillipsarchitects.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, CONTRACT DOCUMENTS, DRAWINGS, AND ALL OTHERS, PREPARED AND USED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL ILLUSTRATIONS AND NOTATIONS ARE THE WORK OF THE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
David A. Phillips

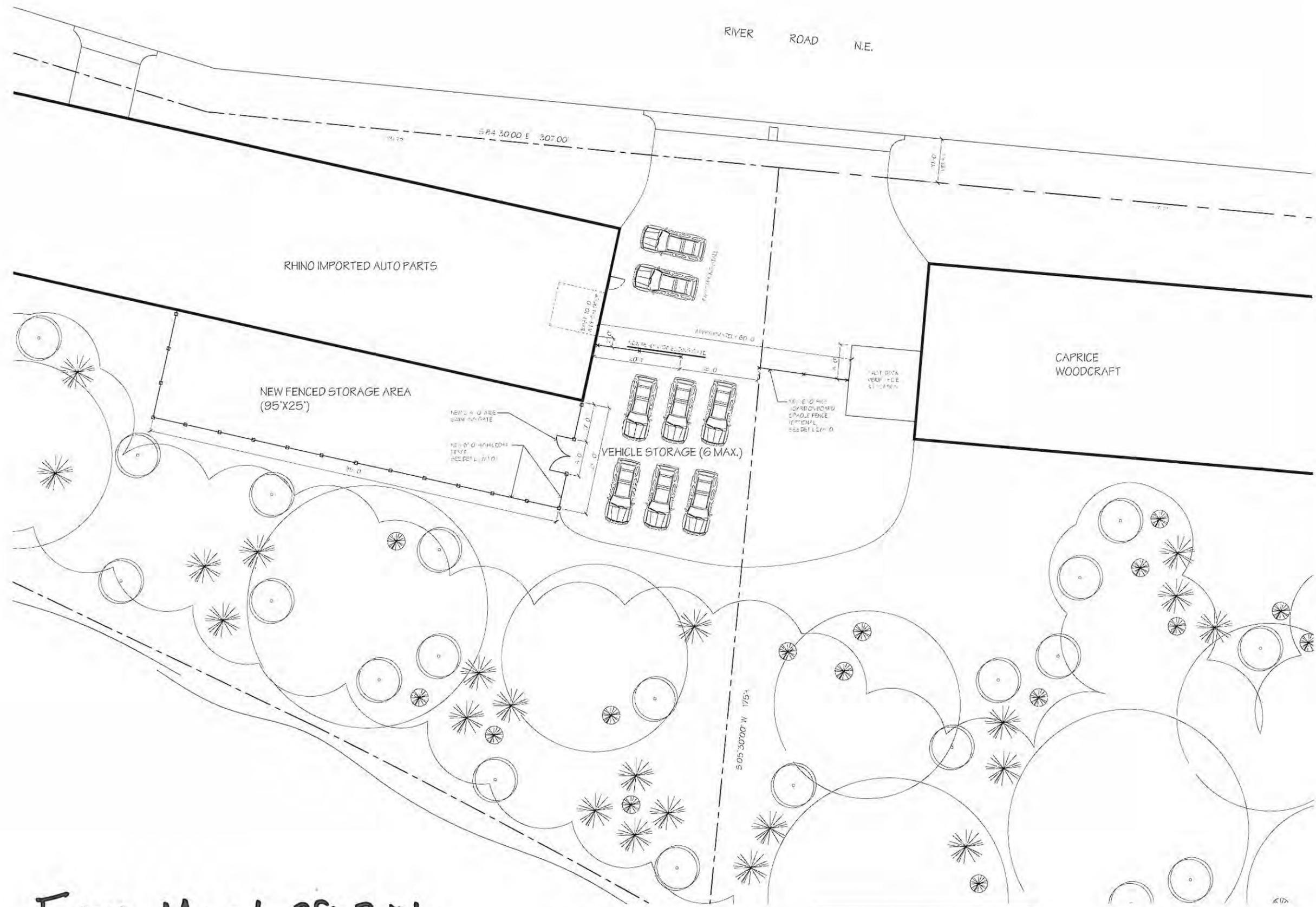
DATE: 04/20/16 ISSUE: 1/15/16

SCALE: 1/8\"/>

DRAWN BY: RPB  
CHECKED BY: DPH  
PROJECT NO:

SITE PLAN

**A1.0**



From March 28, 2016

1 SITE PLAN  
A1 1-12

NORTH

SITE PLAN DEVELOPED FROM INFORMATION TAKEN FROM A CERTIFICATE OF SURVEY PREPARED BY WESTWOOD PROFESSIONAL SERVICES ON 3-09-1993.

2016 RENOVATION FOR:  
**RHINO IMPORTED AUTO PARTS**

11103 RIVER ROAD N.E.  
HANOVER, MINNESOTA 55341

**PHILLIPS ARCHITECTS & CONTRACTORS, LTD.**

227 Oak Avenue North  
Suite 100  
Annapolis, MN 55405  
Tel: (612) 737-2525 Fax: (612) 737-2527  
www.phillipsarchitects.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
David A. Phillips

DATE: 3-04-2016 LICENSE #: 11347  
SCALE: AS SHOWN  
3-04-2016 11:52 AM

DRAWN BY: SPB  
CHECKED BY: [Signature]  
PROJECT NO:

ENLARGED SITE PLAN

**A1.1**

## **Buildable Area Definition**

### **Hanover**

The portion of the lot above the ordinary high watermark and exclusive of restrictive soils, wetlands, slopes in excess of twelve (12) percent, and significant natural or unique resources to be protected or conserved.

### **Rockford**

The space remaining on a lot after minimum setback and open space requirements have been met and excluding easements.

## **Building Footprint Definition**

### **Orono**

The outline of the total area covered by a building's perimeter at ground level (to the block/foundation).

Carports, covered porches and other similar building features having no exterior walls shall be included by drawing a straight line between outer edges of all support structures.

Outer edges of building protrusions, bay windows or other similar features that extend outward from a building and are less than four (4) feet from the ground are included.

### **Rogers**

The length and width of the building's foundation.

## Floor Area Definition

<b>Hanover</b>	<p>The sum of the gross horizontal areas of the several floors of the building or portion thereof devoted to a particular use, including accessory storage areas located within selling or working space and including any basement floor area devoted to retailing activities, to the production or processing of goods, or to business or professional offices.</p> <p>However, the floor areas shall not include basement floor area other than area devoted to retailing activities, the production or processing of goods, or to business or professional offices.</p>
<b>Alberville</b>	<p>The sum of the gross horizontal areas of several floors of the building or portion thereof devoted to a particular use, including accessory storage area located within selling or working space such as retailing activities, the production or processing of goods, or to business or professional offices.</p> <p>Shall not include: basement or cellar floor area other than area devoted to retailing activities, the production or processing of goods, or to business or professional offices.</p> <p>Shall not include cellar area in residences.</p>
<b>Corcoran</b>	<p>The sum of the gross horizontal areas of the several floors of the building measured from the exterior faces of the exterior walls or from the centerline of walls separating two buildings.</p> <p>The floor area of a building shall include basement floor area, penthouses, attic space having headroom of 7 feet or more, interior balconies and mezzanines, lean-tos, enclosed porches and floor area devoted to accessory uses.</p> <p>Any space devoted to mechanical equipment, stairwells, elevator shafts, parking or loading shall not be included in floor area for purposes of parking calculations.</p>
<b>Medina – Hamel</b>	<p>The sum of the horizontal areas of several floors of a building, as measured to the outer surface of exterior walls.</p>
<b>Rogers</b>	<p>The gross area of the main floor of a residential building measured in square feet and not an attached garage, breezeway, or similar attachment.</p>
<b>St. Michael</b>	<p>The floor area of a building is the sum of the gross horizontal areas of the several floors of the building, measured from the exterior faces of the exterior walls.</p>

## **Floor Area, Gross, Definition**

### **Rockford**

The sum of the gross horizontal areas of several floors of the building or portion thereof devoted to a particular use, including accessory storage area located within selling or working space such as retailing activities, the production or processing of goods, or to business or professional offices.

Shall not include: basement or cellar floor area other than area devoted to retailing activities, the production or processing of goods, or to business or professional offices.

Shall not include cellar area in residences.

### **Rogers**

The sum or the gross of the various floors of a building measured in square feet.

The basement floor area shall not be included unless it constitutes a story.

## Floor Area Ratio Definition

### **Orono**

The total building floor area divided by total lot area.

### **Rogers**

The numerical value obtained through dividing the gross floor area of a building or buildings by the net area of the lot or parcel of land on which such building or buildings are located.

## Garage Definition

<b>Hanover</b>	An accessory building or accessory portion of the principal building which is intended for and used to store the private passenger vehicles of the families resident upon the premises.
<b>Albertville</b>	An accessory building or accessory portion of the principal building which is intended for and used to store the private passenger vehicles and trucks not exceeding 12,000 pounds gross weight, of the family or families resident upon the premises, and which no business service or industry is carried on.
<b>Corcoran</b>	A detached accessory building or an attached accessory portion of the principal building which is intended for and used to store the private passenger vehicles of the family or families who reside upon the premises and in which no occupation or business for profit is carried on, and enclosed on all four sides and pierced only by windows and customary doors.
<b>Medina – Hamel</b>	An accessory building or accessory portion of the principal building, which it is for and used to store the private passenger vehicles of the family or families resident upon the premises.
<b>Orono</b>	A detached accessory building or portion of the principal building, including a carport, which is used primarily for storing passenger vehicles, trailers, or one truck of a rated capacity of not more than 1.5 tons.
<b>Rockford</b>	An accessory building or accessory portion of the principal building which is intended for and used to store the private passenger vehicles and non-commercial trucks not exceeding 12,000 pounds gross weight, of the family or families resident upon the premises, and in which no business, service or industry is carried on unless specifically authorized.
<b>Rogers</b>	A detached one-story accessory building or portion of the principal building, including a carport, which is used primarily for the storing of passenger vehicles, trailers or farm trucks.
<b>St. Michael</b>	An accessory building designed or used for the storage of automotive, motor-driven vehicles owned and used by the occupants of the building to which it is accessory.

## **Habitable Space Definition**

### **Medina – Hamel**

A space in a building for living, sleeping, eating, or cooking.

Bathrooms, toilet rooms, closets, halls, storage or utility spaces and similar areas are not considered habitable spaces.

## **Wall Area Calculations Definition**

### **Albertville**

The total wall area of structures shall be calculated by taking the total solid surface area: exterior surfaces including any portion of overhead garage doors with windows, but excluding all other windows or doors.

## Albertville Lot Standards

<b>Minimum Lot Area</b>	15,000 sq. ft. No sewer: 10 acres
<b>Minimum Lot Width</b>	Interior: 100 feet Corner: 120 feet
<b>Minimum Lot Depth</b>	
<b>Front yard setback</b>	30 feet
<b>Side yard setback</b>	Interior: 10 feet Corner: 20 feet
<b>Rear yard setback</b>	Principal building: 25 feet Accessory building: 10 feet minimum (not in easement)
<b>Impervious Surface</b>	
<b>Maximum Lot Coverage</b>	Combined structures shall occupy no more than 25%

## Albertville Design Standards

<b>Minimum floor area</b>	2 bedroom: 960 sq. ft. above ground 3 bedroom: 1040 sq. ft. above ground
<b>Maximum building height</b>	Principal building: 35 feet Accessory building: 16 feet
<b>Minimum Length</b>	30 feet
<b>Minimum Width</b>	24 feet
<b>Foundation</b>	Continuous perimeter to code
<b>Roof Pitch</b>	Not indicated in ordinance.
<b>Minimum Roof Overhang</b>	12 inches
<b>Roof Materials</b>	Earth covered, composition, shingle or tiled
<b>Exterior Finishes</b>	Brick, natural stone, decorative concrete block, cast/precast concrete panels, wood (cedar, redwood, cypress), curtain wall panels (steel, fiberglass, aluminum), glass curtain wall panels, stucco, vinyl
<b>Side and Rear Facades</b>	Front and back have appropriate levels of formality. Front more formal treatment with trash/recycling, play equipment and outdoor storage in back. Varied and articulated facades Prohibit long blank walls and series of garage doors.
<b>Garage Size</b>	2 enclosed spaces per unit Minimum size of 480 sq. ft.
<b>Garage Frontage</b>	Series of garage doors is prohibited.
<b>Driveway Regulations</b>	Designed for parking two vehicles tandem Maximum 24 feet wide at the curb Minimum of 5 feet from side lot lines Grade allowed 2% to 10% Access minimum 40 feet from intersection of two or more streets Surfaced with bitumen or concrete to control dust/drainage
<b>Utilities</b>	Underground where required.

## Corcoran Lot Standards

<b>Minimum Lot Area</b>	20,000 sq. ft.
<b>Minimum Lot Width</b>	100 feet
<b>Minimum Lot Depth</b>	
<b>Front yard setback</b>	40 feet 100 feet from major road
<b>Side yard setback</b>	Living: 10 feet Garage: 5 feet
<b>Rear yard setback</b>	30 feet
<b>Impervious Surface</b>	
<b>Maximum Lot Coverage</b>	

## Corcoran Design Standards

<b>Minimum floor area</b>	1100 sq. ft.
<b>Maximum building height</b>	35 feet
<b>Minimum Length</b>	Not indicated in ordinance.
<b>Minimum Width</b>	24 feet
<b>Foundation</b>	Maximum 18 inches exposed
<b>Roof Pitch</b>	Not indicated in ordinance.
<b>Minimum Roof Overhang</b>	12 inches
<b>Roof Materials</b>	asphalt or wood shingles, concrete, clay, ceramic tile, steel
<b>Exterior Finishes</b>	2 different materials required Can be all brick Minimum 50% natural materials: brick, stone, stucco, hardiboard redwood, cedar Varied designs from minimum 5 styles Homes in proximity cannot be alike
<b>Side and Rear Facades</b>	Equal architectural treatment on all sides including accents Each side elevation have at least one window or door opening
<b>Garage Size</b>	One stall garage
<b>Garage Frontage</b>	Maximum 55% of viewable ground floor linear building frontage Entire garage structure is measured, not only garage doors Architecturally matching exterior of home  Site plan provides for location of one stall attached garage whether or not it is constructed.
<b>Driveway Regulations</b>	Minimum 22 feet in length Maximum 2640 feet in length Serves dwelling that has use of two-stall garage
<b>Utilities</b>	Located underground

## Medina/Hamel Lot Standards

<b>Minimum Lot Area</b>	11,000 sq. ft.
<b>Minimum Lot Width</b>	90 feet
<b>Minimum Lot Depth</b>	100 feet
<b>Front yard setback</b>	25 feet
<b>Side yard setback</b>	25 feet combined total for both sides--neither less than 10 feet
<b>Rear yard setback</b>	30 feet
<b>Impervious Surface</b>	Maximum 40% of total lot area
<b>Maximum Lot Coverage</b>	

## Medina/Hamel Design Standards

<b>Minimum floor area</b>	550 sq. ft. habitable floor space Measured from inside of the interior wall surface. Interior partitions not considered.
<b>Maximum building height</b>	32 feet 2.5 stories with limitation of 2 stories facing street Ground to eave: 30 feet maximum
<b>Minimum Length</b>	24 feet--Measured from outside of exterior siding or fascia
<b>Minimum Width</b>	24 feet--Measured from outside of exterior siding or fascia
<b>Foundation</b>	Meets MN building code Securely bolted in place, water tight
<b>Roof Pitch</b>	
<b>Minimum Roof Overhang</b>	
<b>Roof Materials</b>	
<b>Exterior Finishes</b>	Durable Consistent with codes, regulations, and industry standards
<b>Side and Rear Facades</b>	
<b>Garage Size</b>	Minimum capacity of two vehicles
<b>Garage Frontage</b>	If garage doors occupy more than half of the horizontal building facade, architectural elements are required to break up monotony Front load garage: 30 foot set back Side load garage: 20 foot set back
<b>Driveway Regulations</b>	24 feet maximum at curb 28 feet maximum at property line No tree, shrub, obstruction adjacent Bituminous, concrete or permeable pavers No closer than 5 feet to side/rear lot line
<b>Utilities</b>	Underground

## Orono Lot Standards

<b>Minimum Lot Area</b>	0.5 acre (R-1B)=21,780 sq. ft. 1 acre (R-1A)=43,560 sq. ft. SFR: 15,000 sq. ft.
<b>Minimum Lot Width</b>	100 feet (R-1B) 140 feet (R-1A) SFR: 90 feet at setback line
<b>Minimum Lot Depth</b>	Not indicated in ordinance. SFR: 125 feet
<b>Front yard setback</b>	30 feet (R-1B) 35 feet (R-1A) SFR Interior: 25 feet SFR Corner: 35 feet SFR Collector/Arterial: 50 feet
<b>Side yard setback</b>	10 feet (R-1A and R-1B) Streetside: 15 feet (R-1B) Streetside: 35 feet (R-1A)
<b>Rear yard setback</b>	30 feet (R-1A and R-1B) SFR: 40 feet or 20% of depth of lot, whichever is less
<b>Impervious Surface</b>	
<b>Maximum Lot Coverage</b>	

## Orono Design Standards

<b>Minimum floor area</b>	Floor Area Ratio: Total building floor area / Total lot area Low/Med. Density: 0.5 FAR maximum High Density: 1.0 FAR maximum (in excess of 6 units per acre)
<b>Maximum building height</b>	2.5 stories 30 feet maximum
<b>Minimum Length</b>	
<b>Minimum Width</b>	20 feet for at least 50% of depth
<b>Foundation</b>	Permanent conforming to code
<b>Roof Pitch</b>	
<b>Minimum Roof Overhang</b>	
<b>Roof Materials</b>	
<b>Exterior Finishes</b>	Prohibited: concrete panels, concrete block, unfinished metal
<b>Side and Rear Facades</b>	
<b>Garage Size</b>	Minimum 20 x 24 feet (480 sq. ft.)
<b>Garage Frontage</b>	
<b>Driveway Regulations</b>	Maximum 20 feet wide Bituminous, concrete, blacktop, or equivalent paving Corner setback: 100 feet
<b>Utilities</b>	Underground

## Rockford Lot Standards

<b>Minimum Lot Area</b>	14,500 sq. ft.
<b>Minimum Lot Width</b>	Interior: 90 feet Corner: 110 feet
<b>Minimum Lot Depth</b>	120 feet
<b>Front yard setback</b>	30 feet 35 feet if facing ROW 50 feet from arterial street
<b>Side yard setback</b>	15 feet
<b>Rear yard setback</b>	25 feet 50 feet from arterial street
<b>Impervious Surface</b>	30%
<b>Maximum Lot Coverage</b>	

## Rockford Design Standards

**Minimum floor area**

**Maximum building height** 35 feet

**Minimum Length**

**Minimum Width** 22 feet

**Foundation** Concrete or wood

**Roof Pitch**

**Minimum Roof Overhang**

**Roof Materials**

**Exterior Finishes** Brick, natural stone, decorative concrete block, precast concrete, wood, glass curtain wall panels, stucco, vinyl, curtain wall panels of steel, fiberglass, aluminum

**Side and Rear Facades**

**Garage Size**

**Garage Frontage**

**Driveway Regulations** Maximum 8% grade  
Maximum 24 feet wide at curb  
Minimum of 5 feet from side yard lot line  
Allowed one access  
Surfaced with materials to control dust and drainage  
Unobstructed visibility required

**Utilities**

## Rogers Lot Standards

<b>Minimum Lot Area</b>	10,000 sq. ft.
<b>Minimum Lot Width</b>	80 feet
<b>Minimum Lot Depth</b>	
<b>Front yard setback</b>	30 feet
<b>Side yard setback</b>	Interior: 10 feet Street: same as front yard
<b>Rear yard setback</b>	30 feet
<b>Impervious Surface</b>	
<b>Maximum Lot Coverage</b>	

## Rogers Design Standards

**Minimum floor area**

**Maximum building height** 35 feet

**Minimum Length** 30 feet

**Minimum Width** 17 feet

**Foundation** Concrete

**Roof Pitch** 5:12 minimum

**Minimum Roof Overhang**

**Roof Materials**

**Exterior Finishes** Withstand damage from high winds and storms

**Side and Rear Facades**

**Garage Size**

**Garage Frontage**

**Driveway Regulations** 5 feet from side/rear lot line  
Minimum 10 feet wide  
Strong enough to support fire and emergency vehicles

**Utilities**

## St. Michael Lot Standards

<b>Minimum Lot Area</b>	R-1: 11,250 sq. ft. R-2: 20,000 sq. ft.
<b>Minimum Lot Width</b>	Interior: 90 feet Corner: 100 feet
<b>Minimum Lot Depth</b>	120 feet
<b>Front yard setback</b>	30 feet
<b>Side yard setback</b>	Non-garage: 10 feet Garage: 7.5 feet not abutting ROW
<b>Rear yard setback</b>	30 feet
<b>Impervious Surface</b>	35% House/accessory structures 50% combined above and impervious (driveway, sidewalk, patios) 40% maximum of front yard
<b>Maximum Lot Coverage</b>	50% combined total

## St. Michael Design Standards

<b>Minimum Above ground floor area</b>	R-1: 850 feet excludes garage and foyer, with a minimum of three (3) habitable rooms R-2: 1000 feet excludes garage and foyer, with a minimum of three (3) habitable rooms
<b>Maximum building height</b>	35 feet
<b>Minimum Length</b>	24 feet
<b>Minimum Width</b>	24 feet at narrowest point
<b>Foundation</b>	
<b>Roof Pitch</b>	4:12 minimum
<b>Minimum Roof Overhang</b>	
<b>Roof Materials</b>	
<b>Exterior Finishes</b>	Maintain a high standard of architectural and aesthetic compatibility with surrounding properties. Cannot be constructed of steel, iron, sheet aluminum, corrugated aluminum or plain, flat, unpainted concrete
<b>Side and Rear Facades</b>	Not applicable
<b>Garage Size</b>	400 sq. ft. minimum Minimum interior width: 18 feet
<b>Garage Frontage</b>	Maximum facing ROW: 40 feet Living area frontage minimum 50% of width of attached garage
<b>Driveway Regulations</b>	5 feet from side lot lines Slope between 2 and 10% Two enclosed parking spaces  Brick, concrete, bituminous Park only on driveway Off-drive parking area options
<b>Utilities</b>	Public sewer required

## Summary of Information from Michelle Armstrong

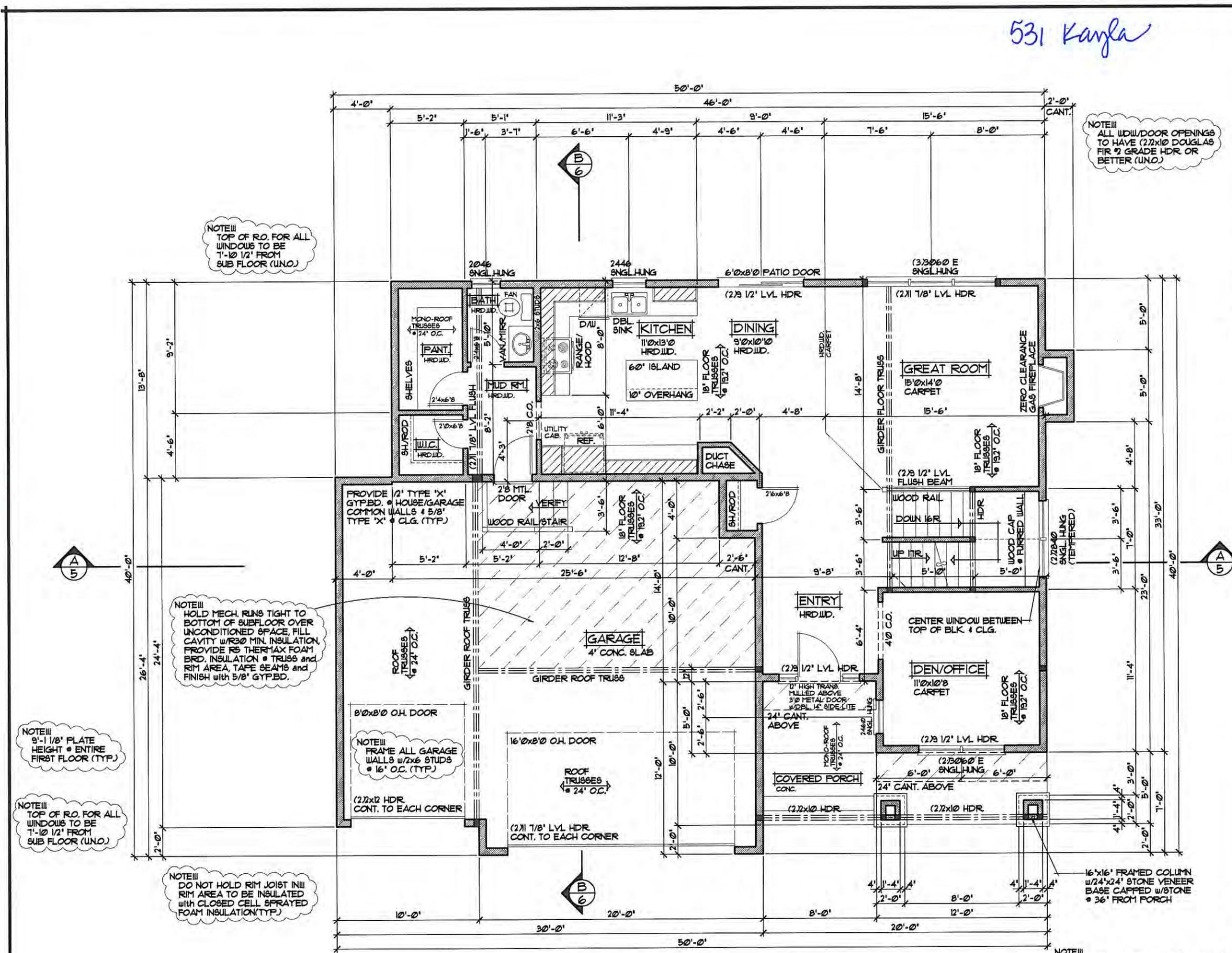
Direct link (includes photos):

<http://matrix.northstarmls.com/DE.asp?k=563358XCdbC&p=DE-168054545-95>

<b>Status</b>	<b>Address</b>	<b>Price</b>	<b>Style</b>	<b>Footage</b>
Sold	531 Kayla Lane	\$323,500.00	Two Story	2,821
Sold	625 Kadler Avenue	\$305,600.00	Two Story	2,113
Sold	1030 Emerald	\$298,824.00	Two Story	1,947
Sold	565 Kayla Lane	\$296,304.00	Two Story	1,785
Sold	591 Kayla Lane	\$285,000.00	Two Story	2,050
Pending	545 Kayla Lane	\$331,082.00	Two Story	2,018
Pending	11606 8th Street	\$289,900.00	Two Story	1,982
For Sale	675 Kadler Circle	\$270,900.00	Two Story	1,743

531 Kanja

SOLD



NOTE III  
 ALL WDW/DOOR OPENINGS  
 TO HAVE (2)2x10 DOUGLAS  
 FIR # GRADE HDR. OR  
 BETTER (UNO.)

NOTE III  
 TOP OF R.O. FOR ALL  
 WINDOWS TO BE  
 1'-10 1/2" FROM  
 SUB FLOOR (UNO.)

NOTE III  
 HOLD MECH. RUNS TIGHT TO  
 BOTTOM OF SUBFLOOR OVER  
 UNCONDITIONED SPACE, FILL  
 CAVITY w/R30 MIN. INSULATION.  
 PROVIDE R5 THERMAX FOAM  
 BRD. INSULATION @ TRUSS  
 and  
 RIM AREA, TAPE BEAMS and  
 FINISH with 5/8" GYP.BD.

NOTE III  
 9'-1 1/8" PLATE  
 HEIGHT @ ENTIRE  
 FIRST FLOOR (TYP.)

NOTE III  
 TOP OF R.O. FOR ALL  
 WINDOWS TO BE  
 1'-10 1/2" FROM  
 SUB FLOOR (UNO.)

NOTE III  
 DO NOT HOLD RIM JOIST IN!!!  
 RIM AREA TO BE INSULATED  
 with CLOSED CELL SPRAYED  
 FOAM INSULATION(TYP.)

NOTE III  
 FRAME ALL GARAGE  
 WALLS w/2x6 STUDS  
 @ 16" O.C. (TYP.)

NOTE III  
 AMERICAN CRAFTSMAN BY ANDERSEN  
 WINDOWS SPECIFIED, VERIFY ALL DOOR  
 & WINDOW ROUGH OPENINGS w/SUPPLIER  
 (\* INDICATES SASH LIMITER REQUIRED)

FIRST FLOOR PLAN 1/4"=1'-0"  
 1001 SQFT.

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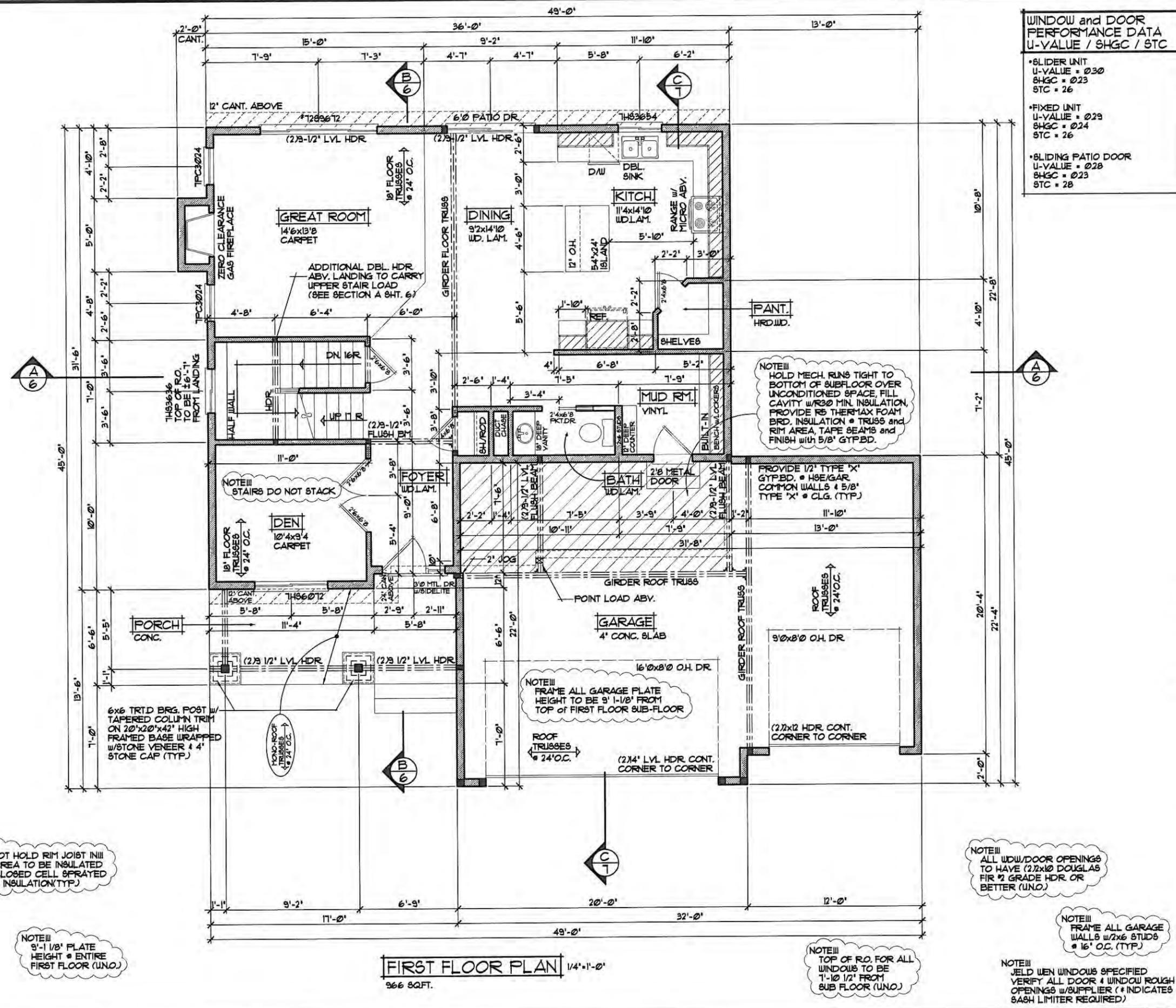


BUILT BY:  
 LAVOI CUSTOM HOMES

SHEET  
 4  
 of 8  
 CADD FILE #  
 1516

SOLD

625 Kadler Ave



WINDOW and DOOR PERFORMANCE DATA  
U-VALUE / SHGC / STC

- SLIDER UNIT  
U-VALUE = 0.30  
SHGC = 0.23  
STC = 26
- FIXED UNIT  
U-VALUE = 0.29  
SHGC = 0.24  
STC = 26
- SLIDING PATIO DOOR  
U-VALUE = 0.28  
SHGC = 0.23  
STC = 28

REVISIONS

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**JP BROOKS**

SHEET  
**5**  
of 10  
CADD FILE #  
1510

NOTE III  
DO NOT HOLD RIM JOIST IN RIM AREA TO BE INSULATED WITH CLOSED CELL SPRAYED FOAM INSULATION (TYP.)

NOTE III  
9'-1 1/8" PLATE HEIGHT @ ENTIRE FIRST FLOOR (UNO.)

NOTE III  
FRAME ALL GARAGE PLATE HEIGHT TO BE 9' 1-1/8" FROM TOP OF FIRST FLOOR SUB-FLOOR

NOTE III  
HOLD MECH. RUNS TIGHT TO BOTTOM OF SUBFLOOR OVER UNCONDITIONED SPACE, FILL CAVITY W/R30 MIN. INSULATION, PROVIDE R5 THERMAX FOAM BRD. INSULATION @ TRUSS and RIM AREA, TAPE BEAMS and FINISH WITH 5/8" GYP.BD.

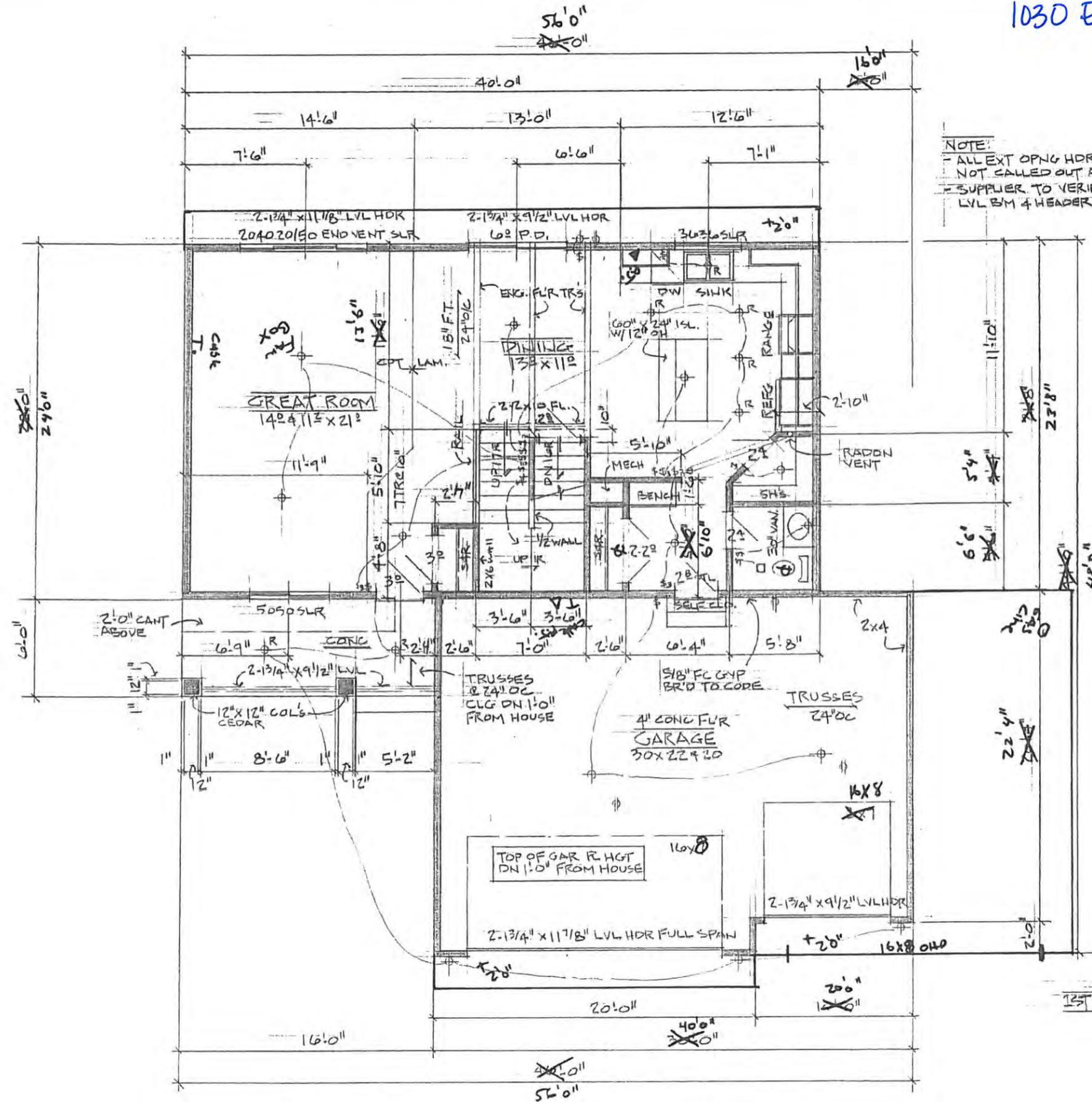
NOTE III  
TOP OF RO. FOR ALL WINDOWS TO BE 1'-10 1/2" FROM SUB FLOOR (UNO.)

NOTE III  
ALL WDW/DOOR OPENINGS TO HAVE (2)2x10 DOUGLAS FIR #2 GRADE HDR. OR BETTER (UNO.)

NOTE III  
FRAME ALL GARAGE WALLS W/2x6 STUDS @ 16" O.C. (TYP.)

NOTE III  
JELD WEN WINDOWS SPECIFIED VERIFY ALL DOOR & WINDOW ROUGH OPENINGS W/BUFFLIER (# INDICATES SASH LIMITER REQUIRED)

1030 Emerald



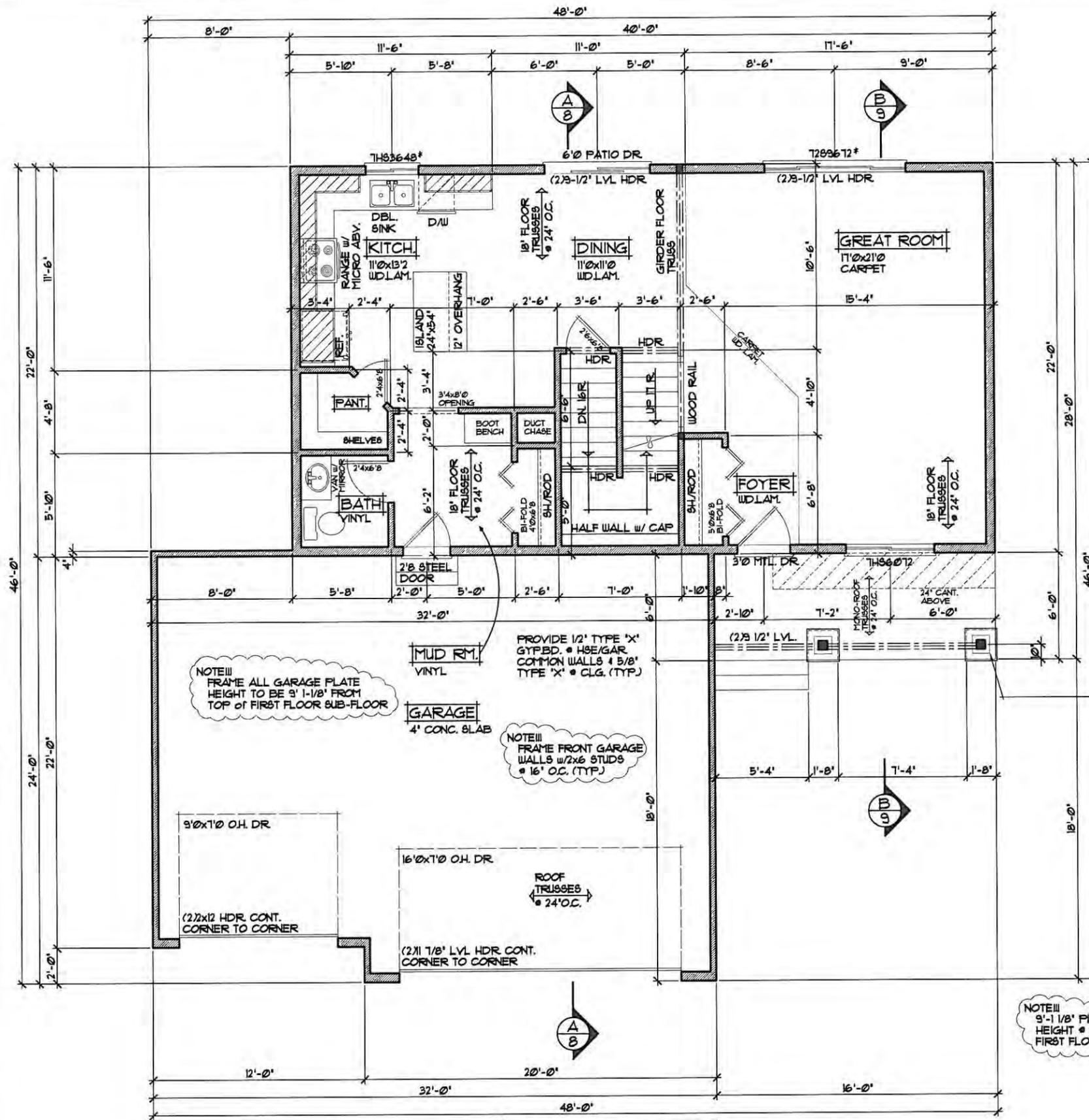
NOTE:  
 ALL EXT OPNG HDR SIZES  
 NOT CALLED OUT ARE 2.2X10S  
 SUPPLIER TO VERIFY ALL  
 LVL BM & HEADER SIZES

9'-11/8" C.H.  
 1ST FLOOR PLAN  
 SC: 1/4" = 1'-0"  
 880 SQ FT

SOLD

SOLD

565 Kayla



**FIRST FLOOR PLAN** 1/4" = 1'-0"  
880 SQFT.

6x6 TRTD. BRG. POST  
with 12x12" SQUARE COLUMN TRIM  
ON A FRAMED BASE, FINISHED WITH  
STONE VENEER (20'x20" FINISHED)  
CAPPED WITH STONE AT 36"  
ABOVE STOOP

NOTE III  
PROVIDE STANDARD  
ENERGY HEEL • ALL  
ROOF TRUSSES (TYP)

NOTE III  
TOP OF R.O. FOR ALL  
WINDOWS TO BE  
1'-10 1/2" FROM  
SUB FLOOR (UNO.)

NOTE III  
DO NOT HOLD RIM JOIST IN!!!  
RIM AREA TO BE INSULATED  
WITH CLOSED CELL SPRAYED  
FOAM INSULATION (TYP)

NOTE III  
FRAME FRONT GARAGE  
WALLS w/2x6 STUDS  
• 16" O.C. (TYP)

NOTE III  
ALL WDW/DOOR OPENINGS  
TO HAVE (2)2x10  
2 GRADE HDR. OR  
BETTER (UNO.)

NOTE III  
9'-1 1/8" PLATE  
HEIGHT • ENTIRE  
FIRST FLOOR (UNO.)

NOTE III  
JELD WEN WINDOWS SPECIFIED  
VERIFY ALL DOOR & WINDOW ROUGH  
OPENINGS w/SUPPLIER (# INDICATES  
BASH LIMITER REQUIRED)

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0000	BY:XX

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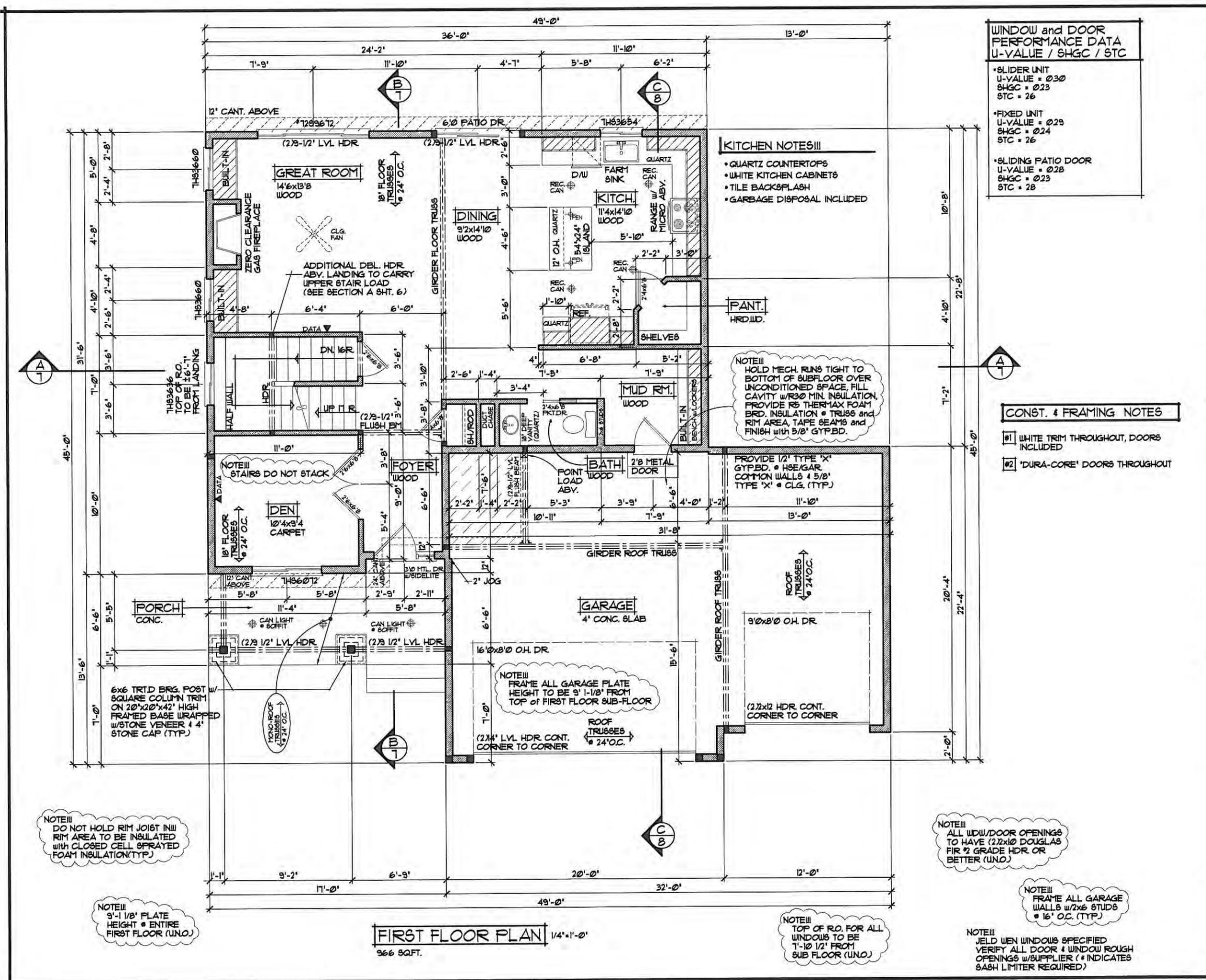
BUILT BY:  
**JP BROOKS**

SHEET  
**6**  
of 11  
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15326



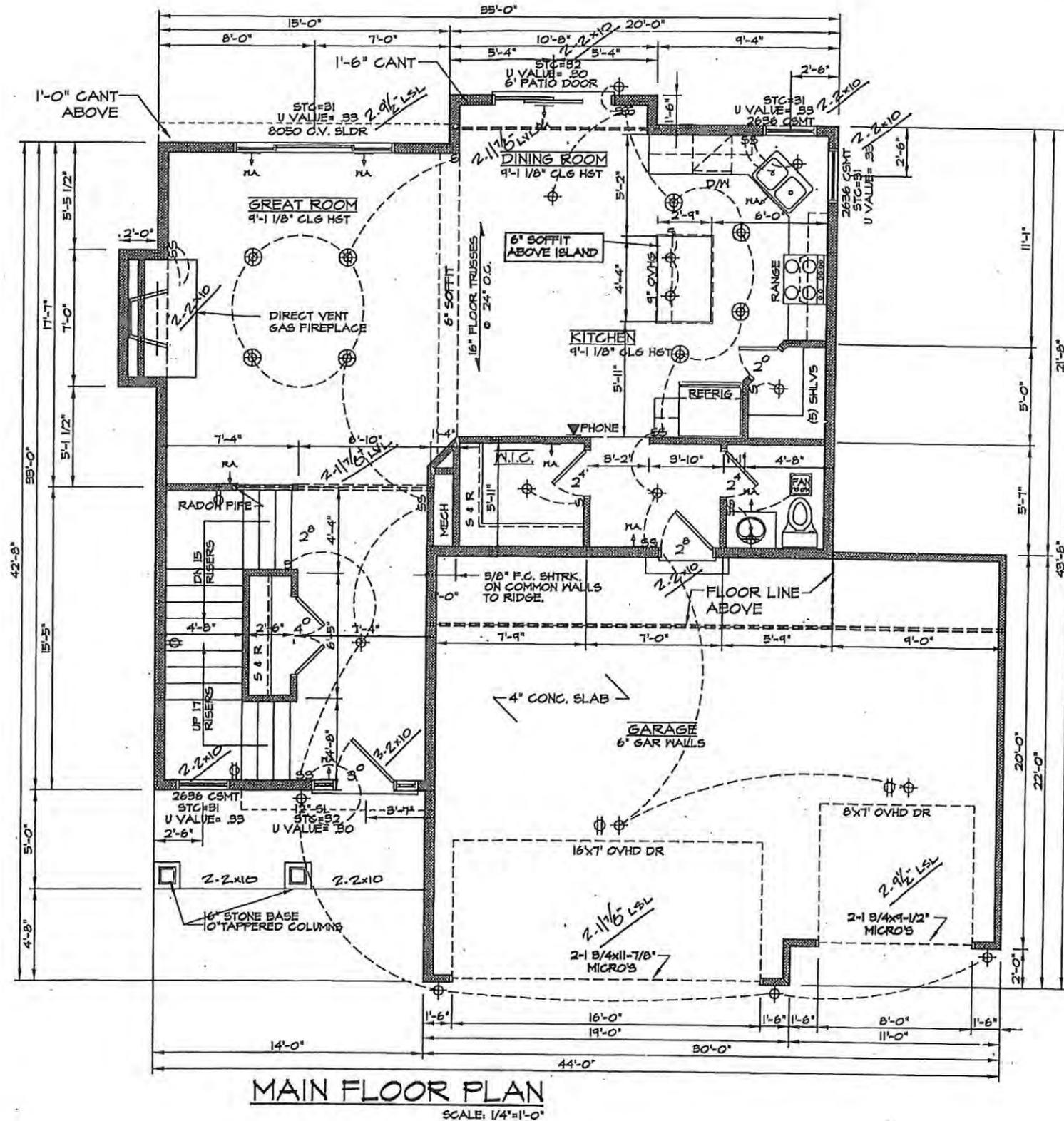
Pending

545  
Kayla



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Pending



11606 8th St

\* LSL - Laminated Strand Lumber (Timberstrand)  
\* LVL - Laminated Veneer Lumber (MicroLam)

AIRTIGHT BOXES ON EXTERIOR WALLS (CATEGORY ONE)



**NOTE:**  
-DUE TO ELECTRONIC REPRODUCTION, THIS PLAN MAY NOT SCALE CORRECTLY. THE HOUSE WILL BE BUILT ACCORDING TO THE DIMENSIONS SPECIFIED.  
-ALL DIMENSIONS, CONDITIONS AND SPECIFICATIONS ARE SUBJECT TO FIELD VERIFICATION. SOME CHANGES MAY BE NECESSARY.  
-ALL ELECTRICAL SYMBOLS SHOWN ARE APPROXIMATE. ACTUAL PLACEMENT WILL BE DETERMINED BY THE ELECTRICIAN PER CODE REQUIREMENTS.  
-ALL SQUARE FOOTAGES ARE DEEMED RELIABLE BUT NOT GUARANTEED  
-CAULK & FLASH ALL EXTERIOR OPENINGS.

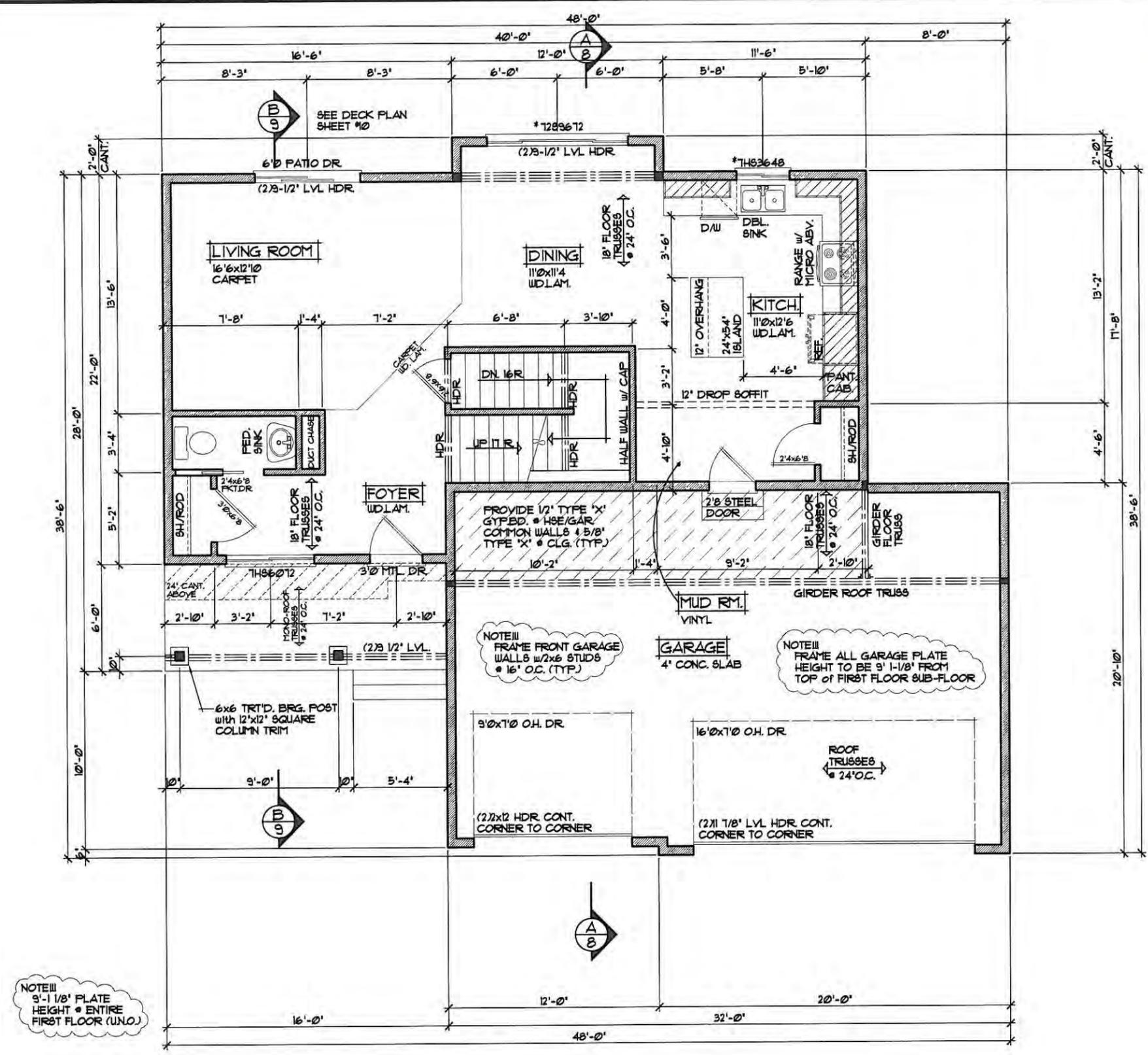
**WINDOW GUIDE**

PLAN REVIEW/DATE	Lisa Peterson 6.11.15
BUYER/DATE	Model
BUYER/DATE	

<b>FAIRFIELD</b>	
FIRST FLOOR=	456.93
FINISHED=	456.93
SECOND FLOOR=	1025.75
FINISHED=	1025.75
LOWER LEVEL=	909.00
FINISHED=	00.00
<b>TOTAL</b>	<b>2391.63</b>
FINISHED SQ. FTG.	1482.00

<b>WINDOW HDR. SIZES</b>	
1'-5"	2-2x10 HDRS.
6'-8"	2-1 3/4"x9 1/2" TIMBERSTRAND
9'-12"	2-1 3/4"x11 7/8" TIMBERSTRAND
(UNLESS NOTED OTHERWISE)	

675 Kadler Circle



**FIRST FLOOR PLAN** 1/4" = 1'-0"  
810 SQ.FT.

NOTE III  
9'-1 1/8" PLATE  
HEIGHT • ENTIRE  
FIRST FLOOR (UNO.)

NOTE III  
FRAME FRONT GARAGE  
WALLS w/2x6 STUDS  
• 16" O.C. (TYP.)

NOTE III  
FRAME ALL GARAGE PLATE  
HEIGHT TO BE 9' 1-1/8" FROM  
TOP OF FIRST FLOOR SUB-FLOOR

NOTE III  
PROVIDE STANDARD  
ENERGY HEEL • ALL  
ROOF TRUSSES (TYP.)

NOTE III  
TOP OF R.O. FOR ALL  
WINDOWS TO BE  
1'-10 1/2" FROM  
SUB FLOOR (UNO.)

NOTE III  
DO NOT HOLD RIM JOIST IN!!!  
RIM AREA TO BE INSULATED  
WITH CLOSED CELL SPRAYED  
FOAM INSULATION (TYP.)

NOTE III  
FRAME FRONT GARAGE  
WALLS w/2x6 STUDS  
• 16" O.C. (TYP.)

NOTE III  
ALL WDW/DOOR OPENINGS  
TO HAVE (2.2x10  
• 2 GRADE HDR. OR  
BETTER (UNO.)

NOTE III  
9'-1 1/8" PLATE  
HEIGHT • ENTIRE  
FIRST FLOOR (UNO.)

NOTE III  
JELD WEN WINDOWS SPECIFIED  
VERIFY ALL DOOR & WINDOW ROUGH  
OPENINGS w/SUPPLIER (\* INDICATES  
BASH LIMITER REQUIRED)

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**JP BROOKS**

SHEET  
**6**  
OF 12  
CADD FILE #  
16017

6/11/16

To: The Hanover Council and Staff

From: Daniel Boman Counselor Realty

Thank you Chris for giving me a call this past week to discuss the city building moratorium that was put in place on May 24 2016. I am not certain why there were complaints/concerns made in regards to the homes that we are currently building in Hanover or the rejection of a sold home at 11586 11<sup>th</sup> street when Drake Construction applied for the permit when this home plan had been acceptable to the city 3 times before.

This home plan which we call the Vancouver is a more modern 3 level design that is cost efficient to build with the bedroom level built up over the garage. When this home was designed extra attention was given to the front elevation for more curb appeal and it offers almost 1400 square feet finished on the first 2 floors. It by no means is lessen the values of homes in the city as I was told the complaint was. This design fits for the buyers moving out to Hanover from the inner city who like different levels of space instead of the same old split entry type home that has been built for many years.

Our current model home in Schendels Field is a Vancouver plan at 1035 Emerald Street. It is 3 bedrooms, 3 baths with a finished family room and is priced at \$267,000.00 with almost 1900 sq ft finished. It sold in a few days after Drake completed it and it closes June 27<sup>th</sup>. When this home is finished out by the buyers with a deck, irrigation, yard and all the other new home needs it will close to a \$300K home.

Next we built the same plan at 11574 11<sup>th</sup> Street which closed March 31 2016 at a price of \$247,554.00 with just a bath finished on the 3<sup>rd</sup> level. We also built a Vancouver plan at 1044 Emerald Street that closed March 2 2016 at a price of \$244,323.00 which had no finishing in the lower level.

In talking with Chris he felt it might be beneficial for you members to see the property first hand and I would like to offer a time before this home closes at the end of the month for the council and staff members to come view the model home at 1035 Emerald Street so you can see how nice of a home plan it is. Please talk it over and let me know when a good time might be.

We are currently building this home plan in Delano, Otsego, Zimmerman and Big Lake without any valuation or footprint issues. On this type of plan you have to take into consideration the square footage that is up over the garage also since it is part of the finished home, not just the footprint. If you go visit the big box corporate builders they have all designed and are building home with a big percentage of the homes living space up over the garage because they can provide more finished square feet to the buyer at a better value.

Chris had also mentioned the revised square footage change on 2 stories needing to be 1040 on the foot print which seems high to me. We just closed a 2 story home in Schendels Field at 1030 Emerald Street which had a 960 sq ft footprint that sold for \$298,000.00 with no finished basement yet. We had a buyer interested in reproducing that home and we were of course were unable to now with the 1040 sq ft rules. How can anyone be concerned about lessen city home values with a sales price of almost \$300K. Buyers with the ability to spend \$300K or more are going to stay closer into the cities rather than have the added commute from Hanover each day to work and shopping.

I will plan on attending the planning commission meeting on June 23<sup>rd</sup> to give my input on future building requirements. If anyone has any questions or would like to talk with me further I have provided my cell phone number below.

Thanks for your time,

Daniel Boman

612-801-8925

